

ADDENDUM NO. 1

January 11, 2023

Three Rivers Community Schools – Three Rivers Middle School Additions and Renovation
1101 Jefferson Street
Three Rivers MI 49093

TO: ALL BIDDERS OF RECORD

This Addendum forms a part of and modifies the Bidding Requirements, Contract Forms, Contract Conditions, the Specifications, and the Drawings dated December 1, 2022, by GMB Architecture and Engineering. Acknowledge receipt of the Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of Pages ADD 1-1 through ADD 1-5, Reissued Specification 00 43 50 Subcontractors and Products List, Guideline Schedule, Reissued Phasing and Logistics Plans, and GMB Architecture and Engineering Addendum No. 1 consisting of two (2) pages, and Reissued Drawings: S3.1B and S7.3.

A. SPECIFICATION SECTION 00 43 50 SUBCONTRACTS AND PRODUCTS LIST

1. Paragraph 1.03 Civil and Architectural Work Subcontractors and Products List
 - A. Revised column heading from XBE to Value.
2. Paragraph 1.04 Mechanical Work Subcontractors and Products List
 - A. Revised column heading from XBE to Value.
3. Paragraph 1.05 Electrical Work Subcontractors and Products List
 - A. Revised column heading from XBE to Value.

B. SPECIFICATION SECTION 01 12 00 MULTIPLE CONTRACT SUMMARY

1. Paragraph 3.02 General Requirements B. Provided by all contractors.

A. Revise second paragraph to read as follows:

“**Autodesk Build** is replacing **PlanGrid**. **Autodesk Build** does not require users to purchase a license. **Contractors** will be invited to the project and required to use this tool. **Autodesk Build** will be used as the **Current Set** and **As-Built Record Drawings**. Additionally, it will be used to track **Issues** for **Safety, QA/QC, Non-Compliance Issues, Work Completion List, and Punch List**. **Autodesk Build** along with the **BIM Collaboration** tool will facilitate overhead coordination and clash detection. Contractors shall participate and provide **BIM Models** of their work to facilitate this coordination.

2. Paragraph 3.03 Bid Categories

A. **BID CATEGORY NO. 1 SITEWORK**

1. Add the following clarifications:

4. **Bid Category No. 1 Sitework** shall be responsible to remove concrete curb and sidewalk adjacent to light pole located in bus loop drive and is to place two Concrete Barricades adjacent to light pole. **Bid Category No. 2 Asphalt Paving** is to provide cold patch of location and temporary pavement markings as issued in update Site Logistics Plan. This work is to be in place prior to school commencing for 2023/2024 school year.

5. **Bid Category No. 1 Sitework** is to provide site storm and sanitary piping to within 5’ of building footprint and will be responsible for connection. **Bid Category No. 14 Mechanical** is to provide stub out of storm drainage and sanitary drainage from within building footprint.

B. **BID CATEGORY NO. 2 ASPHALT PAVING**

1. Add the following clarification:

2. **Bid Category No. 1 Sitework** shall be responsible to remove concrete curb and sidewalk adjacent to light pole located in bus loop drive and is to place two Concrete Barricades adjacent to light pole. **Bid Category No. 2 Asphalt Paving** is to provide cold patch of location and temporary pavement markings as issued in update Site Logistics Plan. This work is to be in place prior to school commencing for 2023/2024 school year.

C. **BID CATEGORY NO. 4 MASONRY**

1. Add the following clarification:

2. **Bid Category No. 4 Masonry** is to provide steel angle and bolting for New Masonry wall to Existing Connection as detailed 18/A7.02

D. BID CATEGORY NO. 5 STRUCTURAL STEEL

1. Revise Clarification No. 3 to read as follows:

Bid Category No. 7 General Trades is to provide Insulated Translucent Skylight System as detailed in 12/A7.03 including required treated blocking. **Bid Category No. 5 Structural Steel** is to Provide steel angles as detailed. **Bid Category No. 9 Metal Stud, Gypsum Board, and Acoustical Ceilings** is to provide Cold Formed Steel Framing and Gypsum Board. **Bid Category No. 6 Roofing** will be responsible to provide new roof insulation and roof membrane seam flashing as detailed.

2. Add the following clarifications:

4. **Bid Category No. 7 General Trades** is to provide temporary shoring to support trusses requiring to be modified at masonry fire wall connection in Unit A and as detailed in 2/S7.03. **Bid Category No. 5 Structural Steel** is to provide Joist Modification as detailed.

5. **Bid Category No. 5 Structural Steel** is to provide all Steel Railing Modifications as detailed in 10/A7.03.

E. BID CATEGORY NO. 6 ROOFING

1. Delete the following Specification Sections:

06 10 00 Rough Carpentry
08 45 23 Insulated Translucent Skylight System

2. Revise Clarification No. 2 to read as follows:

Bid Category No. 7 General Trades is to provide Insulated Translucent Skylight System as detailed in 12/A7.03 including required treated blocking. **Bid Category No. 5 Structural Steel** is to Provide steel angles as detailed. **Bid Category No. 9 Metal Stud, Gypsum Board, and Acoustical Ceilings** is to provide Cold Formed Steel Framing and Gypsum Board. **Bid Category No. 6 Roofing** will be responsible to provide new roof insulation and roof membrane seam flashing as detailed.

F. BID CATEGORY NO. 7 GENERAL TRADES

1. Add the following Specification Sections:

07 42 13.13 Metal Wall Panels
08 45 23 Insulated Translucent Skylight System

2. Add the following Clarifications:

3. **Bid Category No. 7 General Trades** is to provide Insulated Translucent Skylight System as detailed in 12/A7.03 including required treated blocking. **Bid Category No. 5 Structural Steel** is to Provide steel angles as detailed. **Bid Category No. 9 Metal Stud, Gypsum Board, and Acoustical Ceilings** is to provide Cold Formed Steel Framing and Gypsum Board. **Bid Category No. 6 Roofing** will be responsible to provide new roof insulation and roof membrane seam flashing as detailed.

4. **Bid Category No. 7 General Trades** is to provide temporary shoring to support trusses requiring to be modified at masonry fire wall connection in Unit A and as detailed in 2/S7.03. **Bid Category No. 5 Structural Steel** is to provide Joist Modification as detailed.

5. **Bid Category No. 7 General Trades** is to provide all saw cutting and removal of concrete slab for location identified on drawings. **Bid Category No. 7 General Trades** is responsible to review Structural Drawings and provide saw cutting and removal of concrete slab to support the installation of new thickened slabs.

6. **Bid Category No. 7 General Trades** is to provide Reception Desks as shown C102 and C121 and further detailed. All other office, classroom, and science casework is to be provided by **Bid Category No. 8 Casework**.

G. BID CATEGORY NO. 8 CASEWORK

1. Add the following Clarification:

1. **Bid Category No. 7 General Trades** is to provide Reception Desks as shown C102 and C121 and further detailed. All other office, classroom, and science casework is to be provided by **Bid Category No. 8 Casework**.

H. BID CATEGORY NO. 9 METAL STUD, GYPSUM BOARD, AND ACCOUSTICAL CEILINGS

1. Revise Clarification No. 2 to read as follows:

Bid Category No. 7 General Trades is to provide Insulated Translucent Skylight System as detailed in 12/A7.03, including required treated blocking. **Bid Category No. 5 Structural Steel** is to Provide steel angles as detailed. **Bid Category No. 9 Metal Stud, Gypsum Board, and Acoustical Ceilings** is to provide Cold Formed Steel Framing and Gypsum Board. **Bid Category**

No. 6 Roofing will be responsible to provide new roof insulation and roof membrane seam flashing as detailed.

I. BID CATEGORY NO. 14 – MECHANICAL

1. Add the following Clarifications:

4. **Bid Category No. 1 Sitework** is to provide site storm and sanitary piping to within 5' of building footprint and will be responsible for connection to building system. **Bid Category No. 14 Mechanical** is to provide stub out of storm drainage and sanitary drainage from within building footprint.

5. **Bid Category No. 14 Mechanical** is to include Three (3) Water Treatment applications as specified in Section 23 25 13 "Water Treatment for Closed-Loop Hydronic Systems".

6. Mechanical Equipment scheduled on sheet M9.03 has been purchased by owner. **Bid Category No. 14 Mechanical** is responsible to unload equipment from Truck upon delivery and will be responsible to participate in coordination of delivery, storage of equipment as required, and for the installation of equipment.

C. SECTION 01 29 00 APPLICATIONS FOR PAYMENT

1. Revise Paragraph 1.03.H.4 to read: "Autodesk Build Issues".
2. Revise Paragraph 1.03.H.6 to read: "As Built mark ups in Autodesk Build".

D. SECTION 01 32 00 SCHEDULES AND REPORTS

1. Issued Guideline Schedule
2. Reissued Phasing Plan
3. Reissued Site Logistic Plan

E. SECTION 01 77 00 CONTRACT CLOSEOUT

1. Revise Paragraph 3.03.A to read: "Project Record Documents include, drawings, project manuals, addenda, changes, and submittals. Contractors shall maintain **As-Built** conditions in **Autodesk Build** which will become Project Record Drawings.

