

ADDENDUM NO. 1

December 5, 2022

**BAILLY ELEMENTARY SCHOOL ADDITIONS AND RENOVATIONS
Chesterton, IN 46304**

TO: ALL BIDDERS OF RECORD

This Addendum forms a part of and modifies the Bidding Requirements, Contract Forms, Contract Conditions, the Specifications, and the Drawings dated November 14, 2022 by Gibraltar Design. Acknowledge receipt of the Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of Pages ADD 1-1 and attached Addendum No. 1 from Gibraltar Design dated November 30, 2022 and consisting of 2 pages and 14 drawings.

ADDENDUM ONE

Addendum One (AD.01) to the drawings and specifications prepared by Gibraltar Design for **Bailly Elementary School Renovations** for Duneland School Corporation, Chesterton, Indiana.

All Contractors bidding on this project shall read all of the items covered below and shall comply with all of the requirements as set forth, including any necessary refinements or additions generated by this Addendum and required by the intent of the original contract documents. All Contractors shall acknowledge on their bid form that they have received this Addendum and include the appropriate content of same within their bid proposal.

DRAWINGS

1. **Sheets K-100, K-101, K-102, M-001, MD101, MD102, MD103, MD104, MD105, MV101, MV102, MV103, MV104, MV105, MV106, MP101, MP102, MP103, MP104, MP105, M-201, M-401, M-501, M-601, M-602, FP-001, P-001, PD101, PD102, PD103, PD104, PD105, P-101, P-102, P-103, P-104, P-105, P-111, P-112, P-113, P-114, P-115, P-501, E-001, ED101, ED102, ED103, ED104, ED105, EL101, EL102, EL103, EL104, EL105, EP101, EP102, EP103, EP104, EP105, EP201, E-501, E-601, E-602, E-603, T-001, TD100, T-100, T-101, T-102, T-103, T-104, T-105, T-401, T-402, T-403, T-501, T-502, T-503, T-511, T-601, T-701, T-702, T-741, T-771**

- A. The title block on all above listed sheets shall be changed from "BAILLY ELEMENTARY SCHOOL – ADDITIONS RENOVATIONS" TO "BAILLY ELEMENTARY SCHOOL – RENOVATIONS".

2. **Sheet AD103**

- A. Refer to revised full size drawing, included in this Addendum, for the following revisions:
 1. Updates in Reception C-179 and Entry C-180.
 2. Updates in Cafeteria C-182.
 3. Revise demolition Note 105.
 4. Add Demolition Note 106.

3. **Sheet A-103**

- A. Refer to revised full size drawing, included in this Addendum, for the following revisions:
 1. Updates in Vestibule C-101.
 2. Update in Custodian C-141.
 3. Update Plan Note 36.
 4. Add Plan Note 42.

4. **Sheets A-704 and A-705**

- A. Refer to two (2) revised full size drawings, included in this Addendum, for plan casework clarification in classrooms.

**5. Sheet A-730**

- A. Refer to revised full size drawing, included in this Addendum, for casework elevation changes.

6. Sheets A-801, A-803 and A-805

- A. Refer to three (3) revised full size drawings, included in this Addendum, for plan finish clarifications.

7. Sheet MD105

- A. Refer to revised full size drawing, included in this Addendum, for removal of existing unit ventilator, associated piping, thermostat, etc.

8. Sheet MV105

- A. Refer to revised full size drawing, included in this Addendum, for the following revisions:
1. Added unit ventilator, ductwork, grilles, etc.
 2. Added exhaust fan.
 3. Transfer Air Revision.
 4. Cooling Unit Addition.

9. Sheet MP105

- A. Refer to revised full size drawing, included in this Addendum, for the following revisions:
1. Unit Ventilator Revision.
 2. Cooling Unit Revision.

10. Sheet M-201

- A. Refer to revised full size drawing, included in this Addendum, for added relief hoods.

11. Sheet M-501

- A. Refer to revised full size drawing, included in this Addendum, for revised schedules and added equipment.

Pages 1 through 2, inclusive, and Fourteen (14) Full-Size Drawings, constitute the total makeup of **Addendum One**.

**GIBRALTAR**

DESIGN

Y:\21-145 Duneland SC - Bailly ES Additions and Renovations\Specs\ADDENDUM ONE\AD01.docx

PROJECT

**BAILLY
ELEMENTARY
SCHOOL -
RENOVATIONS**

DUNELAND SCHOOL CORPORATION
CHESTERTON, INDIANA



GIBRALTAR DESIGN

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Indianapolis, IN 46260
Homepage www.GibraltarDesign.com
Email info@GibraltarDesign.com
Phone 317.580.5777 Fax 317.580.5778

PROJECT 21-145	
DATE 11/14/22	
COORDINATED BY MMM,TA	
DRAWN BY CLN	
CHECKED BY D.IW	

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DRAWING
UNIT "E" FIRST FLOOR
EQUIPMENT PLAN

PROJECT
BAILLY ES - RENOVATIONS

© GIBRALTAR DESIGN	SHEET
E	A-705

OWNER FURNISHED EQUIPMENT
PLAN NOTES:

- (50) LOOSE FURNITURE, BY OWNER, INDICATED ON PLAN FOR ELECTRICAL AND TECHNOLOGY COORDINATION.
- (51) COMPUTER/MONITOR, BY OWNER
- (52) PRINTER/COPIER, BY OWNER
- (53) REFRIGERATOR WITH ICE MAKER, BY OWNER
- (54) SHELVING, BY OWNER.
- (55) FILE CABINET, BY OWNER.
- (56) MICROWAVE, BY OWNER.
- (57) VENDING MACHINE, BY OWNER.
- (58) CLINIC COTS, BY OWNER.
- (59) KILN, BY OWNER.
- (60) PIANO, BY OWNER.

GENERAL EQUIPMENT PLAN NOTES:

- A. REFER TO SPECIFICATIONS AND FINISH LEGEND FOR ADDITIONAL INFORMATION.
- B. FIELD VERIFY ALL DIMENSIONS.
- C. CASEWORK AND/OR MILLWORK INSTALLER TO COORDINATE ELECTRICAL AND PLUMBING WORK, REFER TO ELECTRICAL DRAWINGS AND SCHEDULES FOR ELECTRICAL DEVICE TYPES, HEIGHTS, AND LOCATIONS.
- D. REFER TO G SERIES DRAWINGS FOR MOUNTING HEIGHTS.
- E. REFER TO EQUIPMENT PLANS FOR REFERENCE TO ENLARGED TOILET ROOM PLANS AND TOILET ROOM ACCESSORIES.

EQUIPMENT PLAN LEGEND:

- (A) INDICATES CASEWORK ELEVATION SYMBOL - REFER TO A-800 SERIES DRAWINGS FOR ELEVATIONS AND DETAILS.
- INDICATES ITEMS TO BE PART OF LOOSE EQUIPMENT PACKAGE BY OWNER, (NOT INCLUDED IN CONSTRUCTION CONTRACT).
- INDICATES BULKHEADS OR OTHER OVERHEAD ITEMS (INCLUDED IN CONSTRUCTION CONTRACT).
- (TB) INDICATES 4" HIGH TACK BOARD LENGTH AS INDICATED, REFER TO MOUNTING HOLE DRAWING. (A-501)
- (MB) INDICATES 4" HIGH MARKER BOARD LENGTH AS INDICATED, REFER TO MOUNTING HOLE DRAWING. (A-501)
- (PMB) INDICATES 4" HIGH PROJECTABLE MARKER BOARD, REFER TO MOUNTING HOLE DRAWING. (A-501)
- (TV) TELEVISION MONITOR, REFER TO TECHNOLOGY DRAWING.
- (CG) INDICATES CORNER GUARD

EQUIPMENT PLAN NOTES:

(ALL PLAN NOTES MAY NOT BE INDICATED ON THIS PLAN)

- ① NOT USED
- ② NOT USED
- ③ PAPER TOWEL AND SOAP DISPENSER, OFCI.
- ④ DRINKING FOUNTAIN, REFER TO PLUMBING DRAWINGS.
- ⑤ NOT USED
- ⑥ NOT USED
- ⑦ SINK IN CASEWORK, REFER TO CASEWORK AND PLUMBING DRAWINGS.



