

ADDENDUM NO. 3

September 13, 2022

**EISENHOWER ELEMENTARY SCHOOL ADDITIONS, RENOVATIONS,
AND RELATED WORK
Crown Point, IN 46307**

TO: ALL BIDDERS OF RECORD

This Addendum forms a part of and modifies the Bidding Requirements, Contract Forms, Contract Conditions, the Specifications, and the Drawings dated August 18, 2022 by Gibraltar Design. Acknowledge receipt of the Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of Pages ADD 3-1 through ADD 3-2 and attached Addendum No. 3 from Gibraltar Design dated September 12, 2022 and consisting of 2 pages, added Specification Section 08 91 00 - Aluminum Wall Louvers, and 1 drawing.

A. SPECIFICATION SECTION 00 00 20 - TABLE OF CONTENTS

1. Add:

Specification Section 08 91 00 - Aluminum Wall Louvers

B. SPECIFICATION SECTION 00 43 50 - SUBCONTRACTORS AND PRODUCTS LIST

Under Division 23 - Heating, Ventilating, and Air Conditioning

1. Add:

Specification Section 08 91 00 - Aluminum Wall Louvers

C. SPECIFICATION SECTION 01 12 00 - MULTIPLE CONTRACT SUMMARY

**G. BID CATEGORY NO. 7 - MECHANICAL
General Requirements in Paragraph 3.02.B.**

1. Add:

Specification Section 08 91 00 - Aluminum Wall Louvers

ADDENDUM THREE

Addendum Three (AD.03) to the drawings and specifications prepared by Gibraltar Design for **Eisenhower Elementary School – Additions, Renovations and Related Work** for Crown Point Community School Corporation, Crown Point, Indiana.

All Contractors bidding on this project shall read all of the items covered below and shall comply with all of the requirements as set forth, including any necessary refinements or additions generated by this Addendum and required by the intent of the original contract documents. All Contractors shall acknowledge on their bid form that they have received this Addendum, Addendum One and Two, and include the appropriate content of same within their bid proposal.

Questions and Answers [Technology]

1. **Question:** For Alternate 1, on SHEET EP101, there are several data devices shown on the stage for rough-in, but there are no corresponding devices shown on SHEET T101. Please clarify if any data devices and related cabling are to be included in Alternate 1.
 - a. **Answer:** See Changes to the Drawings - Sheet T101
2. **Question:** There is an alternate on this project to create a stage where there are currently storage rooms and offices. The demo area is shown on ED101 and rerouting location is shown on EP101. I went to the walk-thru and there is some basket tray with low voltage cables that would need to be rerouted for this alternate. Most likely, these cables will need to be re-pulled as new. Pictures are attached. Can this scope be clarified?
 - a. **Answer:** See Changes to the Drawings – Sheet TD101

SPECIFICATIONS

1. **Specification Section 000100** **Table of Contents**
 - A. Add Specification Section 08 91 00 Aluminum Wall Louvers to the Table of Contents.
2. **Specification Section 089100** **Aluminum Wall Louvers**
 - A. Add section "08 91 00 Aluminum Wall Louvers" included in this Addendum.

DRAWINGS

1. **Sheet AD101**
 - A. Refer to revised, full-size drawing, included in this Addendum for the following revision:
 1. Add note regarding removal of existing concrete slab for installation of wheelchair lift.

2. Sheet TD100

- A. Demolition Plan Notes: At note "9" add "Alternate Bid -..." at the beginning of the note.
- B. Demolition Plan Notes: Add note "10" as follows and reference to the Overall Telecommunications First Floor Demo Plan, Room EA128, and Rooms EA132, AE133, AE134 and EA135.
 - "10. Any existing data cables that route through the ceiling and are supported by cable tray shall be protected during demolition, provide temporary support as needed. If any cables need to be re-routed disconnect from the data cabinet in room A129, pull back to storage EA136 (New Room Number A133) and re-route through the Ceiling Joyce and re-terminate in existing data cabinet. This work is part of the Alternate."