SECTION 00 43 50 - SUBCONTRACTORS AND PRODUCTS LIST

PART 1 - GENERAL

1.01 DESCRIPTION

- A. The two (2) low responsive Bidders in each Bid Category shall furnish electronically, the following Subcontractors and Products List to the Construction Manager within **two (2) working days (48 hrs.) of bid opening, unless submitted with Bid.** The blanks appropriate to the Bid Category(ies) on which they bid shall be completed.
 - 1. The Owner and Architect shall have the right to select any material or equipment named in the Specifications for any particular item where the Bidder either fails to list same or lists more than one name for the item in question.
 - 2. It is intended that this list will show the manufacturer and supplier of major items of work that will be subcontracted and to whom.

1.02 INSTRUCTIONS FOR SUBCONTRACTORS AND PRODUCTS LISTS

- A. Each Bidder shall submit a copy of his list of subcontractors and manufacturers of products and equipment proposed for work indicated as required above.
- B. The list shall be submitted on forms provided and shall be completely executed. **"As Specified" or "With Equipment" type of terminology will not be accepted.**
- C. Under "Subcontractor", insert the name of the firm which the Bidder proposes to have perform the respective work. If work will be done by the Prime Bidder and no subcontract will be awarded, state "By Own Forces".
- D. Submission does not constitute acceptance for use of listed manufacturers' products. Materials and subcontractors are subject to the provisions of the General Conditions and "Standard of Product Acceptability" and must be formally reviewed and adjudged acceptable by the Architect/Engineer.
- E. Engineer, Architect and Owner reserve the right to reject submissions of materials, work, or subcontractors that do not, in their opinion, meet the requirements of Drawings, Specifications or job conditions.
- F. Materials and subcontractors used for work on the Project shall be in accordance with accepted material list.
 - 1. The list is intended to assure use of materials and vendors acceptably equivalent to those specified and is not a substitution sheet or complete listing of required materials or services.

2. Substitutions for listed items will not be allowed, except when termed acceptable, in writing by the Architect/Engineer, provided that substitution will result in a cost savings to the Owner, determined by the Owner to be a better product, or is made necessary due to unavailability of listed item. Unavailability shall be confirmed in writing by manufacturer named on accepted list.

1.03 CIVIL AND ARCHITECTURAL WORK SUBCONTRACTORS AND PRODUCTS LIST

BID CATEGORY NO. _____
(Insert Category No. and Name)

NAME OF BIDDER _____

The undersigned hereby submits the following Subcontractors and Products List which becomes a part of the undersigned Contract proposal. Subcontractor purchased material, equipment, and labor shall be under the direct management and control of the Prime Contractor. If a dual listing of manufacturers and subcontractors is herein made, it is understood the Architect/Engineer (not the Contractor) will select the manufacturer or subcontractor of his choice. State the XBE Designation.

CIVIL AND ARCHITECTURAL WORK

<u>Section</u>	<u>Description</u>	<u>Value</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
02 22 00	Existing Conditions Assessment			
02 32 00	Subsurface Conditions			
02 32 01	Geotechnical Report			
02 41 19	Selective Demolition			
03 30 00	Cast-In-Place Concrete			
04 20 00	Unit Masonry			
05 12 00	Structural Steel Framing			
05 21 00	Steel Joist Framing			
05 31 00	Steel Decking			
05 40 00	Structural Cold-Formed Metal Framing			
05 50 00	Metal Fabrications			

<u>Section</u>	<u>Description</u>	<u>Value</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
05 52 13	Pipe and Tube Railings			
06 10 00	Rough Carpentry			
06 20 00	Finish Carpentry			
06 61 16	Solid Surfacing Materials			
07 01 50.21	Roof Cleaning with Water Reclamation			
07 01 50.74	Rehabilitation of Single Ply (EPDM) Roofing System			
07 21 00	Thermal Insulation			
07 42 13.13	Formed Metal Wall Panels			
07 53 23	Ethylene-Propylene-Diene-Monomer (EPDM) Roofing			
07 62 00	Sheet Metal Flashing and Trim			
07 72 00	Roof Accessories			
07 84 13	Firestopping			
07 92 00	Joint Sealants			
08 11 13	Hollow Metal Doors and Frames			
08 14 16	Flush Wood Doors			
08 16 13	FRP Doors and Aluminum Frames			
08 45 23	Insulated Translucent Skylight Systems			
08 51 13	Aluminum Windows			
08 71 00	Door Hardware			
08 80 00	Glazing			
09 22 16	Non-Structural Metal Framing			

<u>Section</u>	<u>Description</u>	<u>Value</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
09 29 00	Gypsum Board			
09 30 13	Ceramic Tiling			
09 51 00	Acoustical Ceilings			
09 65 13	Resilient Base and Accessories			
09 65 19	Resilient Tile Flooring			
09 68 13	Tile Carpeting			
09 90 00	Painting and Coatings			
10 11 00	Visual Display Units			
10 14 23	Interior Signage			
10 14 26	Post/Post and Panel Signage			
10 21 13.17	Phenolic-Core Toilet Compartments			
10 28 00	Toilet Room Accessories			
10 28 14	Electric Hand Dyers			
10 44 13	Fire Protection Cabinets			
10 44 16	Fire Extinguishers			
10 51 13	Metal Lockers			
11 66 23	Gymnasium Equipment			
12 24 13	Roller Window Shades			
12 32 16	Manufactured Plastic-Laminate-Faced Casework			
12 63 23	Countertops			
31 10 00	Site Clearing			
31 20 00	Grading, Excavation and Fill			

<u>Section</u>	<u>Description</u>	<u>Value</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
31 25 00	Soil Erosion Sedimentation and Controls			
32 11 23	Aggregate Base Courses			
32 12 16	Asphalt Paving			
32 13 13	Concrete Paving			
32 17 23	Painted Pavement Markings			
32 17 26	Cast-In-Place Detectable/Tactile Warning Surfaces			
32 92 19	Seeding			
32 93 00	Plants			
33 05 13	Manholes and Structures			
33 41 11	Site Storm Utility Drainage Piping			
33 46 00	Subdrainage			

Name of Bidder:	Date:
Address:	
City/State/Zip:	
Telephone:	
By:	

1.04 MECHANICAL WORK SUBCONTRACTORS AND PRODUCTS LIST

BID CATEGORY NO. _____
(Insert Category No. and Name)

NAME OF BIDDER _____

The undersigned hereby submits the following Subcontractors and Products List which becomes a part of the undersigned Contract proposal. Subcontractor purchased material, equipment, and labor shall be under the direct management and control of the Prime Contractor. If dual listing of manufacturers or subcontractors is herein made, it is understood the Architect/Engineer (not the Contractor) will select the manufacturer or subcontractor of his choice.

MECHANICAL WORK

<u>Section</u>	<u>Description</u>	<u>Value</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
07 84 13	Firestopping			
07 92 00	Joint Sealants			
21 00 01	Fire Protection Summary of Work			
21 05 00	Common Work Results for Fire Suppression			
21 13 00	Fire Suppression Systems			
22 05 00	Plumbing Summary of Work			
22 05 13	Common Motor Requirements for Plumbing Equipment			
22 05 17	Sleeves and Sleeve Seals for Plumbing Piping			
22 05 18	Escutcheons for Plumbing Piping			
22 05 19	Meters and Gages for Plumbing Piping			
22 05 23	General Duty Valve for Plumbing Piping			

<u>Section</u>	<u>Description</u>	<u>Value</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
22 05 29	Hangers and Supports for Plumbing Piping and Equipment			
22 05 33	Heat Tracing for Plumbing Piping			
22 05 48	Vibration and Seismic Controls for Plumbing Piping and Equipment			
22 05 53	Identification for Plumbing Piping and Equipment			
22 07 16	Plumbing Equipment Insulation			
22 07 19	Plumbing Piping Insulation			
22 11 16	Domestic Water Piping			
22 11 19	Domestic Water Piping Specialties			
22 11 23	Domestic Water Pumps			
22 13 16	Sanitary Waste and Vent Piping			
22 13 19	Sanitary Waste Piping Specialties			
22 14 13	Storm Drainage Piping			
22 14 23	Storm Drainage Piping Specialties			
22 34 00	Fuel – Fired, Domestic-Water Heaters			
22 40 00	Plumbing Fixtures			
22 66 00	Chemical – Waste Systems for Laboratory and Healthcare Facilities			