UNIT "E" FIRST FLOOR EQUIPMENT PLAN

SCALE: 1/8" = 1'-0"

GENERAL FINISH PLAN NOTES:

- A. REFERENCE FINISH LEGEND FOR FINISH INFORMATION.
- B. REFERENCE FLOOR PATTERN PLANS, EQUIPMENT PLANS, INTERIOR ELEVATIONS, REFLECTED CEILING PLANS AND WRITTEN SPECIFICATIONS FOR ADDITIONAL FINISH INFORMATION.
- C. PRIOR TO INSTALLATION OF NEW FINISHES CONTRACTOR SHALL INSPECT ALL SUBSTRATES. IF A SUBSTRATE IS DEEMED UNACCEPTABLE THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO RECTIFY THE SITUATION OR CONTACT THE ARCHITECT WITH THE CONCERN. PROCEEDING WITH THE INSTALLATION OF FINISHES WILL BE CONSTRUED THAT THE INSTALLER AND /OR FINISHER HAS ACCEPTED SAID SUBSTRATE. NO CHANGE ORDER WILL BE ISSUED TO RECTIFY CONCEALED, OR UNSATISFACTORY SUBSTRATE ONCE FINISH WORK HAS PROCEEDED.
- D. PREPARE ALL WALL CONSTRUCTION, NEW AND EXISTING, TO RECEIVE NEW FINISHES AS PER MANUFACTURE'S RECOMMENDED INSTALLATION METHODS AND MATERIALS FOR ALL FINISHES.
- E. ALL FLOORING IS TO BE LEVELED WITHIN 1/4" IN 10'-0" WITH LATEX MATERIAL. MOISTURE CONTENT IN AREA IS TO BE TESTED PRIOR TO INSTALLATION OF FLOORING MATERIAL. CONTRACTOR TO INSTALL FLOORING PER MANUFACTURER'S RECOMMENDED METHOD.
- F. FLOORING CONTRACTOR TO SUBMIT A SEAMING DIAGRAM FOR FLOORING MATERIAL INCLUDING NOTATION OF MATERIAL DIRECTION.
- G. ALL FLOORING TRANSITIONS SHALL COMPLY WITH ADA GUIDELINES.
- H. ALL EXPOSED METAL SURFACES, SUCH AS GRILLES, FIRE EXTINGUISHER CABINETS, ETC. THAT ARE NOTED TO BE PAINTED, SHALL BE PAINTED WITH ALKID TYPE PAINT. COLOR TO BE COORDINATED WITH DESIGNER UNLESS OTHERWISE NOTED.
- I. CONTRACTOR TO PROVIDE AND INSTALL FLOORING TRANSITIONS AS INDICATED ON THE FLOOR PATTERN PLANS, WHERE NONE ARE NOTED, CONTRACTOR SHALL VERIFY REQUIRED TYPE/COLOR WITH ARCHITECT.
- J. ALL FLOOR FINISH TRANSITIONS AT DOORS SHALL BE CENTERED UNDER DOOR UNLESS NOTED OTHERWISE.
- K. FOR FLOOR FINISH TRANSITION DETAILS REFER TO 6/A-501.
- L. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL NEW INTERIOR WALL AND CEILING FINISHES WILL BE CLASS B MINIMUM, WITH A FLAME SPREAD RATING OF 75 MAXIMUM, AND A SMOKE DEVELOPED INDEX OF 450 MAXIMUM, PER IBC SECTION 603.
- M. PAINT ALL SIDES OF NEW AND EXISTING DOOR FRAMES TO MATCH EXISTING SURFACES UNLESS NOTED OTHERWISE.
- N. EXPOSED SURFACES OF DUCTWORK TO BE PAINTED TO MATCH ADJACENT SURFACES UNLESS NOTED OTHERWISE.
- O. EXISTING BRICK TO REMAIN AND DO NOT PAINT.

FINISH SYMBOL LEGEND:

P1	WALL FINISH
C1	FLOOR FINISH
B1	BASE FINISH
---	MISC FINISH INFORMATION

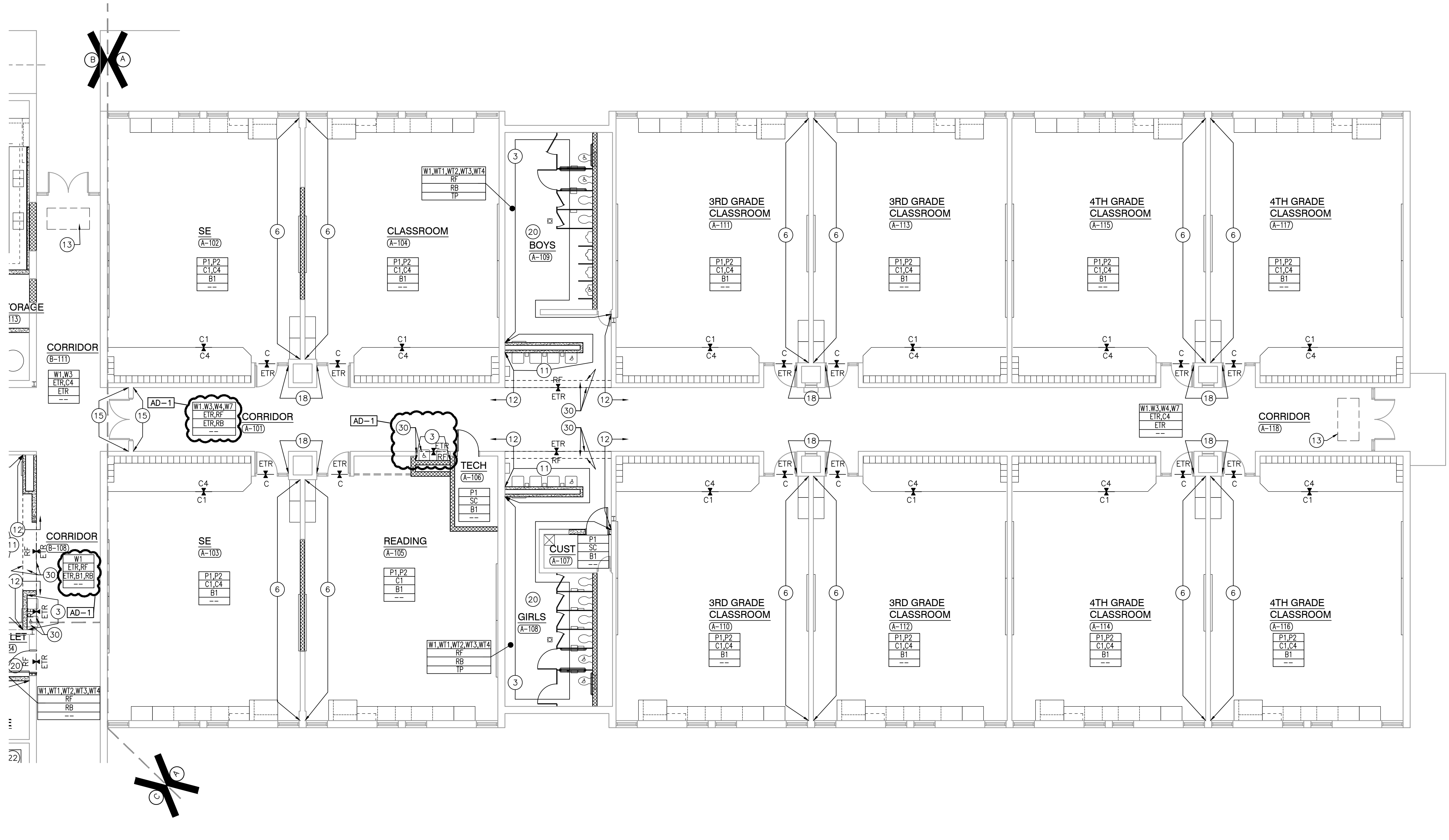
⌵ FLOOR TRANSITION STRIP AS REQUIRED

↑ INDICATES DIRECTION OF MATERIAL GRAIN

FINISH PLAN NOTES:

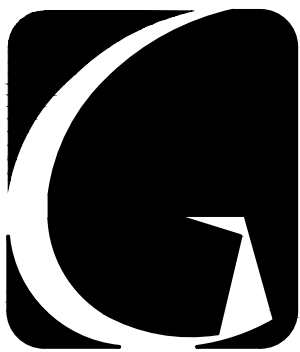
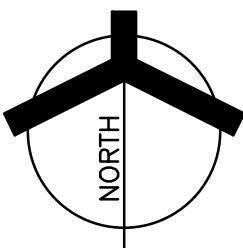
(ALL PLAN NOTES MAY NOT BE INDICATED ON THIS PLAN)

- NO NEW FINISHES THIS ROOM, EXCLUDING DOOR FRAMES CONNECTED TO OTHER ROOMS THAT RECEIVE NEW FINISHES.
- MATCH EXISTING WALL FINISHES, WALL PAINT AND PROVIDE NEW BASE.
- WALL TILE, WT1, FULL HEIGHT OF WALL.
- WALL TILE - REFER TO INTERIOR ELEVATIONS AND FINISH LEGEND.
- WALL TILE, SEE WALL TILE PATTERN - A-860
- PAINT, P2.
- PAINT, P3
- WALLCOATING, W6
- PAINT, P4.
- PAINT, W6
- WALL TILE, SEE WALL TILE PATTERN - A-860
- PAINT, W1
- CARPET, C4
- PAINT, P6
- WALLCOATING, W3
- SEE WALL TILE PATTERN, ALL WALLS WITH PATTERN, A-860
- PAINT BULKHEAD, P9
- PAINT, SEE ELEVATION A-860
- WALLCOATING, W4
- SCHULTER TILE TRIM AT ALL OUTSIDE CORNERS
- PAINT, P10
- PAINT, P1
- PAINT, P3 COLUMN, EXCLUDE BRICK AND WOOD TRIM.
- SLOPED CEILING INCLUDING ALL EXPOSED STEEL FRAMING, PAINT P7
- PAINT BULKHEAD P9, ADD SHARP PAINT LINE AT JUNCTION OF TWO BULKHEADS FOR PAINT SEPARATION.
- CARPET C5 AT COLUMN SEAT, TOP AND SIDES.
- CARPET C5 ON WALL BELOW EXISTING WOOD TRIM.
- INSTALL SALVAGED WOOD BASE AT NEW CONSTRUCTION.
- MODIFY EXISTING WOOD BASE TO ACCEPT NEW STOREFRONT WALL. USE SALVAGED WOOD BASE AS NEEDED.
- PAINT BULKHEAD FACE AND BOTTOM, W1.
- PAINT BULKHEAD FACE AND BOTTOM, W3.
- PAINT BULKHEAD FACE AND BOTTOM, W9.
- PAINT BULKHEAD FACE AND BOTTOM, P4.
- PAINT, P9.
- PAINT METAL ONLY ON BRICK COLUMN, P8.



UNIT "A" FIRST FLOOR FINISH PLAN

SCALE: 1/8" = 1'-0"



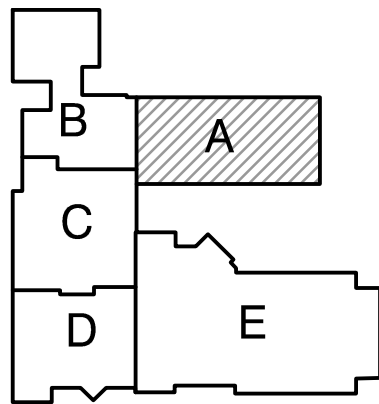
GIBRALTAR
DESIGN

ARCHITECTURE • ENGINEERING • INTERIOR DESIGN

PROJECT

**BAILLY
ELEMENTARY
SCHOOL -
RENOVATIONS**

DUNELAND SCHOOL CORPORATION
CHESTERTON, INDIANA



KEY PLAN

GIBRALTAR DESIGN

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Indianapolis, IN 46260
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PROJECT

21-145

DATE

11/14/22

COORDINATED BY

MMM,TA

DRAWN BY

CLN

CHECKED BY

NAS

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REVISIONS

MARK	DATE	ISSUED FOR
AD-1	11/30/22	ADDENDUM NO. 1

DRAWING

UNIT "A" FIRST FLOOR FINISH PLAN

PROJECT

BAILLY ES - RENOVATIONS

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SHEET

A

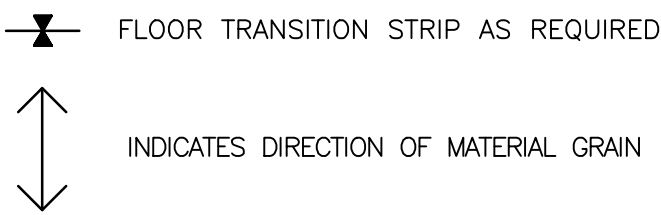
A-801

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- N. EXPOSED SURFACES OF DUCTWORK TO BE PAINTED TO MATCH ADJACENT SURFACES UNLESS NOTED OTHERWISE.
- O. EXISTING BRICK TO REMAIN AND DO NOT PAINT.

FINISH SYMBOL LEGEND:

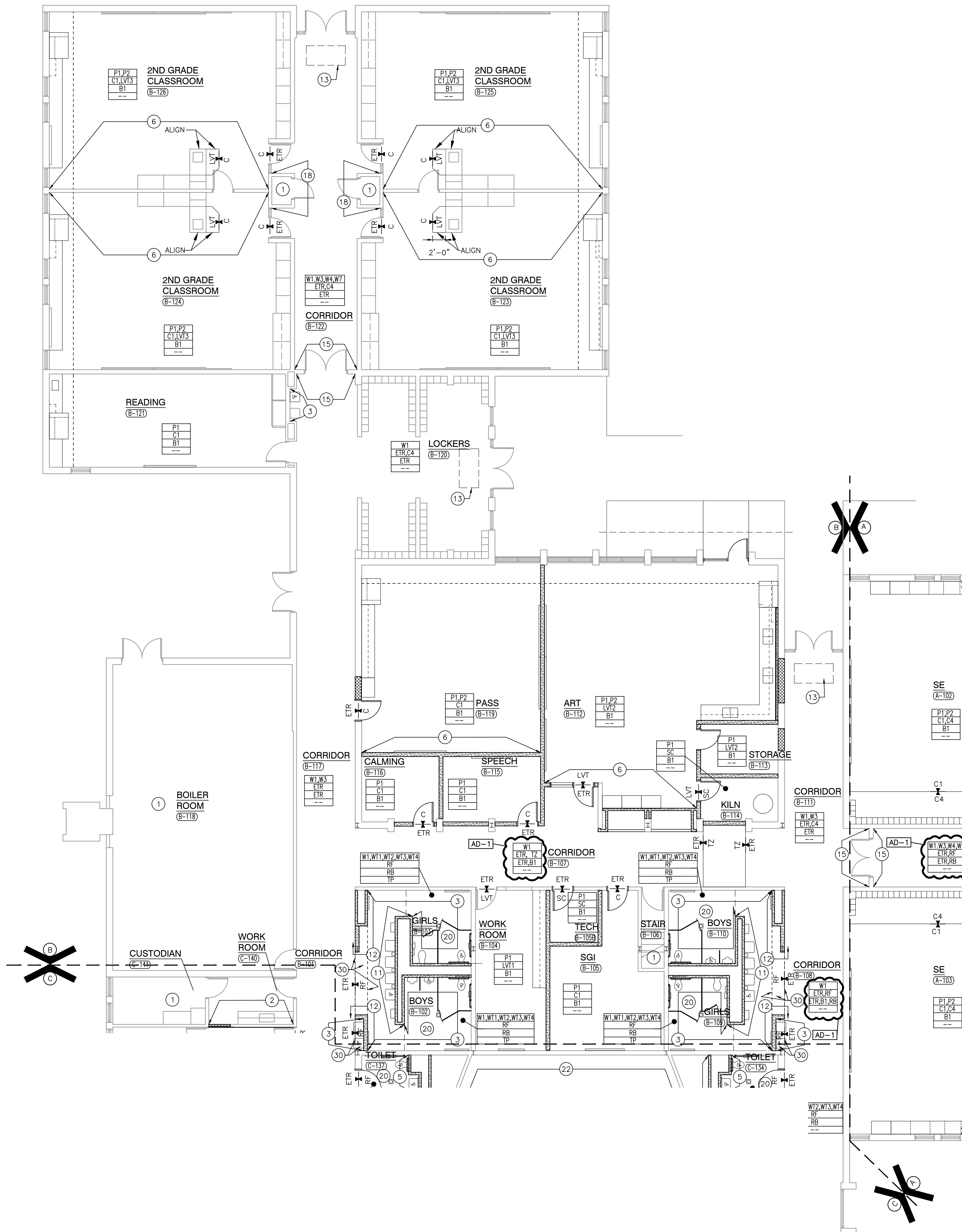
P1	WALL FINISH
C1	FLOOR FINISH
B1	BASE FINISH
---	MISC FINISH INFORMATION



FINISH PLAN NOTES:

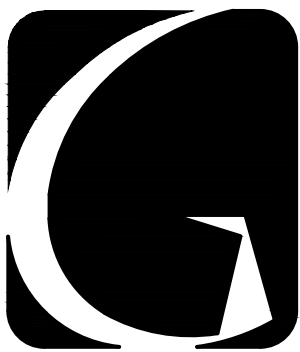
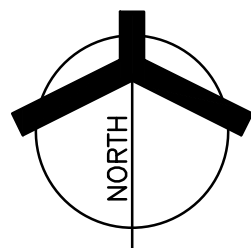
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- PAINT, P3
- WALLCOATING, W6
- PAINT, P4.
- PAINT, W6
- WALL TILE, SEE WALL TILE PATTERN - A-860
- PAINT, W1
- CARPET, C4
- PAINT, P6
- WALLCOATING, W3
- SEE WALL TILE PATTERN, ALL WALLS WITH PATTERN, A-860
- PAINT BULKHEAD, P9
- PAINT, SEE ELEVATION A-860
- WALLCOATING, W4
- SCHULTER TILE TRIM AT ALL OUTSIDE CORNERS
- PAINT, P10
- PAINT, P1
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- PAINT BULKHEAD FACE AND BOTTOM, P4.
- PAINT, P9.
- PAINT METAL ONLY ON BRICK COLUMN, P8.



UNIT "B" FIRST FLOOR FINISH PLAN

SCALE: 1/8" = 1'-0"



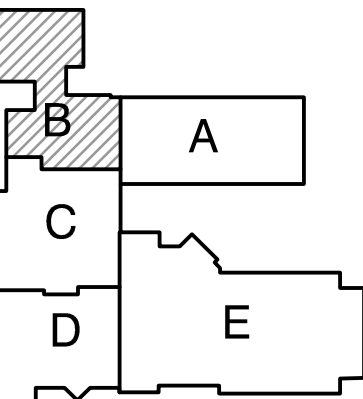
GIBRALTAR
DESIGN

ARCHITECTURE • ENGINEERING • INTERIOR DESIGN

PROJECT

**BAILLY
ELEMENTARY
SCHOOL -
RENOVATIONS**

DUNELAND SCHOOL CORPORATION
CHESTERTON, INDIANA



KEY PLAN

GIBRALTAR DESIGN

9102 N. Meridian St., Ste. 300
Indianapolis, IN 46260
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Email: info@GibraltarDesign.com
Phone: 317.580.5777 Fax: 317.580.5778

PROJECT

21-145

DATE

11/14/22

COORDINATED BY

MMM,TA

DRAWN BY

CLN

CHECKED BY

NAS

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REVISIONS

MARK

DATE

ISSUED FOR

AD-1 11/30/22 ADDENDUM NO. 1

DRAWING

UNIT "B" FIRST FLOOR FINISH PLAN

PROJECT

BAILLY ES - RENOVATIONS

© GIBRALTAR DESIGN

SHEET

B

A-802

GENERAL FINISH PLAN NOTES:

- A. REFERENCE FINISH LEGEND FOR FINISH INFORMATION.
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- N. EXPOSED SURFACES OF DUCTWORK TO BE PAINTED TO MATCH ADJACENT SURFACES UNLESS NOTED OTHERWISE.
- O. EXISTING BRICK TO REMAIN AND DO NOT PAINT.

FINISH SYMBOL LEGEND:

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C1	FLOOR FINISH
B1	BASE FINISH
---	MISC FINISH INFORMATION

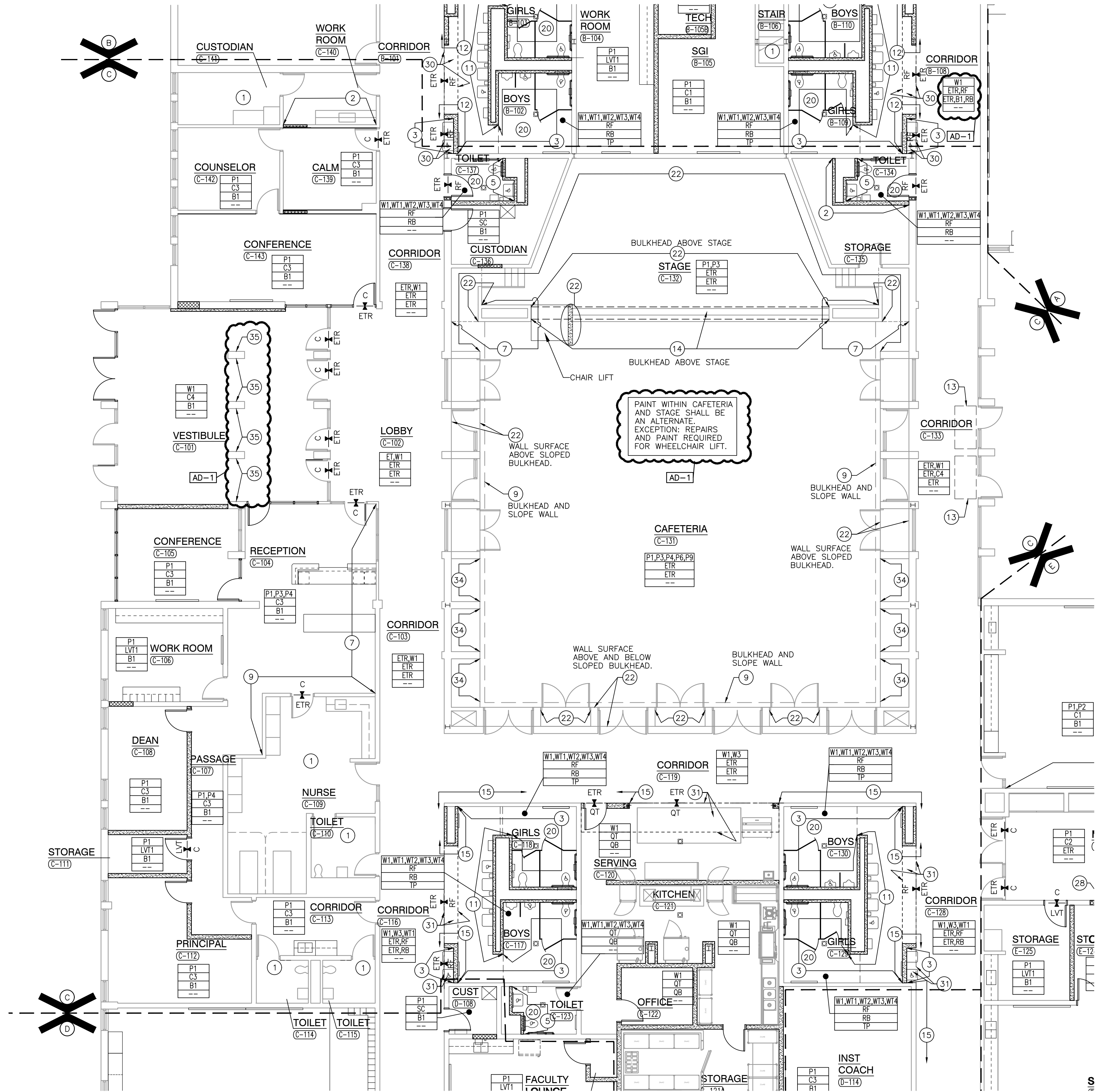
✕ FLOOR TRANSITION STRIP AS REQUIRED

↑ INDICATES DIRECTION OF MATERIAL GRAIN

FINISH PLAN NOTES:

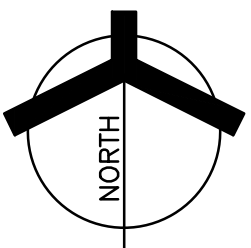
(ALL PLAN NOTES MAY NOT BE INDICATED ON THIS PLAN)

- NO NEW FINISHES THIS ROOM, EXCLUDING DOOR FRAMES CONNECTED TO OTHER ROOMS THAT RECEIVE NEW FINISHES.
- MATCH EXISTING WALL FINISHES, WALL PAINT AND PROVIDE NEW BASE.
- WALL TILE, WT1, FULL HEIGHT OF WALL.
- WALL TILE - REFER TO INTERIOR ELEVATIONS AND FINISH LEGEND.
- WALL TILE, SEE WALL TILE PATTERN - A-860
- PAINT, P2.
- PAINT, P3
- WALLCOATING, W6
- PAINT, P4.
- PAINT, W6
- WALL TILE, SEE WALL TILE PATTERN - A-860
- PAINT, W1
- PAINT, P6
- WALLCOATING, W3
- SEE WALL TILE PATTERN, ALL WALLS WITH PATTERN, A-860
- PAINT BULKHEAD, P9
- PAINT, SEE ELEVATION A-860
- WALLCOATING, W4
- SCHULTER TILE TRIM AT ALL OUTSIDE CORNERS
- PAINT, P10
- PAINT, P1
- PAINT, P3 COLUMN, EXCLUDE BRICK AND WOOD TRIM.
- SLOPED CEILING INCLUDING ALL EXPOSED STEEL FRAMING, PAINT P7
- PAINT BULKHEAD P9, ADD SHARP PAINT LINE AT JUNCTION OF TWO BULKHEADS FOR PAINT SEPARATION.
- CARPET C5 AT COLUMN SEAT, TOP AND SIDES.
- CARPET C5 ON WALL BELOW EXISTING WOOD TRIM.
- INSTALL SALVAGED WOOD BASE AT NEW CONSTRUCTION.
- MODIFY EXISTING WOOD BASE TO ACCEPT NEW STOREFRONT WALL. USE SALVAGED WOOD BASE AS NEEDED.
- PAINT BULKHEAD FACE AND BOTTOM, W1.
- PAINT BULKHEAD FACE AND BOTTOM, W3.
- PAINT BULKHEAD FACE AND BOTTOM, W9.
- PAINT BULKHEAD FACE AND BOTTOM, P4.
- PAINT, P9.
- PAINT METAL ONLY ON BRICK COLUMN, P8.



UNIT "C" FIRST FLOOR FINISH PLAN

SCALE: 1/8" = 1'-0"



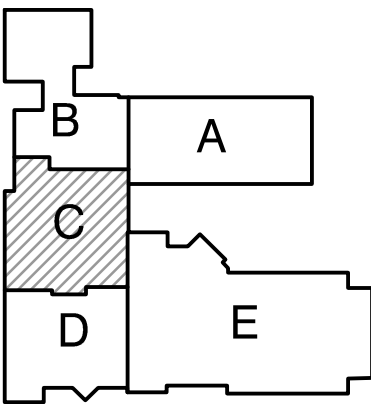
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PROJECT

**BAILLY
ELEMENTARY
SCHOOL -
RENOVATIONS**

DUNELAND SCHOOL CORPORATION
CHESTERTON, INDIANA



KEY PLAN

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PROJECT

21-145

DATE

11/14/22

COORDINATED BY

MMM,TA

DRAWN BY

CLN

CHECKED BY

NAS

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REVISIONS

MARK	DATE	ISSUED FOR
AD-1	11/30/22	ADDENDUM NO. 1

DRAWING

UNIT "C" FIRST FLOOR FINISH PLAN

PROJECT

BAILLY ES - RENOVATIONS

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SHEET

C

A-803

FINISH PLAN NOTES:

(ALL PLAN NOTES MAY NOT BE INDICATED ON THIS PLAN)

- 1 NO NEW FINISHES THIS ROOM, EXCLUDING DOOR FRAMES CONNECTED TO OTHER ROOMS THAT RECEIVE NEW FINISHES.
- 2 MATCH EXISTING WALL FINISHES, WALL PAINT AND PROVIDE NEW BASE.
- 3 WALL TILE, WT1, FULL HEIGHT OF WALL.
- 4 WALL TILE - REFER TO INTERIOR ELEVATIONS AND FINISH LEGEND.
- 5 WALL TILE, SEE WALL TILE PATTERN - A-860
- 6 PAINT, P2.
- 7 PAINT, P3
- 8 WALLCOATING, W6
- 9 PAINT, P4.
- 10 PAINT, W6
- 11 WALL TILE, SEE WALL TILE PATTERN - A-860
- 12 PAINT, W1
- 13 CARPET, C4
- 14 PAINT, P6
- 15 WALLCOATING, W3
- 16 SEE WALL TILE PATTERN, ALL WALLS WITH PATTERN, A-860
- 17 PAINT BULKHEAD, P9
- 18 PAINT, SEE ELEVATION A-860
- 19 WALLCOATING, W4
- 20 SCHULTER TILE TRIM AT ALL OUTSIDE CORNERS
- 21 PAINT, P10
- 22 PAINT, P1
- 23 PAINT, P3 COLUMN, EXCLUDE BRICK AND WOOD TRIM.
- 24 SLOPED CEILING INCLUDING ALL EXPOSED STEEL FRAMING, PAINT P7
- 25 PAINT BULKHEAD P9, ADD SHARP PAINT LINE AT JUNCTION OF TWO BULKHEADS FOR PAINT SEPARATION.
- 26 CARPET C5 AT COLUMN SEAT, TOP AND SIDES.
- 27 CARPET C5 ON WALL BELOW EXISTING WOOD TRIM.
- 28 INSTALL SALVAGED WOOD BASE AT NEW CONSTRUCTION.
- 29 MODIFY EXISTING WOOD BASE TO ACCEPT NEW STOREFRONT WALL. USE SALVAGED WOOD BASE AS NEEDED.
- 30 PAINT BULKHEAD FACE AND BOTTOM, W1.
- 31 PAINT BULKHEAD FACE AND BOTTOM, W3.
- 32 PAINT BULKHEAD FACE AND BOTTOM, W9.
- 33 PAINT BULKHEAD FACE AND BOTTOM, P4.
- 34 PAINT, P9.
- 35 PAINT METAL ONLY ON BRICK COLUMN, P8.

GENERAL FINISH PLAN NOTES:

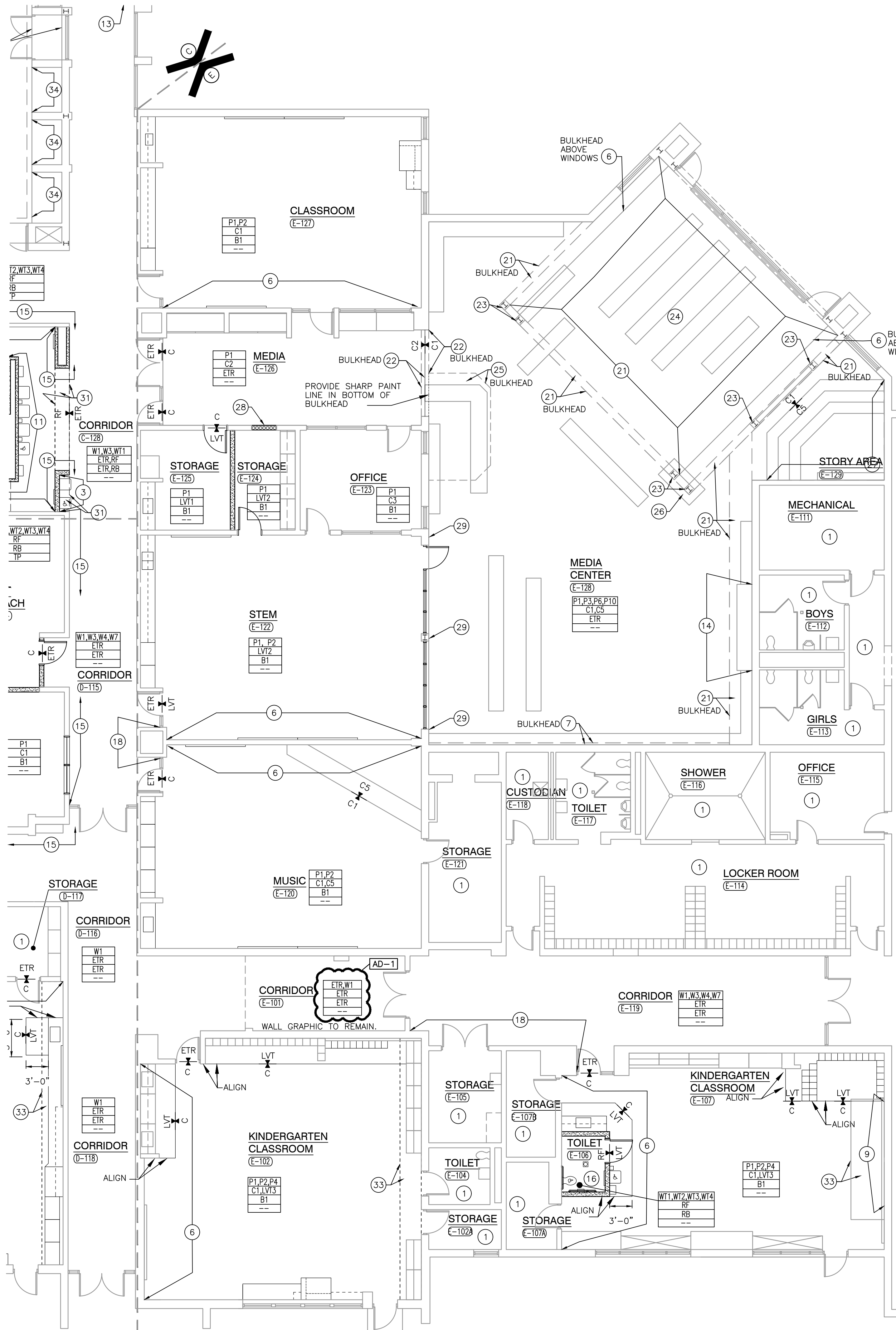
- A. REFERENCE FINISH LEGEND FOR FINISH INFORMATION.
- B. REFERENCE FLOOR PATTERN PLANS, EQUIPMENT PLANS, INTERIOR ELEVATIONS, REFLECTED CEILING PLANS AND WRITTEN SPECIFICATIONS FOR ADDITIONAL FINISH INFORMATION.
- C. PRIOR TO INSTALLATION OF NEW FINISHES CONTRACTOR SHALL INSPECT ALL SUBSTRATES. IF A SUBSTRATE IS DEEMED UNACCEPTABLE THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO RECTIFY THE SITUATION OR CONTACT THE ARCHITECT WITH THE CONCERN. PROCEEDING WITH THE INSTALLATION OF FINISHES WILL BE CONSTRUED THAT THE INSTALLER AND /OR FINISHER HAS ACCEPTED SAID SUBSTRATE. NO CHANGE ORDER WILL BE ISSUED TO RECTIFY CONCEALED, OR UNSATISFACTORY SUBSTRATE ONCE FINISH WORK HAS PROCEEDED.
- D. PREPARE ALL WALL CONSTRUCTION, NEW AND EXISTING, TO RECEIVE NEW FINISHES AS PER MANUFACTURE'S RECOMMENDED INSTALLATION METHODS AND MATERIALS FOR ALL FINISHES.
- E. ALL FLOORING IS TO BE LEVELED WITHIN 1/4" IN 10'-0" WITH LATEX MATERIAL. MOISTURE CONTENT IN AREA IS TO BE TESTED PRIOR TO INSTALLATION OF FLOORING MATERIAL. CONTRACTOR TO INSTALL FLOORING PER MANUFACTURER'S RECOMMENDED METHOD.
- F. FLOORING CONTRACTOR TO SUBMIT A SEAMING DIAGRAM FOR FLOORING MATERIAL INCLUDING NOTATION OF MATERIAL DIRECTION.
- G. ALL FLOORING TRANSITIONS SHALL COMPLY WITH ADA GUIDELINES.
- H. ALL EXPOSED METAL SURFACES, SUCH AS GRILLES, FIRE EXTINGUISHER CABINETS, ETC. THAT ARE NOTED TO BE PAINTED, SHALL BE PAINTED WITH ALKID TYPE PAINT. COLOR TO BE COORDINATED WITH DESIGNER UNLESS OTHERWISE NOTED.
- I. CONTRACTOR TO PROVIDE AND INSTALL FLOORING TRANSITIONS AS INDICATED ON THE FLOOR PATTERN PLANS, WHERE NONE ARE NOTED, CONTRACTOR SHALL VERIFY REQUIRED TYPE/COLOR WITH ARCHITECT.
- J. ALL FLOOR FINISH TRANSITIONS AT DOORS SHALL BE CENTERED UNDER DOOR UNLESS NOTED OTHERWISE.
- K. FOR FLOOR FINISH TRANSITION DETAILS REFER TO 6/A-501.
- L. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL NEW INTERIOR WALL AND CEILING FINISHES WILL BE CLASS B MINIMUM, WITH A FLAME SPREAD RATING OF 75 MAXIMUM, AND A SMOKE DEVELOPED INDEX OF 450 MAXIMUM, PER IBC SECTION 603.
- M. PAINT ALL SIDES OF NEW AND EXISTING DOOR FRAMES TO MATCH EXISTING UNLESS NOTED OTHERWISE.
- N. EXPOSED SURFACES OF DUCTWORK TO BE PAINTED TO MATCH ADJACENT SURFACES UNLESS NOTED OTHERWISE.
- O. EXISTING BRICK TO REMAIN AND DO NOT PAINT.

FINISH SYMBOL LEGEND:

P1	WALL FINISH
C1	FLOOR FINISH
B1	BASE FINISH
---	MISC FINISH INFORMATION

✂ FLOOR TRANSITION STRIP AS REQUIRED

↑ INDICATES DIRECTION OF MATERIAL GRAIN



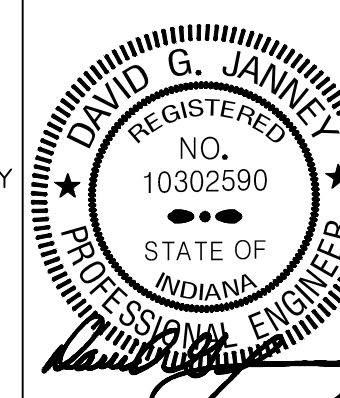


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BJ



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MARK	DATE	ISSUED FOR
AD-1	11/30/22	ADDENDUM NO. 1

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DRAWING

UNIT "E" MECHANICAL

FIRST FLOOR DEMOLITION

PLAN

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RENOVATIONS[illegible]