3. Sheet T101

- A. On Alternate Stage A-132, provide a dual data outlet for each floor box and for the two outlets on the south wall as shown on Sheet EP101.

Pages 1 and 2 inclusive, one (1) specification section, and one (1) Full-Size Drawing, constitute the total makeup of **Addendum Three**.



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SECTION 08 91 00

ALUMINUM WALL LOUVERS

1 General

1.1 Section Includes

- A. Louvers and frames.
- B. Bird screening.
- C. Blank out sheeting.

1.2 Related Sections

- A. Section 04 20 00 - Unit Masonry: Prepared exterior wall openings.
- B. Section 07 42 43 - Metal Panel Siding – Factory Insulated: Louvers in exterior wall cladding.
- C. Section 07 90 00 - Joint Sealants.
- D. Section 23 31 00 - Ductwork: Ductwork attachment to louver.

1.3 References

- A. AA - Designation System for Aluminum Finishes.
- B. ASTM B209 - Aluminum and Aluminum-Alloy Sheet and Plate.
- C. ASTM B221 - Aluminum and Aluminum-Alloy Extruded Bars, Rods, Wire, Shapes, and Tubes.

1.4 System Performance

- A. Installed louver to permit passage of indicated air volume at 0 water penetration at 1250 feet per minute free area velocity, without blade vibration or noise, with maximum static pressure loss of 0.15 inch WG measured at 1250 feet per minute.
- B. Installed louver to permit passage of indicated air volume at 0 water penetration at 1000 feet per minute free area velocity, without blade vibration or noise, with maximum static pressure loss of 0.15 inch WG measured at 1000 feet per minute.

1.5 Submittals

- A. Provide product data on preassembled louvers describing design characteristics, maximum recommended air velocity, free area, materials, and finishes.

- B. Indicate elevations, dimensions, and tolerances; head, jamb, and sill details; blade configuration; screening; and frames.

1.6 Coordination

- A. Coordinate work of this Section with installation of masonry flashings and metal siding.
- B. Coordinate work of this Section with mechanical ductwork.

1.7 Warranty

- A. Furnish a five (5) year warranty from the manufacturer and from the installation contractor against leakage, rattling, and whistling.

2 Products

2.1 Aluminum Wall Louvers - Acceptable Manufacturers

- A. Airolite Company, Marietta, Ohio (AI).
- B. Construction Specialties (CS Group), Cranford, New Jersey (CS).
- C. Industrial Louvers, Inc., Delano, Minnesota (I).
- D. Louvers & Dampers, Inc., Florence, Kentucky (LD).
- E. Greenheck, Schofield, Wisconsin (G).
- F. Ruskin Manufacturing Company, Grandview, Missouri (R).

2.2 Materials

- A. Aluminum: ASTM B221, 6063 alloy, T5 temper, extruded shape; ASTM B209, 3003 alloy, H14 temper, sheet.
- B. Fasteners and Anchors: Stainless steel type.
- C. Finish: AA - M12C22A41, clear anodized.

2.3 Accessories

- A. Bird Screen: Interwoven wire mesh of aluminum, 0.063 inch diameter wire, 1/2 inch open weave, square design.
- B. Clip Angles: 1-1/2 inch by 1-1/2 inch aluminum angle, by 2 inches long, minimum two per side.
- C. Perimeter Angle: 3/4 inch by 3/4 inch by 1/8 inch aluminum angle at exterior perimeter.

2.4 Fabrication

- A. Wall Louvers and Penthouses:
 - 1. Louver Size: As indicated.

2. Louver Blade: Sloped at 35 degrees, minimum; drainable; minimum material thickness of 0.081 inch.
3. Louver Frame: Channel shape, drainable jambs, welded corner joints, material thickness of 0.081 inch.
4. Mullions: Concealed (if possible), aluminum, profiled to suit louver frame.
5. Sill: Material thickness of 0.063 inch; extend 1/2 inch beyond wall line; closed ends.
6. Screens: Install screen mesh in channel shaped frame with reinforced corner construction; screw to interior face of louver frame and to exterior face of penthouse frame.