<u>Section</u>	<u>Description</u>	<u>Value</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
23 05 00	HVAC Summary of Work			
23 05 13	Common Motor Requirements for HVAC Equipment			
23 05 16	Expansion Joint Systems for HVAC Piping			
23 05 17	Sleeves and Sleeve Seals for HVAC Piping			
23 05 19	Meters and Gages for HVAC Piping			
23 05 23	Valves for HVAC Piping			
23 05 28	Roof-Mounted Hangers and Supports for HVAC Piping and Equipment			
23 05 29	Hangers and Supports for HVAC			
23 05 48.13	Vibration Controls for HVAC			
23 05 53	Identification for HVAC Piping and Equipment			
23 05 93	Testing, Adjusting, and Balancing for HVAC			
23 07 13	Duct Insulation			
23 07 16	HVAC Equipment Insulation			
23 07 19	HVAC Piping Insulation			
23 08 00	Commissioning of HVAC			

<u>Section</u>	<u>Description</u>	<u>Value</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
23 09 23	Direct Digital Control (DDC) System for HVAC			
23 09 23.11	Control Valves			
23 09 23.12	Control Dampers			
23 09 23.22	Position Instruments			
23 09 23.23	Pressure Instruments			
23 09 23.27	Temperature Instruments			
23 09 93	Sequence of Operations for HVAC Controls			
23 11 23	Natural-Gas Piping			
23 21 13	Hydronic Piping			
23 21 16	Hydronic Piping Specialties			
23 21 23	Hydronic Pumps			
23 23 00	Refrigerant Piping			
23 25 13	Water Treatment for Closed-Loop Hydronic Systems			
23 31 00	HVAC Ducts and Casings			
23 33 00	Air Duct Accessories			
23 34 23	HVAC Power Ventilators			
23 36 00	Air Terminal Units			
23 37 00	Air Outlets and Inlets			
23 41 00	Particulate Air Filtration			
23 43 00	Electronic Air Cleaners			
23 51 23	Gas Vents			

<u>Section</u>	<u>Description</u>	<u>Value</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
23 62 00	Air-Cooled Condensing Units			
23 73 13.16	Modular Central- Station Air- Conditioning Units			
23 74 13	Packaged Rooftop Air Conditioning Units			
23 81 01	Terminal Heat Transfer Units			
23 81 26	Small Split-System Air-Conditioners			

Plumbing Fixtures:

Manufacturer:

a) _____

b) _____

c) _____

d) _____

e) _____

f) _____

g) _____

h) _____

i) _____

j) _____

k) _____

l) _____

Name of Bidder:	Date:
Address:	
City/State/Zip:	
Telephone:	
By:	

1.05 ELECTRICAL WORK SUBCONTRACTORS AND PRODUCTS LIST

BID CATEGORY NO. _____
(Insert Category No. and Name)

NAME OF BIDDER _____

The undersigned hereby submits the following Subcontractors and Products List which becomes a part of the undersigned Contract proposal. Subcontractor purchased material, equipment, and labor shall be under the direct management and control of the Prime Contractor. If dual listing of manufacturers or subcontractors is herein made, it is understood the Architect/Engineer (not the Contractor) will select the manufacturer or subcontractor of his choice.

ELECTRICAL WORK

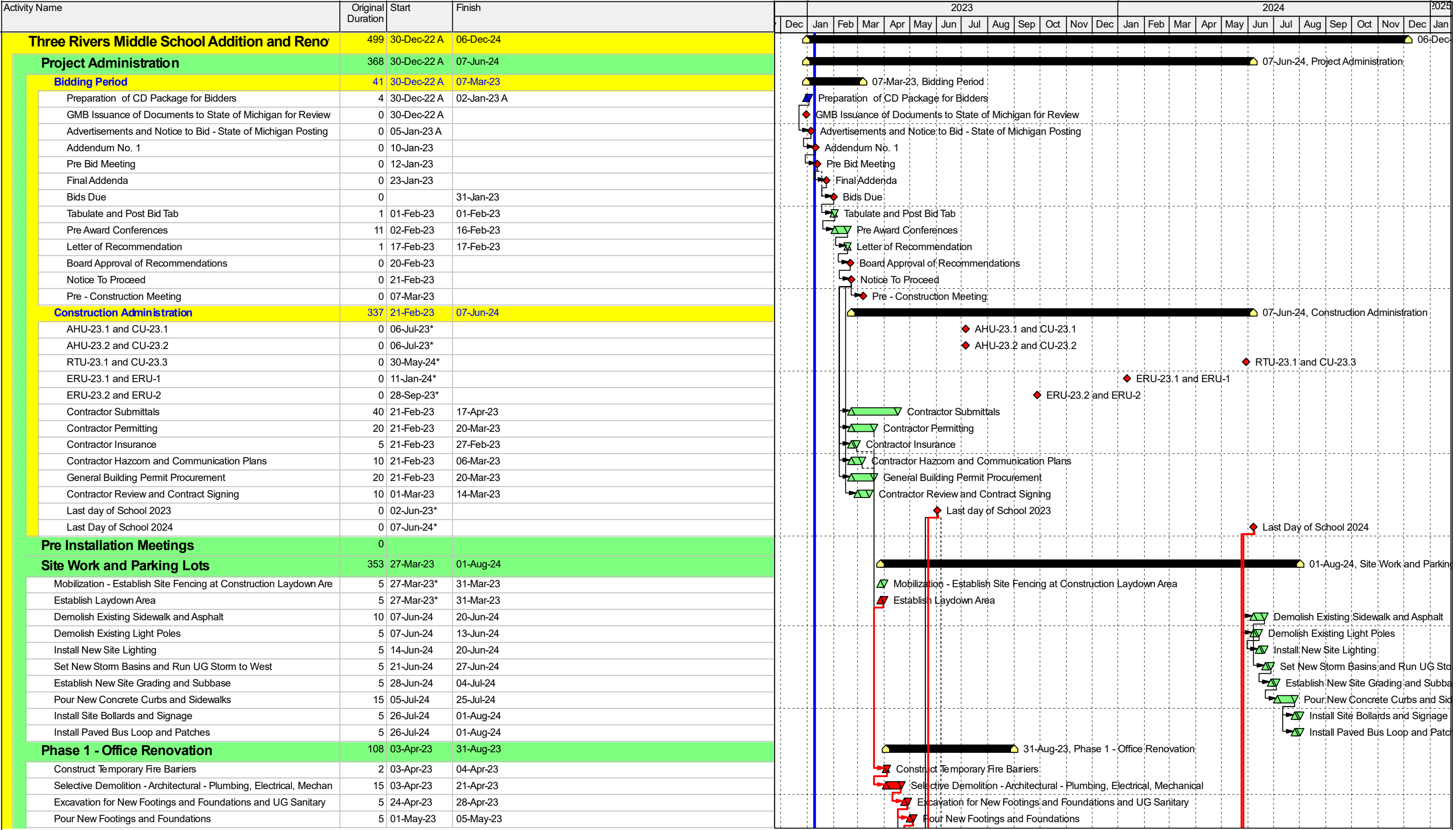
<u>Section</u>	<u>Description</u>	<u>Value</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
07 84 13	Firestopping			
07 92 00	Joint Sealants			
26 05 00	Common Work Results for Electrical			
26 05 05	Selective Demolition for Electrical			
26 05 19	Low-Voltage Electrical Power Conductors and Cables			
26 05 23	Control – Voltage Electrical Power Cables			
26 05 26	Grounding and Bonding for Electrical Systems			
26 05 29	Hangers and Supports for Electrical Systems			
26 05 33.13	Conduit for Electrical Systems			

26 05 33.16	Boxes for Electrical Systems			
26 05 33.233	Surface Raceways for Electrical Systems			
26 05 36	Cable Trays for Electrical Systems			
26 05 43	Underground Ducts and Raceways for Electrical Systems			
26 05 44	Sleeves and Sleeve Seals for Electrical Raceways and Cabling			
26 05 53	Identification for Electrical Systems			
26 05 83	Wiring Connections			
26 08 00	Commissioning of Electrical Systems			
26 09 19	Enclosed Contactors			
26 09 43	Network Lighting and Controls			
26 22 13	Low-Voltage Distribution Transformers			
26 24 16	Panelboards			
26 27 26	Wiring Devices			
26 28 13	Fuses			
26 28 16	Enclosed Switches and Circuit Breakers			
26 29 13	Enclosed Motor Controllers			
26 29 23	Variable-Frequency Motor Controllers			
26 51 19	LED Interior Lighting			