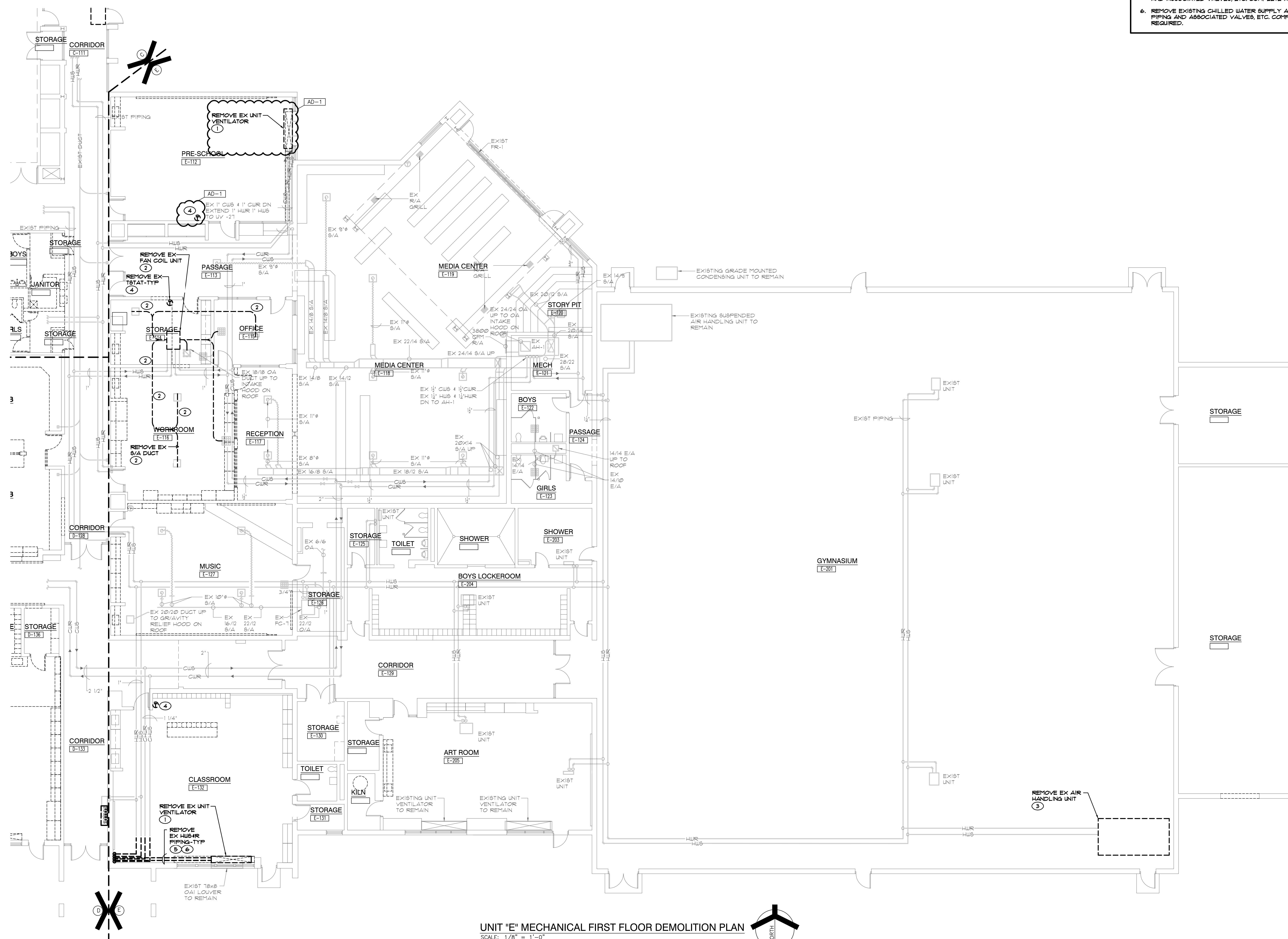
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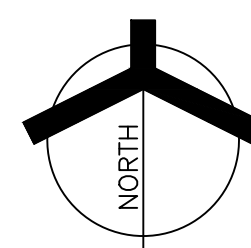
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UNIT "E" MECHANICAL FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"






DUNELAND SCHOOL CORPORATION
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PROJECT 21-145 DATE 11/14/22 COORDINATED BY JC DRAWN BY GL,BAK CHECKED BY DL	
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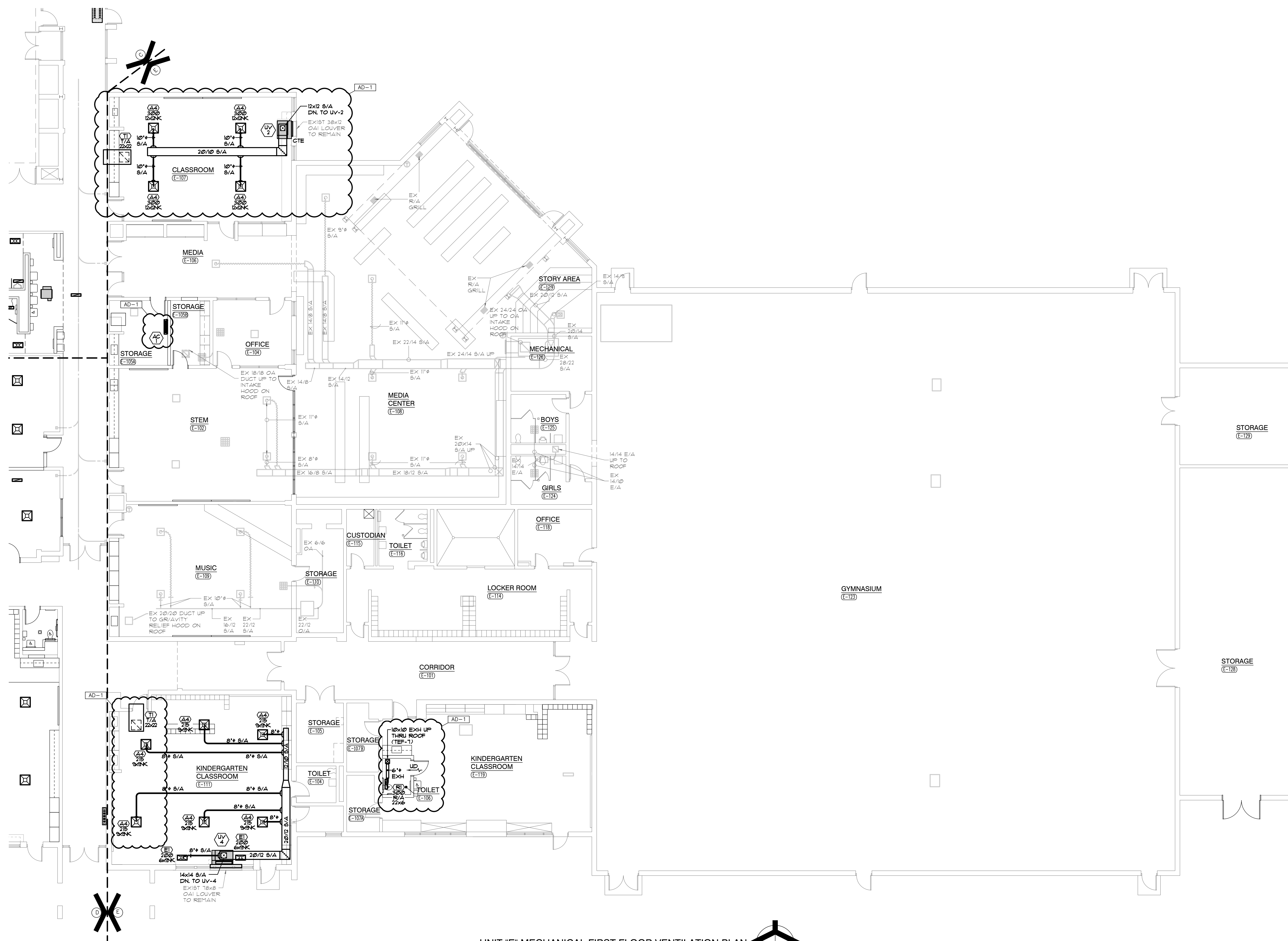
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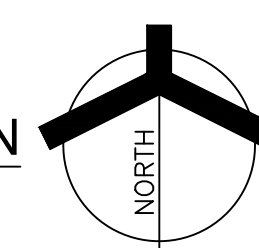
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UNIT "E" MECHANICAL
FIRST FLOOR
VENTILATION PLAN

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UNIT "E" MECHANICAL FIRST FLOOR VENTILATION PLAN
SCALE: 1/8" = 1'-0"

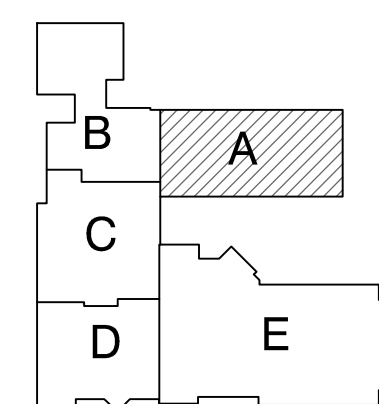




PROJECT

**BAILLY
ELEMENTARY
SCHOOL -
RENOVATIONS**


DUNELAND SCHOOL CORPORATION
CHESTERTON, INDIANA



KEY PLAN

GIBRALTAR DESIGN

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PROJECT 21-145	
DATE 11/14/22	
COORDINATED BY JC	
DRAWN BY GLBAK	
CHECKED BY D.J	