2.5 Wall Louvers - 6 Inches Thick, High Performance

- A. Type K6776 (AI).
- B. Model A6177 (CS).
- C. Model 653-XP (I).
- D. Model IEL-67 (LD).
- E. Model ESD-603 (G).
- F. Type ELF 6350DMP (R).

3 Execution

3.1 Inspection

- A. Verify that prepared openings and flashings are ready to receive work and opening dimensions are as indicated on shop drawings.
- B. Beginning of installation means acceptance of existing conditions.

3.2 Installation

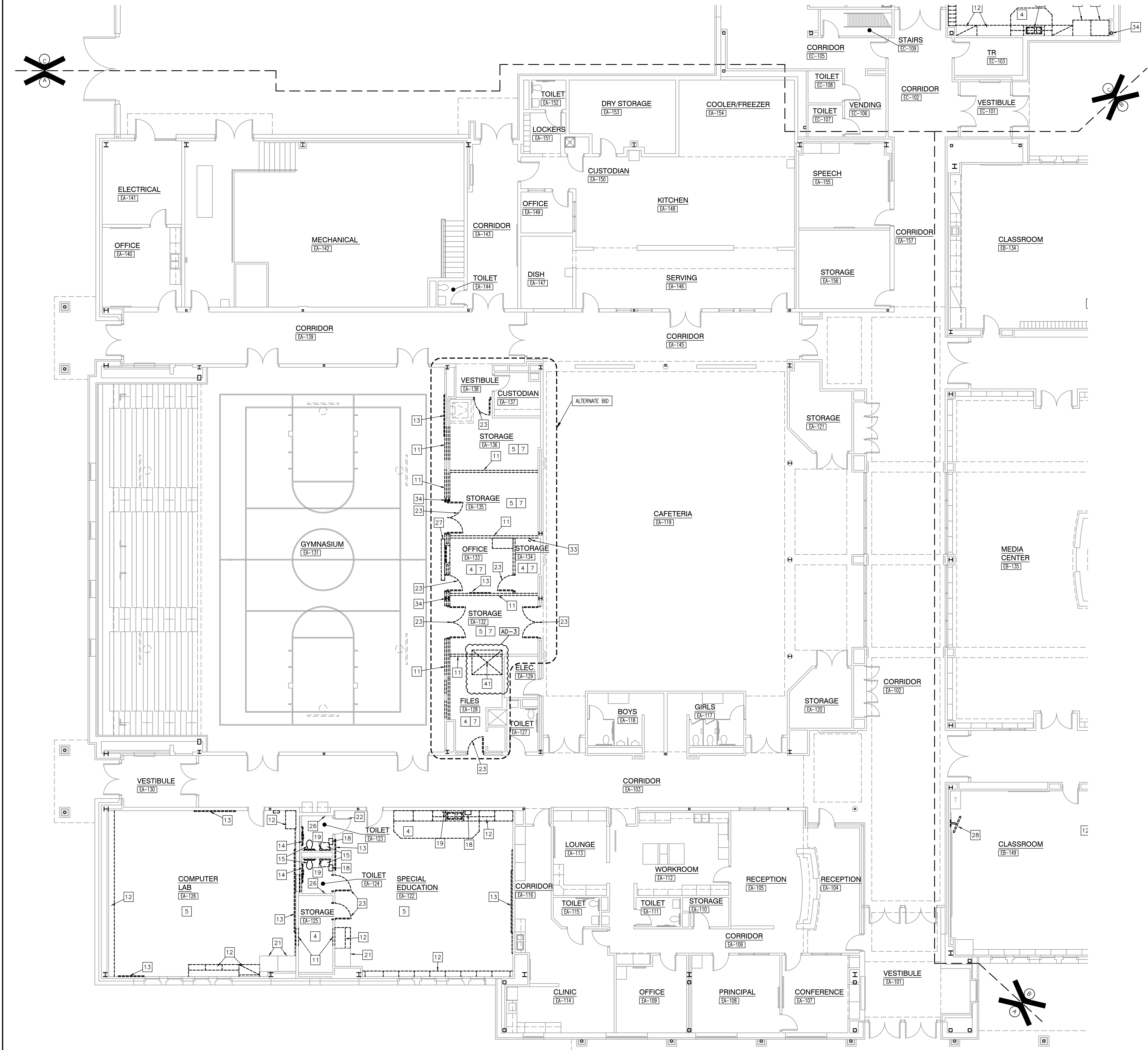
- A. Install louver and penthouse assembly in accordance with manufacturer's instructions.
- B. Install louvers level and plumb.
- C. Secure louvers in opening framing with concealed fasteners.
 1. Make wall louvers removable where indicated.
- D. Align louver assembly to ensure moisture is shed from flashings and diversion of moisture to exterior.
- E. Install bird screening to louver. Make exterior screens removable.