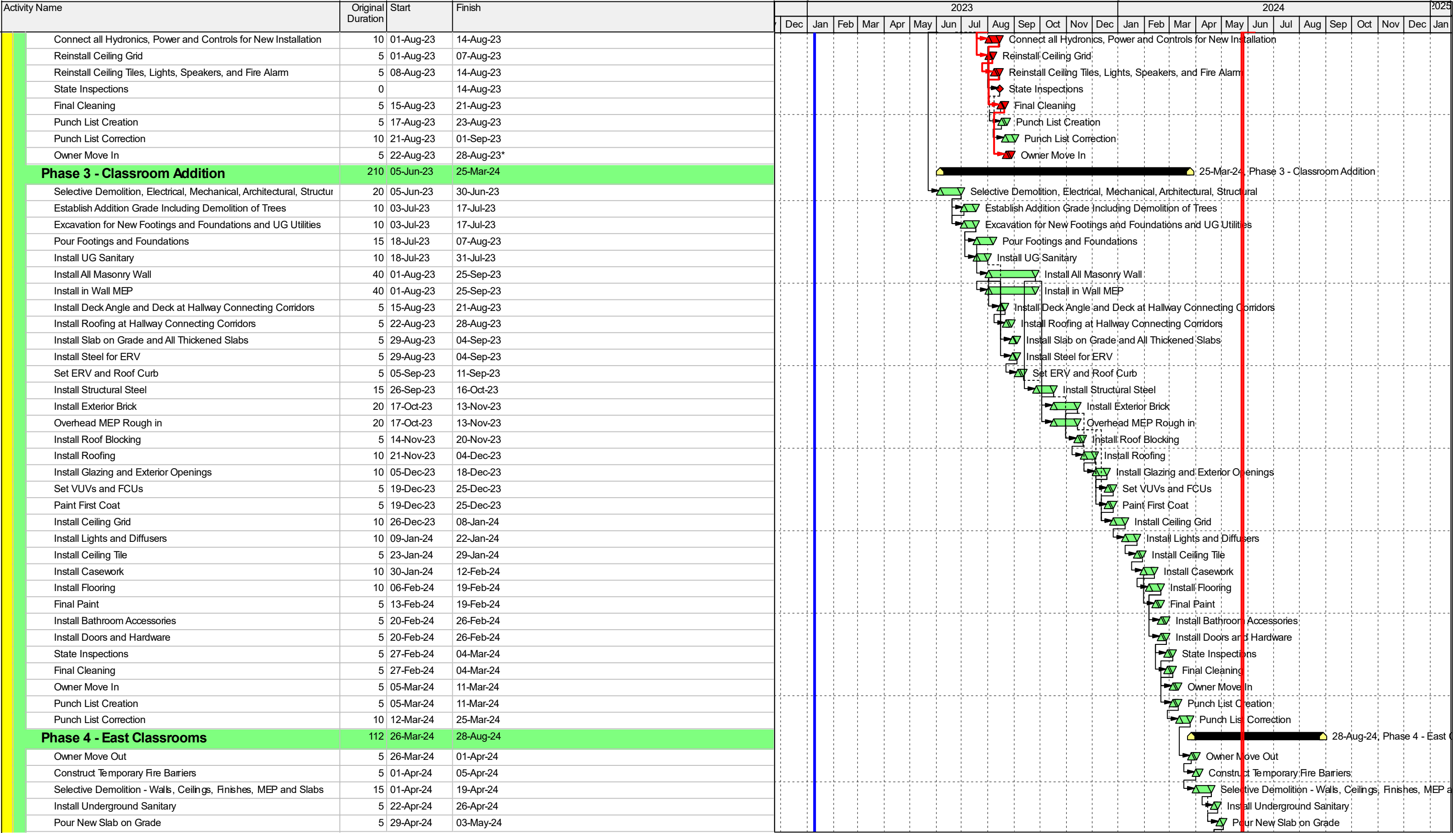
26 56 19	LED Exterior Lighting			
27 05 00	Common Work Results for Communications			
27 05 05	Selective Demolition for Communications			
27 10 00	Structured Communications Cabling Systems			
27 51 23	Intercommunications for Program Systems			
27 53 13.13	Wireless Clock Systems			
28 10 00	Access Control Systems			
28 46 00	Fire Detection and Alarm			

Name of Bidder:	Date:
Address:	
City/State/Zip:	
Telephone:	
By:	

END OF SECTION 00 43 50



Activity Name	Original Duration	Start	Finish	2023												2024												2025
				Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Phase 1 - Main Building Renovation	Install Underground Sanitary	5	01-May-23	05-May-23																								
	Install New Masonry Walls (Interior)	15	08-May-23	26-May-23																								
	In Wall MEP Rough In	15	08-May-23	26-May-23																								
	Pour New Slab On Grade	5	08-May-23	12-May-23																								
	Install Exterior Punched Openings and Doors	10	15-May-23	26-May-23																								
	Install Metal Studs for Gypsum Wall Assemblies	5	29-May-23	02-Jun-23																								
	Install New Structural Steel to support wind loads	5	29-May-23	02-Jun-23																								
	Demolish Mezzanine Roofing and Structure	5	05-Jun-23	09-Jun-23																								
	Steel Column Extensions	5	12-Jun-23	16-Jun-23																								
	Masonry Build Up above Old Roofing System	10	19-Jun-23	30-Jun-23																								
	Set New AHUs	4	03-Jul-23	07-Jul-23																								
	Install Metal Wall Panels	4	03-Jul-23	07-Jul-23																								
	Install Structural Steel at New Mezzanine	5	10-Jul-23	14-Jul-23																								
	Install Roofing at New Mezzanine	5	13-Jul-23	19-Jul-23																								
	Overhead MEP Rough In	10	17-Jul-23	28-Jul-23																								
	Hang Gypsum Board	5	20-Jul-23	26-Jul-23																								
	Paint First Coat	5	27-Jul-23	02-Aug-23																								
	Ceiling Grid	5	31-Jul-23	04-Aug-23																								
	MEP Trim	5	03-Aug-23	09-Aug-23																								
	Drop Ceiling Tiles	5	08-Aug-23	14-Aug-23																								
	Finish Paint	5	11-Aug-23	17-Aug-23																								
	Install Finish Carpentry and Casework	5	14-Aug-23	18-Aug-23																								
	Install Flooring Systems	5	16-Aug-23	22-Aug-23																								
	Install Doors and Hardware	5	18-Aug-23	24-Aug-23																								
	State Inspections	0		24-Aug-23																								
	Final Clean	0		24-Aug-23																								
	Owner Move In	0		24-Aug-23*																								
	Punch List Creation	0		24-Aug-23																								
	Punch List Correction	5	25-Aug-23	31-Aug-23																								
	Phase 2 - Heating Hydronics and Gymnasium I	65	02-Jun-23	01-Sep-23																								
	Rework Gymnasium Railing	5	02-Jun-23	08-Jun-23																								
Demolish SW Lockers in Unit C Including Ceilings and Floors	5	02-Jun-23	08-Jun-23																									
Remove Ceilings for Hydronic Mains	5	05-Jun-23	09-Jun-23																									
Demolish Boiler Room Equipment	5	05-Jun-23	09-Jun-23																									
Sawcut for Thickened Slabs Rooms C107 and C115	5	09-Jun-23	15-Jun-23																									
Remove Electrical Lighting, Fire Alarm, and Speakers (Re-suspend)	5	12-Jun-23	16-Jun-23																									
Install New Boiler Room Equipment	10	12-Jun-23	23-Jun-23																									
Pour thickened slabs for C107 and C115	5	16-Jun-23	22-Jun-23																									
Demolish Existing Heating Hydronic Mains	10	19-Jun-23	30-Jun-23																									
Demolish Old Basketball Hoops	5	20-Jun-23*	26-Jun-23																									
Masonry Wall Construction at C107 and C115	10	23-Jun-23	07-Jul-23																									
Install New Basketball Hoops	5	27-Jun-23	03-Jul-23																									
Run New Hydronic Mains (Including tees for tie in to new and old)	20	03-Jul-23	31-Jul-23																									
Install Unit Ventilator and Fan Coil Unit C107 and C115	5	10-Jul-23	14-Jul-23																									
Install Ceiling Grid for C107 and C115	5	17-Jul-23	21-Jul-23																									
Install Lighting in Rooms C107 and C115	5	24-Jul-23	28-Jul-23																									
Install Flooring in Rooms C107 and C115	5	24-Jul-23	28-Jul-23																									
Install Doors and Hardware for C107 and C115	5	31-Jul-23	04-Aug-23																									



Activity Name		Original Duration	Start	Finish		2023												2024												2025																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
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	Install New Masonry Walls and Infills	15	06-May-24	24-May-24																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																				

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	Install Doors and Hardware	5	14-Aug-24	20-Aug-24																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					</

Phase 1 - April 2023 - August 2023

Phase 2 - June 2023 - August 2023

Phase 3 - June 2023 - March 2024

Phase 4 - April 2024 - August 2024

Phase 5 - June 2024 - August 2024

Phase 6 - Second Office June of 2024 - September of 2024

Phase 7 - September 2024 - November 2024

Demarcation of temporary fire wall to be required.