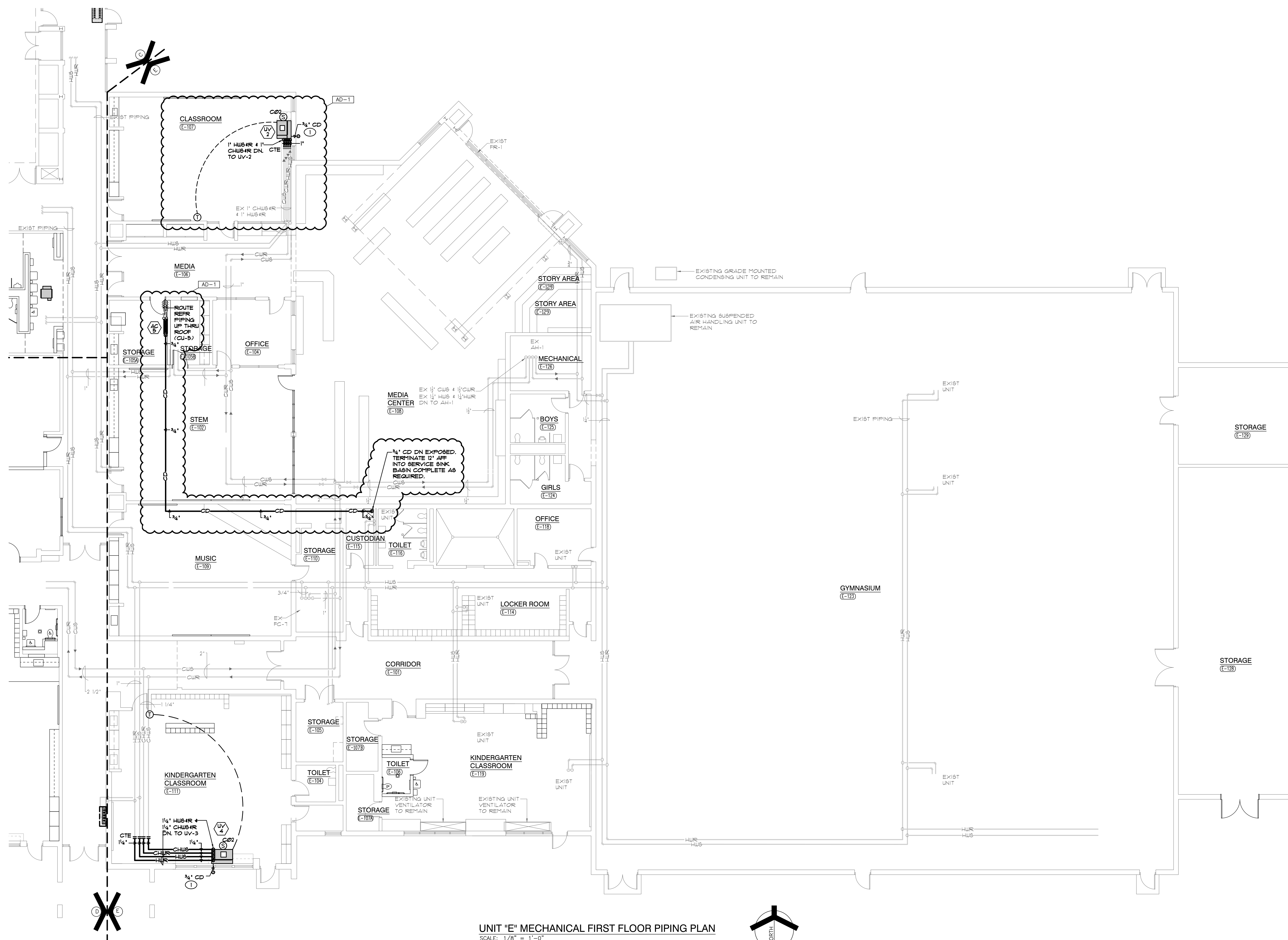
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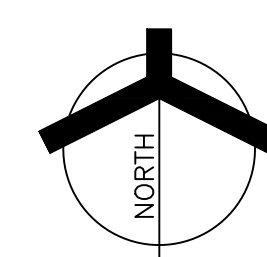
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UNIT "E" MECHANICAL
FIRST FLOOR PIPING PLAN

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BAILLY ES -
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UNIT "E" MECHANICAL FIRST FLOOR PIPING PLAN
SCALE: 1/8" = 1'-0"



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PUMP SCHEDULE														
TAG	MANUFACTURER	MODEL NUMBER	DESCRIPTION	GPM	HEAD (FT.)	PUMP MOTOR DATA							DISCHARGE SIZE	REMARKS
						HP	RPM	VOLT	PHASE	HZ.	STARTER	M.C. EC.		
CP-1	BELL & GOSSETT	SERIES 80, 4x4x12B	SUSPENDED INLINE CHILLED WATER RECIRCULATION PUMP (C-1)	264	35	5	1750	208	3	60	X	-	4" / 4"	-
CUP-1	BELL & GOSSETT	SERIES 150, 2EB	BASE MOUNTED CHILLED WATER DISTRIBUTION PUMP	132	80	1 1/2	1750	208	3	60	X	-	3" / 2"	CHILLED WATER PRIMARY PUMPS W/VD OPERATING IN PARALLEL. 264 GPM AT 80 FT. HD. WITH DUAL POWER FEEDERS
CUP-2	BELL & GOSSETT	SERIES 150, 2EB	BASE MOUNTED CHILLED WATER DISTRIBUTION PUMP	132	80	1 1/2	1750	208	3	60	X	-	3" / 2"	

INTAKE/RELIEF HOOD SCHEDULE						
TAG	MANUFACTURER	MODEL #	THROAT SIZE	DESCRIPTION	HOOD LOCATION	REMARKS
IH-1	ACHE	#TIV	SEE PLANS	OUTSIDE AIR INTAKE HOOD FOR EC-2, EC-3, EC-4	SEE PLANS	PROVIDE W/ BIRDSCREEN, AND 18" HIGH ROOF CURB
RH-1	ACHE	#TIV	SEE PLANS	RELIEF AIR HOOD FOR CLASSROOM W/6	SEE PLANS	PROVIDE W/ BIRDSCREEN, BAROMETRIC RELIEF DAMPER AND 18" HIGH ROOF CURB

GRILLE, REGISTER & DIFFUSER SCHEDULE								
TAG	MANUFACTURER	MODEL NO.	DESCRIPTION	AIR PATTERN	MOUNTING	SIZE	TYPE OF CONTROL	REMARKS
A3	NAILOR	6500-O	SUPPLY CEILING DIFFUSER	3-WAY	2' X 2' LAY-IN PANEL	SEE PLANS	O.B.D.	-
A4	NAILOR	6500-O	SUPPLY CEILING DIFFUSER	4-WAY	2' X 2' LAY-IN PANEL	SEE PLANS	O.B.D.	-
A9	NAILOR	6500-O	SUPPLY CEILING DIFFUSER	4-WAY	2' X 1' LAY-IN PANEL	SEE PLANS	O.B.D.	-
E1	NAILOR	61DH-O	SUPPLY CEILING REGISTER	DOUBLE DEFLECTION	2' X 1' LAY-IN PANEL	SEE PLANS	O.B.D.	HORIZONTAL FRONT BARS, VERTICAL BACK BARS
E2	NAILOR	61DH-O	SUPPLY CEILING REGISTER	DOUBLE DEFLECTION	SURFACE MOUNTED	SEE PLANS	O.B.D.	HORIZONTAL FRONT BARS, VERTICAL BACK BARS
R1	NAILOR	6145H-O	RETURN/EXHAUST GRILLE	LOUVERED GRILLE	LAY-IN PANEL	SEE PLANS	O.B.D.	-
R2	NAILOR	6145H-O	RETURN/EXHAUST REGISTER	LOUVERED GRILLE	SURFACE MOUNTED	SEE PLANS	-	-
T1	NAILOR	6145H	RETURN/EXHAUST/T.A. GRILLE	LOUVERED GRILLE	LAY-IN PANEL	SEE PLANS	-	-
T2	NAILOR	6145H	RETURN/EXHAUST/T.A. GRILLE	LOUVERED GRILLE	SURFACE MOUNTED	SEE PLANS	-	-

* ALL DIFFUSERS & REGISTERS SHALL HAVE A WHITE FINISH UNLESS OTHERWISE NOTED