3.3 Cleaning

- A. Clean surfaces and components.

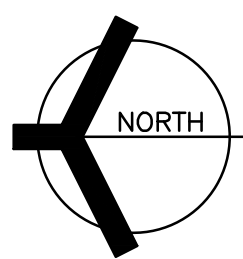
END OF SECTION

Monday, 9/12/2022 - 10:16 AM - LAST SAVED BY: PEGGY ROY
Y:\21-116 CROWN POINT CSC - EISENHOWER ES ADDITION
AND RENOVATIONS\21-116 DRAWINGS\05 ARCH\AD 01.DWG



UNIT "A" ARCHITECTURAL FIRST FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



GENERAL DEMOLITION NOTES:

- FOR GENERAL PROJECT NOTES, MATERIAL INDICATIONS, LEGEND, SYMBOL, LEGEND, ABBREVIATIONS, ETC., REFER TO GI SERIES SHEETS.
- UNLESS NOTED OTHERWISE ON THIS SHEET, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL WORK INDICATED ON THIS SHEET.
- CONTRACTORS ENCOUNTERING EXISTING MATERIAL WHICH IS SUSPECTED OF CONTAINING ASBESTOS SHALL STOP WORK IMMEDIATELY AND NOTIFY THE OWNER AND THE OWNER'S REPRESENTATIVE.
- BOLD DASHED LINES INDICATE EXISTING ITEMS TO BE REMOVED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE EXTENT OF DEMOLITION WORK PRIOR TO BIDDING AND FOR COORDINATING THE EXTENT OF DEMOLITION WITH THE INSTALLATION OF NEW SYSTEMS.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION APPLICABLE TO THEIR SCOPE OF WORK AND AS REQUIRED FOR INSTALLATION OF NEW WORK WHETHER OR NOT IT IS SPECIFICALLY INDICATED OR NOTED IN THESE DOCUMENTS.
- REMOVE ALL ITEMS AND FINISHES MADE OBSOLETE BY NEW CONSTRUCTION. VERIFY ITEMS DEEMED OBSOLETE WITH ARCHITECT PRIOR TO REMOVAL. REFER TO NEW CONSTRUCTION DRAWINGS FOR DEMOLITION REQUIRED NOT SHOWN ON DEMOLITION PLANS.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR OFF SITE REMOVAL OF ALL DEMOLITION MATERIALS AND/OR ITEMS UNLESS NOTED OTHERWISE OR DIRECTED BY THE OWNER.
- PRIOR TO STARTING DEMOLITION, CONSTRUCT DUST CONTROL BARRIERS AS REQUIRED TO PREVENT THE SPREAD OF DUST INTO SURROUNDING AREAS (WHERE APPLICABLE).
- WHERE BUILDING EGRESS IS REQUIRED TO PASS THROUGH DEMOLITION AREAS, PROVIDE APPROVED BARRIERS, ETC. TO ENSURE SAFETY OF THE PUBLIC.
- RELOCATED ITEMS SHALL BE CLEANED AND PLACED IN STORAGE, PER OWNERS' DIRECTION, UNTIL ITEMS ARE READY TO BE INSTALLED. IF ITEMS ARE DAMAGED DURING DEMOLITION OR RELOCATION, THEY SHALL BE REPAIRED OR REPLACED WITH NEW ITEMS AS APPROVED.
- DEMOLITION SHALL BE PERFORMED WITHOUT DAMAGE TO EXISTING CONSTRUCTION TO REMAIN. WHERE SUCH DAMAGE OCCURS, PATCH, REPAIR, OR RESTORE WALLS, FLOORS, CEILING, ETC. NEATLY TO MATCH EXISTING ADJACENT SURFACE, PROVIDE SHORING, BRACING, OR SUPPORT AS REQUIRED TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING STRUCTURES.