NO.	CLASSIFICATION	OCCUPANCY	DESCRIPTION	WATER CLOSETS		LAVATORIES		BATHTUBS/SHOWERS	DRINKING FOUNTAINS	OTHER
				MALE	FEMALE	MALE	FEMALE			
1	ASSEMBLY	A-1	THEATRE FOR THE PERFORMING ARTS	1 PER 125 REQUIRED 4 ACTUAL 10	1 PER 65 REQUIRED 7 ACTUAL 7	1 PER 200 REQUIRED 3 ACTUAL 6	1 PER 200 REQUIRED 3 ACTUAL 6	N/A	1 PER 500 REQUIRED 2 ACTUAL 2	1 SERVICE SINK REQUIRED 1 ACTUAL 2
1	ASSEMBLY	A-1	GYMNASIUM	3 ADDITIONAL B.F. UNISEX REQUIRED 3 ACTUAL 4	1 PER 125 REQUIRED 6 ACTUAL 6	1 PER 200 REQUIRED 3 ACTUAL 5	1 PER 200 REQUIRED 2 ACTUAL 4	N/A	1 PER 1000 REQUIRED 1 ACTUAL 1	1 SERVICE SINK REQUIRED 1 ACTUAL 1
1	ASSEMBLY	A-5	BLEACHERS FOR OUTDOOR SPORTING EVENTS AND ACTIVITIES	2 ADDITIONAL B.F. UNISEX REQUIRED 7 ACTUAL 7	1 PER 75 REQUIRED 12 ACTUAL 13	1 PER 200 REQUIRED 4 ACTUAL 4	1 PER 150 REQUIRED 4 ACTUAL 4	N/A	1 PER 1000 REQUIRED 1 ACTUAL 1	1 SERVICE SINK REQUIRED 1 ACTUAL 1
3	EDUCATIONAL	E	EDUCATIONAL FACILITIES	1 ADDITIONAL B.F. UNISEX REQUIRED 8 ACTUAL 9 6 ADDITIONAL B.F. UNISEX	1 PER 50 REQUIRED 8 ACTUAL 8	1 ADDITIONAL B.F. UNISEX REQUIRED 8 ACTUAL 8 6 ADDITIONAL B.F. UNISEX	1 PER 50 REQUIRED 8 ACTUAL 8	N/A	1 PER 100 REQUIRED 6 ACTUAL 6	1 SERVICE SINK REQUIRED 1 ACTUAL 4

LEGEND - CODE COMPLIANCE PLAN

	FIRE WALLS (IBC SECTION 706) CREATE SEPARATE BUILDINGS 2-HOUR FIRE RESISTANCE RATING. STRUCTURALLY ENGINEERED, 90-MINUTE SELF-CLOSING DOORS. GLAZING ONLY ALLOWED IF DESIGNED AND TESTED AS A WALL. GLAZED OPENINGS ARE PERMITTED IF RATED AS A WALL PER ASTM E119 AND SECTION 716.2 (IBC) IN MAXIMUM SIZE TESTED.
	2-HR FIRE BARRIER (IBC SECTION 707 / NFPA 101 - 8.3) FIRE BARRIER (2-HOUR FIRE RESISTANCE RATING REQUIRED). INSTALL FROM FLOOR SLAB TO UNDERSIDE OF ROOF DECK ABOVE. 90-MINUTE SELF-CLOSING DOORS 100 SQUARE INCHES MAXIMUM DOOR VISION PANELS. GLAZED OPENINGS ARE PERMITTED IF 2-HOUR RATED. PER ASTM E119 AND TABLE 716.5 (IBC) AND TABLE 8.3.4.2 (NFPA 101). OPENING SHALL BE LESS THAN 25% OF THE COMMON CORRIDOR WALL PER ROOM.
	1-HR FIRE BARRIER (IBC SECTION 707 / NFPA 101 - 8.3) FIRE BARRIER (1-HOUR FIRE RESISTANCE RATING REQUIRED). INSTALL FROM FLOOR SLAB TO UNDERSIDE OF ROOF DECK ABOVE. 90-MINUTE SELF-CLOSING DOORS 100 SQUARE INCHES MAXIMUM DOOR VISION PANELS. GLAZED OPENINGS ARE PERMITTED IF 1-HOUR RATED. PER ASTM E119 AND TABLE 716.5 (IBC) AND TABLE 8.3.4.2 (NFPA 101). OPENING SHALL BE LESS THAN 25% OF THE COMMON CORRIDOR WALL PER ROOM.
	CORRIDOR FIRE BARRIER (IBC SECTION 707 / NFPA 101 - 8.3) CORRIDOR FIRE BARRIER (1-HOUR FIRE RESISTANCE RATING REQUIRED). INSTALL FROM FLOOR SLAB TO UNDERSIDE OF ROOF DECK ABOVE. 90-MINUTE SELF-CLOSING DOORS. GLAZED OPENINGS ARE PERMITTED IF 34-HOUR RATED. PER ASTM E119 IN THE MAXIMUM SIZE TESTED. OPENING SHALL BE LESS THAN 25% OF THE COMMON CORRIDOR WALL PER ROOM.
	SMOKE BARRIER (IBC SECTION 709 / NFPA 101 - 8.5) SMOKE BARRIER (1-HOUR FIRE RESISTANCE RATING REQUIRED). DIVIDE BUILDING INTO COMPARTMENTS TO RESTRICT MOVEMENT OF SMOKE. INSTALL FROM FLOOR SLAB TO UNDERSIDE OF ROOF DECK ABOVE. 90-MINUTE SELF-CLOSING DOORS. GLAZED OPENINGS ARE PERMITTED IF 34-HOUR RATED. PER ASTM E119 IN THE MAXIMUM SIZE TESTED. OPENING SHALL BE LESS THAN 25% OF THE COMMON CORRIDOR WALL PER ROOM.
	SMOKE PARTITION (IBC SECTION 710 / NFPA 101 - 8.6) SMOKE PARTITION (NO FIRE RESISTANCE RATING) FROM FLOOR SLAB TIGHT TO ROOF DECK OR SOLID CEILING ABOVE. GLAZED OPENINGS ARE PERMITTED (NO RATING REQUIRED).
	BUILDING EXIT WITH EGRESS WIDTH
	OCCUPANT LOAD
	DENOTES FIRE RESISTANCE RATING OF OPENING PROTECTIVE (IN MINUTES)
	DENOTES PANIC HARDWARE DEVICE ON EACH DOOR LEAF
	FIRE EXTINGUISHER
	*ACCESSIBLE ROUTE/ENTRANCE/EGRESS
	EGRESS WINDOW LOCATION

LIFE SAFETY NOTES

- CODE: NFPA 101, 2012 LIFE SAFETY CODE, AS AMENDED BY STATE FIRE MARSHAL, 2015 MICHIGAN BUILDING CODE
- CONSTRUCTION TYPE: IB (000)
PARTIALLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM
• BUILDING AREA SEPARATED BY NEW FIRE WALL IS FULLY SPRINKLERED
• EXISTING CLASSROOMS IN UNITS A & B ARE FULLY SPRINKLERED
• REST OF BUILDING IS UNSPRINKLERED
HAZARD OF CONTENTS: ORDINARY HAZARD
- OCCUPANCY: EDUCATIONAL OCCUPANCY (SPACES SUBJECT TO ASSEMBLY OCCUPANCY NOTED ON PLAN)
- AREA & HEIGHT:
ALLOWABLE AREA: 68,875 SQ. FT. (REFER TO CALCULATIONS ON SHEET)
ALLOWABLE HEIGHT: 1 STORY
SMOKE COMPARTMENTS: MINIMUM OF 2 COMPARTMENTS, MAXIMUM OF 30,000 SQ. FT. EACH
- SEPARATION & PROTECTION:
CORRIDORS SHALL BE SMOKE TIGHT.
FIRE AREAS: SEPARATED BY 2-HR FIRE SEPARATION & 90-MIN. OPENING PROTECTIVES.
BOILER & FURNACE ROOMS, STORAGE AREAS, AND JANITOR CLOSETS: 1-HR-RATED SEPARATION & OPENING PROTECTIVES WHERE REQUIRED.
- OCCUPANT LOAD: (BASED ON FOLLOWING - SEE PLAN)
ASSEMBLY (CONFERENCE, DINING, GYMNASIUM): 1115 SF NET
BUSINESS: 1100 SF GROSS
CLASSROOMS: 120 SF NET
KITCHENS: 1100 SF GROSS
LIBRARIES (READING AREAS): 1150 SF NET
LIBRARIES (STACK AREAS): 1100 SF GROSS
LOCKERS: 17 SF NET, OR 115 SF GROSS INCLUDING SHOWERS, TOILETS & DRYING
MECHANICAL EQUIPMENT: 1300 SF GROSS
SHOPS, LABS, VOC. ROOMS: 150 SF NET
STAGES: 1115 SF NET
STORAGE: 1300 SF GROSS

EGRESS REQUIREMENTS:

- 6'-0" MINIMUM CORRIDOR WIDTH (CORRIDOR CAPACITY = OCCUPANT LOAD/REQUIRED NUMBER OF EXITS)
- EGRESS WIDTHS - 0.2" PER PERSON (LEVEL OR RAMPED)
- 200' MAXIMUM TRAVEL DISTANCE
- 20' DEAD-END MAXIMUM TRAVEL IN CORRIDOR
- 75' MAXIMUM COMMON PATH OF TRAVEL
- EXITS:
(1) 2 REMOTE EXITS REQUIRED FOR EDUCATIONAL SPACES >50 PEOPLE OR >1,000 SQ. FT. IN AREA
(2) MINIMUM NUMBER PER OCCUPANTS: 2 IF < 501, 3 IF < 1001, 4 IF > 1000
(3) WINDOWS FOR RESCUE REQUIRED IN BUILDINGS NOT PROTECTED BY AUTOMATIC SPRINKLER SYSTEM
(4) PANIC HARDWARE AT AREAS >100 OCCUPANT LOAD IF DOOR PROVIDED WITH LATCH OR LOCK
(5) DISCHARGE: ALL EXITS SHALL TERMINATE AT A PUBLIC WAY OR AN EXTERIOR EXIT
- HORIZONTAL EXITS:
(1) SUBSTITUTED FOR NO MORE THAN ONE-HALF OF REQUIRED EXITS
(2) FIRE BARRIERS SEPARATING BUILDING AREAS WITH HORIZ. EXITS BETWEEN SHALL BE 2-HOUR RATED
(3) WHERE SERVING BOTH SIDES OF FIRE BARRIER ADJACENT OPENINGS REQUIRED WITH DOORS SWINGING IN OPPOSITE DIRECTIONS
- DOORS:
(1) MINIMUM CLEAR WIDTH SHALL BE 32"
(2) SIDE HINGED
(3) SWING IN DIRECTION OF TRAVEL WHERE OCCUPANT LOAD IS > 50
(4) SELF-CLOSING OR AUTOMATIC-CLOSING IN FIRE BARRIERS AND HORIZONTAL EXITS
- INTERIOR FINISH:
A. EXITS - CLASS A
B. ALL OTHER - CLASS A OR B
C. INTERIOR WALL & CEILING FINISH F LESS THAN 10% OF AGGREGATE WALL & CEILING AREAS OF ANY ROOM MAY BE CLASS C
- OTHER PROVISIONS:
BUILDING CONSTRUCTION - MICHIGAN BUILDING CODE 2015
ELECTRICAL - 2017 NFPA 70 (NEC) AS AMENDED BY MICHIGAN PART 8 RULES
MECHANICAL - MICHIGAN MECHANICAL CODE 2015
PLUMBING - MICHIGAN PLUMBING CODE 2015
FIRE ALARM SYSTEM - NFPA 72 & 72
FIRE EXTINGUISHERS - NFPA 10
FIRE SPRINKLERS - NFPA 13

FIRESTOPPING REQUIREMENT

ALL OPENINGS AROUND MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL PENETRATIONS THRU A FIRE RESISTIVE RATED ASSEMBLY (INCLUDING FLOORS) SHALL BE SEALED WITH FIRE RATED FIRESTOPPING IN COMPLIANCE WITH ASTM E814 AND EQUIVALENT TO FIRE RATING REQUIRED. PENETRATIONS THRU SMOKE RESISTIVE NON-FIRE RATED ROOM WALLS SHALL BE SEALED SMOKE TIGHT

ISSUANCES

12.01.2022 BIDS & CONSTRUCTION

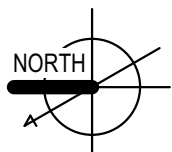
DRAWN BSE
REVIEWED CMA

PROJECT NO. 5-5802

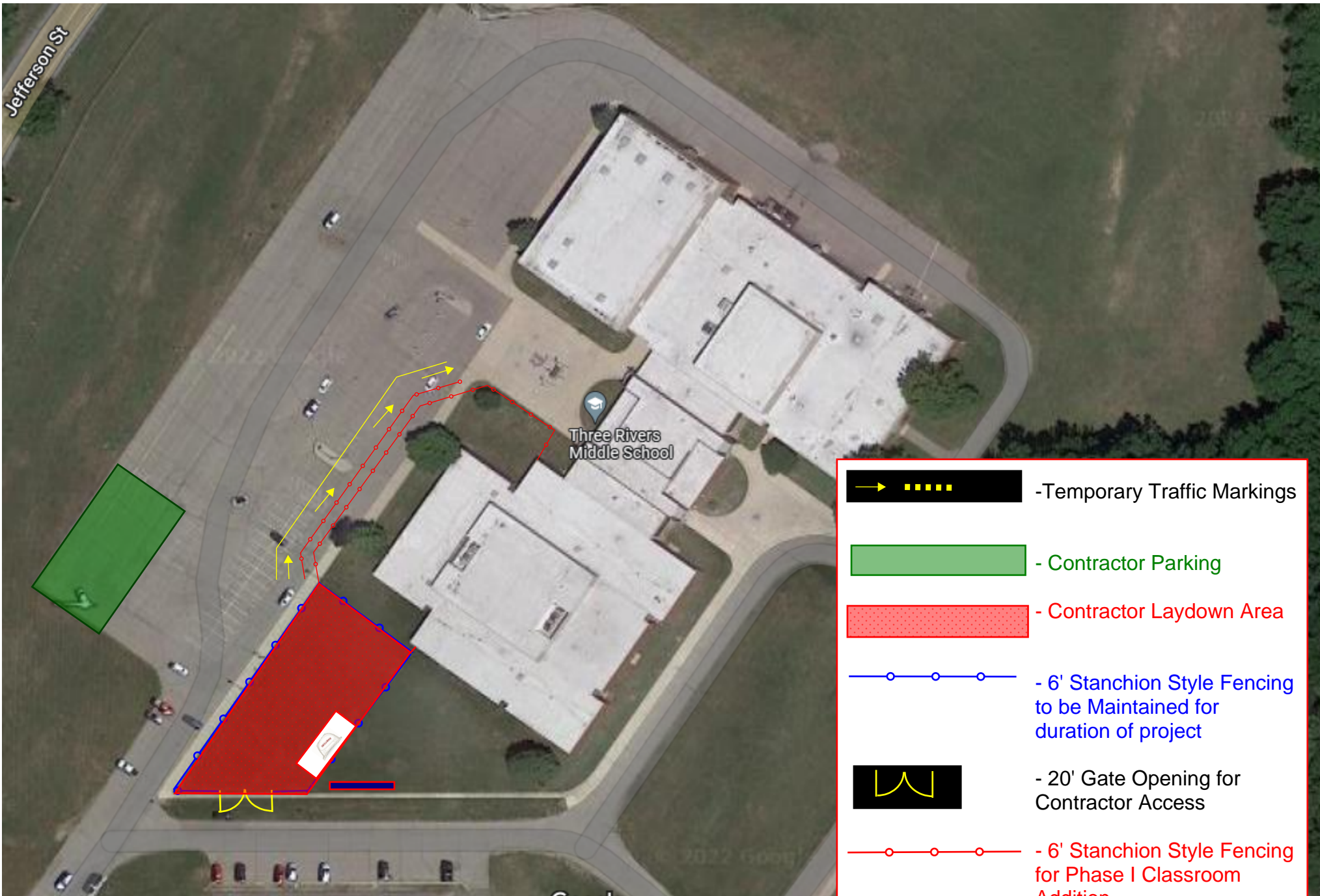
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CODE COMPLIANCE PLAN



CODE COMPLIANCE PLAN
1/16" = 1'-0"



ADDENDUM



OWNER

THREE RIVERS COMMUNITY SCHOOLS

PROJECT

MIDDLE SCHOOL ADDITIONS & RENOVATIONS

A/E Project 5-5802

PURPOSE

ADDENDUM 001

THIS ADDENDUM SHALL FORM PART OF THE BIDDING DOCUMENTS. CHANGES, ADDITIONS, CLARIFICATIONS OR DELETIONS HEREIN SUPERSEDE THE DRAWINGS AND SPECIFICATIONS. BIDDERS SHALL INCLUDE ON THE PROPOSAL FORM ACKNOWLEDGEMENT OF THE RECEIPT OF THIS ADDENDUM.

ATTACHMENTS

New Sheets: None

Reissued Sheets: S3.1B, S7.03

ARCHITECT-ENGINEER

GMB

www.gmb.com

616.796.0200

CONSTRUCTION MANAGER

The Skillman Corporation

www.skillman.com

269.350.5757

SPECIFICATION CLARIFICATIONS / REVISIONS

None.