- EACH CONTRACTOR IS RESPONSIBLE FOR CUTTING, PATCHING, AND DISCONNECTION OF ITEMS APPLICABLE TO THEIR SCOPE OF WORK. WHERE EXISTING SERVICES ARE ABANDONED, CAP AT LEAST 1" BEHIND NEW FINISHES OR MATCH EXISTING FINISH.
- ON WALLS THAT ARE TO RECEIVE NEW FINISHES, REMOVE AND REINSTALL EXISTING EQUIPMENT TO REMAIN AS REQUIRED FOR INSTALLATION OF NEW FINISHES.
- WHERE WALLS OR BULKHEADS ARE REMOVED, PATCH FLOORS, CEILINGS, AND ADJACENT WALLS AS REQUIRED TO MATCH EXISTING OR RECEIVE NEW FINISHES WHERE APPLICABLE. WHERE EXISTING DUCTWORK, PIPING, OR EQUIPMENT IS REMOVED, PATCH OPENINGS AND/OR SURFACES AS REQUIRED TO MATCH ADJACENT SURFACES OR RECEIVE NEW FINISHES WHERE APPLICABLE. REFER TO ALL DEMOLITION DRAWINGS FOR EXTENT OF ITEMS TO BE REMOVED.
- OVER CUT NEW OPENINGS IN EXISTING WALL AS REQUIRED FOR NEW CONSTRUCTION. PATCH AND REPAIR WALLS AS REQUIRED TO MATCH EXISTING. WHERE APPLICABLE, TOOTH NEW MASONRY INTO EXISTING MASONRY.
- ALL EQUIPMENT AND FURNITURE WHICH ARE CONSIDERED LOOSE FURNISHING SHALL BE REMOVED BY THE OWNER PRIOR TO DEMOLITION.
- MASONRY WALLS TO BE REMOVED SHALL BE REMOVED TO A POINT 2" MINIMUM BELOW THE EXISTING FLOOR SLAB UNLESS SETTING ON A SLAB OR SPECIFICALLY NOTED OTHERWISE. PATCH WITH NEW CONCRETE TO BE FLUSH WITH THE EXISTING FLOOR SLAB.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR GENERAL REVIEW OF DEMOLITION NOTES AND GENERAL DEMOLITION NOTES AS THEY APPLY TO THEIR SCOPE OF WORK.
- THE OWNER SHALL RESERVE THE RIGHT TO CLAIM ANY MATERIALS THAT ARE BEING DEMOLISHED PRIOR TO THE CONTRACTOR DISPOSING OF THEM OFF SITE.
- REFER TO THE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND TECHNOLOGY DOCUMENTS FOR COMPLETE SCOPE OF DEMOLITION WORK.
- "FLOORING" DENOTES FLOOR COVERING MATERIALS INCLUDING BACKING, ADHESIVES, AND BASES DOWN TO BUT EXCLUSIVE OF FLOOR SLABS AND STRUCTURAL MATERIALS UNLESS NOTED OTHERWISE.
- DEMOLITION IS TO FOLLOW ESTABLISHED CONSTRUCTION SEQUENCE. REFER TO SPECIFICATIONS AND DRAWINGS FOR REQUIREMENTS AND SPECIAL CONDITIONS.
- WHERE APPLICABLE SALVAGE EXISTING MASONRY (FACE BRICK, GLAZED CMU, FACING TILE) AS REQUIRED FOR PATCHING AND INFILL IN RENOVATED AREAS WHERE INDICATED. DISCARD UNUSED PORTION OFF SITE.

DEMOLITION NOTES:

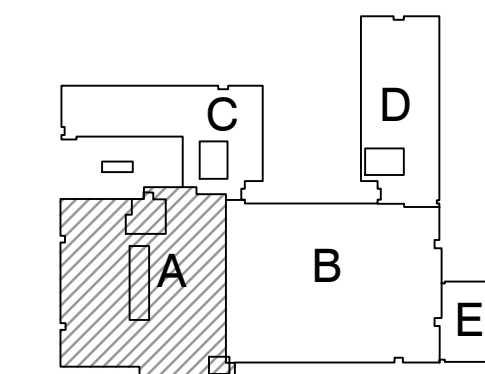
- REMOVE VOID SLAB/STOOP/STEPS/RAMP AS REQUIRED FOR NEW CONSTRUCTION.
- REMOVE FAN COIL UNIT AND CASEWORK ENCLOSURE. REFER TO MECHANICAL DRAWINGS.
- REMOVE CARPET FLOORING SYSTEM AND VINYL BASE IN ITS ENTIRETY. PREPARE EXISTING CONCRETE SLAB AS REQUIRED TO RECEIVE NEW FINISHES.
- REMOVE VINYL TILE FLOORING SYSTEM AND VINYL BASE IN ITS ENTIRETY. PREPARE EXISTING CONCRETE SLAB AS REQUIRED TO RECEIVE NEW FINISHES.
- REMOVE VINYL BASE.
- REMOVE CERAMIC TILE FLOORING SYSTEM IN ITS ENTIRETY. PREPARE EXISTING CONCRETE SLAB AS REQUIRED TO RECEIVE NEW FINISHES.
- REMOVE ACOUSTICAL BOARD CEILING SYSTEM IN ITS ENTIRETY. SALVAGE EXISTING ACOUSTICAL CEILING TILES AS REQUIRED FOR NEW CONSTRUCTION.
- REMOVE GYPSUM BOARD/PLASTER CEILING OR BULKHEAD IN ITS ENTIRETY.
- REMOVE COUNTER TOP AS REQUIRED FOR NEW CONSTRUCTION.
- REMOVE FACE BRICK AND SALVAGE AS REQUIRED FOR NEW CONSTRUCTION.
- REMOVE METAL STUDS AND GYPSUM BOARD/PLASTER PARTITION/WALL AS REQUIRED FOR NEW CONSTRUCTION. PATCH AND REPAIR FLOOR AND WALLS AS REQUIRED TO ACCEPT NEW FINISHES.
- REMOVE BUILT-IN CASEWORK AS REQUIRED FOR NEW CONSTRUCTION.
- REMOVE CHALK, MARKER, AND/OR TACKBOARDS IN ITS ENTIRETY.
- REMOVE TOILET ACCESSORIES AND TURN OVER TO OWNER.
- REMOVE PLUMBING FIXTURE. REFER TO PLUMBING DRAWINGS. WHERE PIPING IS REQUIRED TO BE CAPED, CAP BELOW AND/OR BEHIND FINISHED SURFACE.
- EXISTING COLUMN TO REMAIN.
- EXISTING BULKHEAD TO REMAIN.
- REMOVE PAPER TOWEL DISPENSER AND SALVAGE FOR REINSTALLATION.
- REMOVE SOAP DISPENSER AND SALVAGE FOR REINSTALLATION.
- REMOVE CABINET HEATER. REFER TO MECHANICAL DRAWINGS.
- EXISTING FAN COIL UNIT AND CASEWORK ENCLOSURE TO REMAIN. REFER TO MECHANICAL DRAWINGS.
- REMOVE DOOR AND HARDWARE IN ITS ENTIRETY. EXISTING FRAME TO REMAIN.
- REMOVE HOLLOW METAL FRAME, DOOR AND HARDWARE IN ITS ENTIRETY.
- REMOVE EXISTING HOLLOW METAL DOOR FRAME, DOOR AND HARDWARE AND SALVAGE/STORE FOR REINSTALLATION IN NEW CONSTRUCTION.
- REMOVE ALUMINUM STOREFRONT FRAMING, DOORS, AND HARDWARE IN ITS ENTIRETY.
- REMOVE CERAMIC WALL TILE FROM TOP OF TILE BASE TO 4" ABOVE CEILING.
- REMOVE AND SALVAGE EXISTING SCOREBOARD FOR REINSTALLATION IN NEW CONSTRUCTION. REFER TO EQUIPMENT PLANS.
- REMOVE WALL MOUNTED TV MONITOR. REFER TO TECHNOLOGY DRAWINGS.
- REMOVE EXISTING PRECAST CONCRETE PANEL IN ITS ENTIRETY.
- REMOVE EXISTING PRECAST CONCRETE PANEL AND SALVAGE/STORE FOR REINSTALLATION IN NEW CONSTRUCTION.
- REMOVE EXISTING CASEWORK AND SALVAGE FOR REINSTALLATION IN NEW CONSTRUCTION.
- REMOVE EXISTING ALUMINUM STOREFRONT/WINDOW SYSTEM AND SALVAGE/STORE FOR REINSTALLATION IN NEW CONSTRUCTION.
- REMOVE ROOF CONDUCTOR AND REROUTE TO NEW LOCATION. REFER TO PLUMBING DRAWINGS.
- REMOVE EXISTING COLUMN. REFER TO STRUCTURAL DRAWINGS.
- REMOVE ALUMINUM STOREFRONT WINDOW IN ITS ENTIRETY.
- REMOVE EXISTING SINK AND SALVAGE FOR REINSTALLATION IN SAME LOCATION. REFER TO PLUMBING DRAWINGS.
- REMOVE ENTRANCE NUMBER SIGN AND SALVAGE FOR REINSTALLATION.
- REMOVE METAL STUD AND GYPSUM BOARD/PLASTER PARTITION/WALL AS REQUIRED FOR INSTALLATION OF NEW COLUMN. REMOVE AND REINSTALL SEMI-RIGID INSULATION ON WALL SURFACE AS REQUIRED FOR INSTALLATION OF NEW STUD WALL.
- REMOVE EIFS SOFFIT AND FASCIA WHERE APPLICABLE AS REQUIRED FOR NEW CONSTRUCTION.
- REMOVE BUILT IN WOOD BENCH IN ITS ENTIRETY.
- CUT AND REMOVE CONCRETE SLAB AS REQUIRED FOR LIFT INSTALLATION.