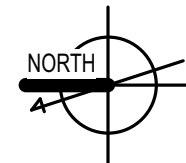
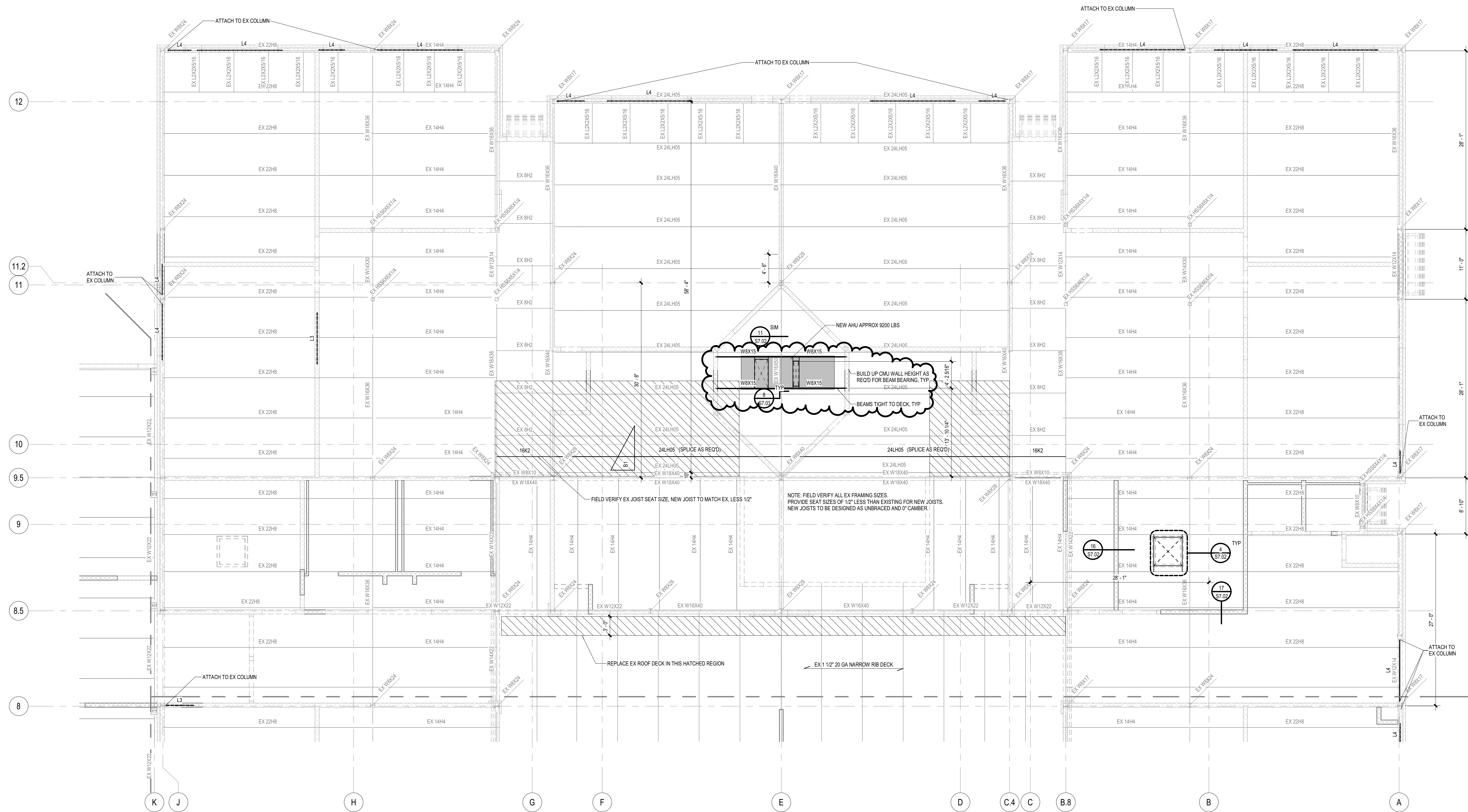
SHEET CLARIFICATIONS / REVISIONS

ITEM NO. 1 SHEET S3.1B - UNIT 'B' ROOF FRAMING PLAN (REISSUED)

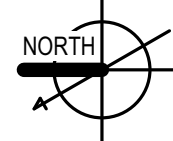
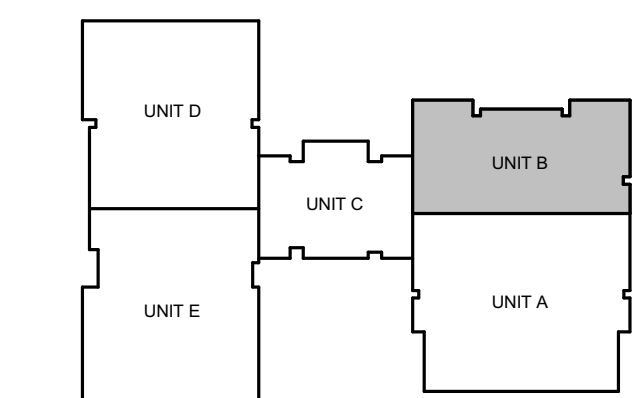
- A. Added beams to support roof top unit.
- B. Added note to build up CMU wall as required.
- C. Added section cut for 8/S7.0.

ITEM NO. 2 SHEET S7.03 – ROOF FRAMING DETAILS (REISSUED)

Added Detail 8.



UNIT 'B' ROOF FRAMING PLAN
1/8" = 1'-0"



KEY PLAN

BM 360/US-5802 Three Rivers MS Additions & Renovations Series 25-5802S 20/01.rvt
1/5/2023 8:17:06 AM

ISSUANCES	
12.01.2022	BIDS & CONSTRUCTION
01.05.2023	ADDENDUM 001

DRAWN	JKB
REVIEWED	PMB

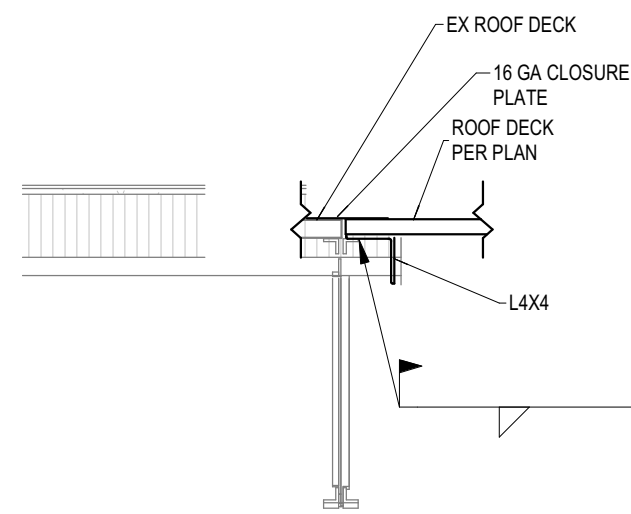
PROJECT NO. 5-5802

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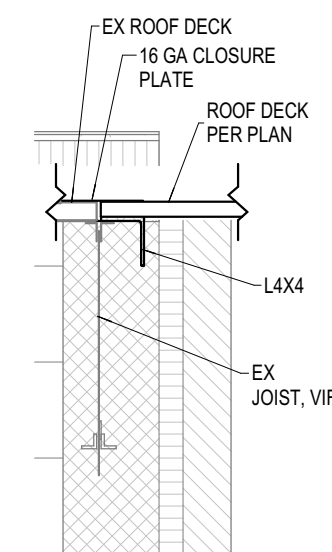
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ROOF FRAMING DETAILS

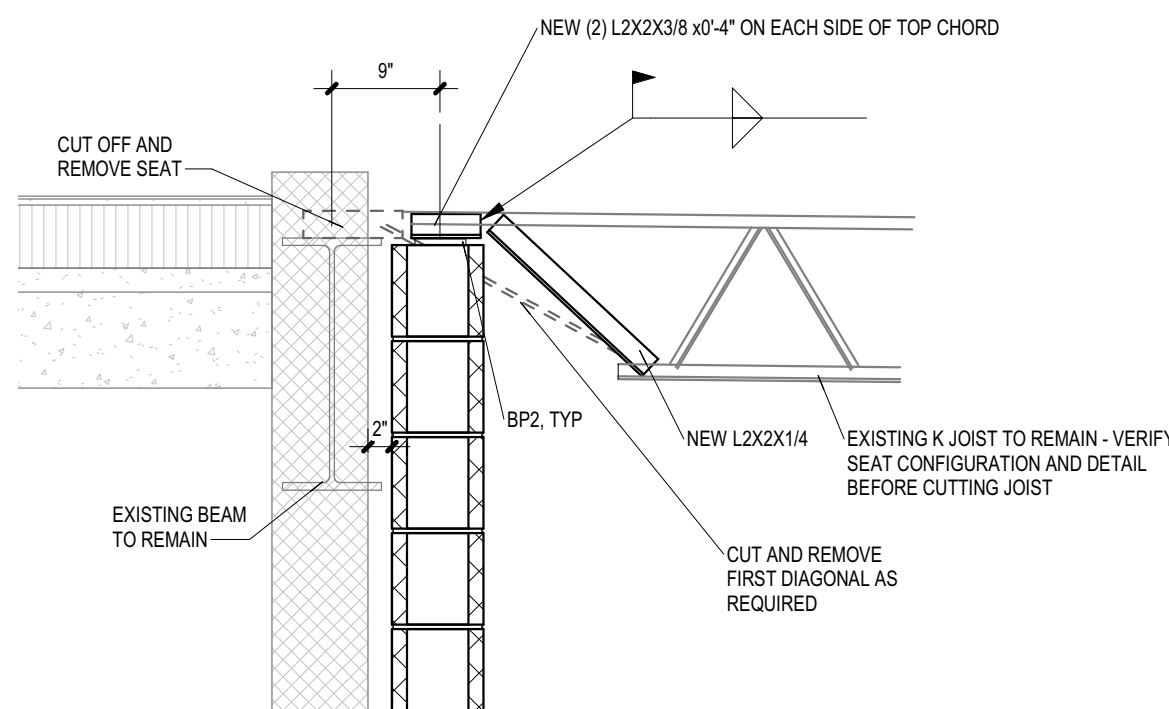
S7.03



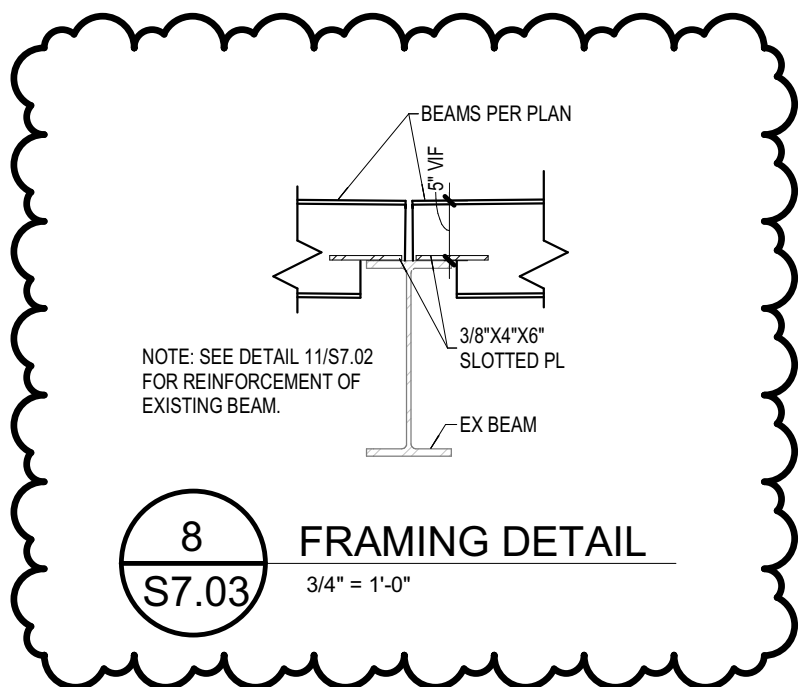
4
S7.03
ANGLE SUPPORTING ROOF DECK
3/4" = 1'-0"



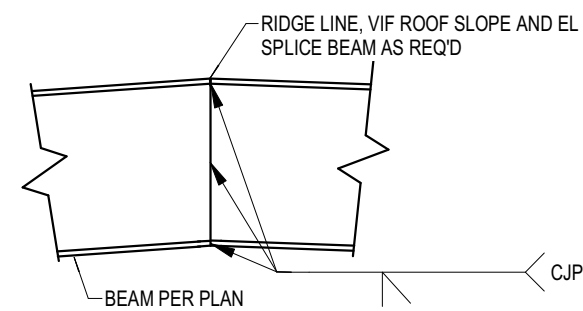
3
S7.03
FRAMING DETAIL
3/4" = 1'-0"



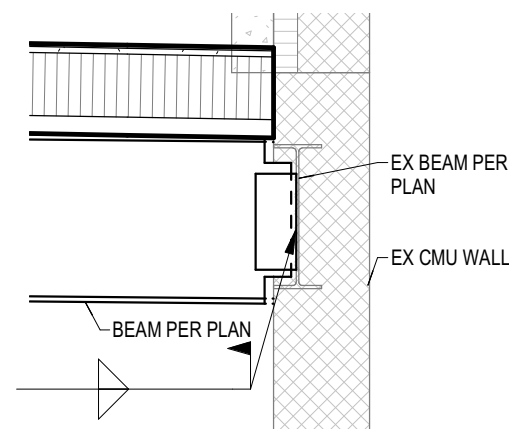
2
S7.03
JOIST END MODIFICATION
3/4" = 1'-0"



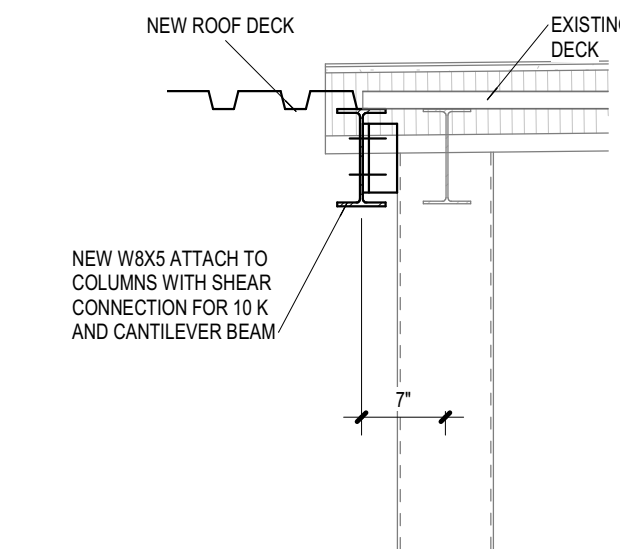
8
S7.03
FRAMING DETAIL
3/4" = 1'-0"



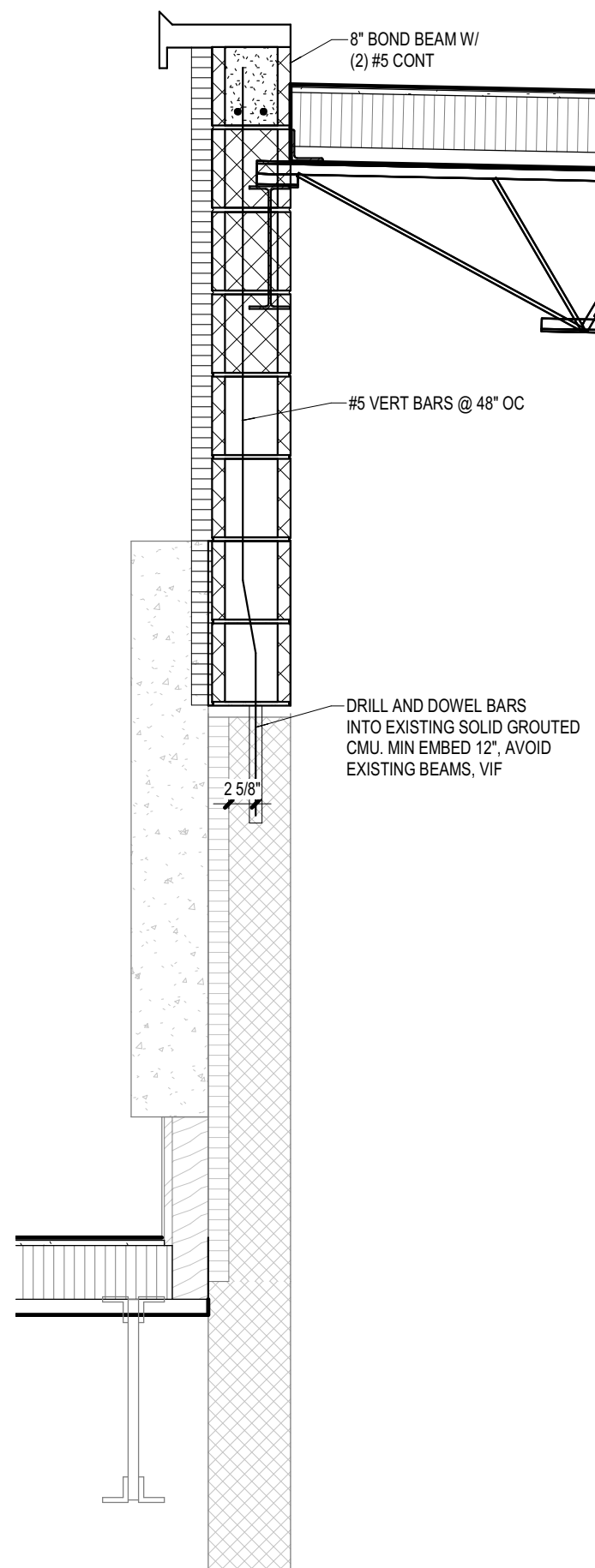
7
S7.03
BROKEN BACK
3/4" = 1'-0"



6
S7.03
FRAMING DETAIL
3/4" = 1'-0"



5
S7.03
NEW BEAM
3/4" = 1'-0"



1
S7.03
RAISED ROOF DETAIL
3/4" = 1'-0"