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PROJECT
**EISENHOWER
ELEMENTARY
SCHOOL
ADDITIONS,
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RELATED
WORK**

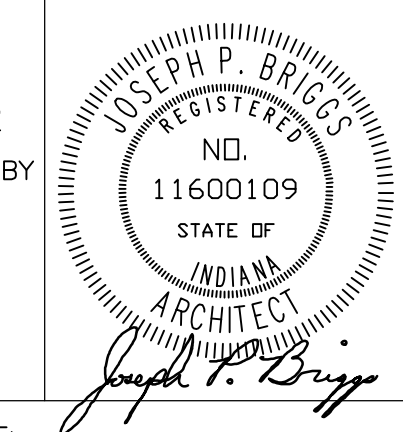
CROWN POINT COMMUNITY
SCHOOL CORPORATION
CROWN POINT, INDIANA



KEY PLAN

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PROJECT
21-116
DATE
08/18/22
COORDINATED BY
GWT
DRAWN BY
PD
CHECKED BY
GWT



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REVISIONS
MARK DATE ISSUED FOR
AD-2 09/08/22 ADDENDUM NO. 2
AD-3 09/12/22 ADDENDUM NO. 3

DRAWING
UNIT "A" ARCHITECTURAL
FIRST FLOOR DEMOLITION
PLAN

PROJECT
EISENHOWER ELEMENTARY
SCHOOL ADDITIONS, RENOVATIONS,
AND RELATED WORK

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