ADDENDUM NO. 2

September 11, 2023

LOWELL MIDDLE SCHOOL GRADE 5-8 IMPROVEMENTS Lowell, IN 46356

TO: ALL BIDDERS OF RECORD

This Addendum forms a part of and modifies the Bidding Requirements, Contract Forms, Contract Conditions, the Specifications, and the Drawings dated August 11, 2023 by Gibraltar Design. Acknowledge receipt of the Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of Pages ADD 2-1 through ADD 2-2 and attached Addendum No. 2 from Gibraltar Design dated September 7, 2023 and consisting of 4 pages and 61 drawings.

A. <u>SPECIFICATION SECTION 00 00 20 - TABLE OF CONTENTS</u>

1. **Delete:**

Specification Section 12 25 00 - Roller Shades

B. <u>SPECIFICATION SECTION 00 31 00 - BID FORM</u>

1. **Replace:**

Specification 00 31 00 - Bid Form with the attached revised section

C. SPECIFICATION SECTION 01 12 00 - MULTIPLE CONTRACT SUMMARY

A. <u>BID CATEGORY NO. 1 - GENERAL TRADES</u>

1. **Delete:**

Specification Section 12 25 00 - Roller Shades

D. <u>SPECIFICATION SECTION 01 23 00 - ALTERNATES</u>

1. **Replace:**

Specification Section 12 23 00 - Alternates with the attached revised section

CONTRACTOR'S BID FOR PUBLIC WORKS FORM NO. 96

Format (Revised 2013) (Amended for TCSC)

Lowell Middle School Grade 5-8 Improvements

Tri-Creek School Corporation Lowell, IN

PART I

(To be completed for all bids. Please type or print)

		Date (month	, day, year):
BIDDER (Firm) _			
Address			P.O. Box
City/State/Zip			
Telephone Number	:	Email Address:	
Person to contact re	egarding this Bid		
Pursuant to notices complete the public		fers to furnish labor and	d/or materials necessary to
	Insert Category	No. (s) and Name(s)	
			ments, in accordance with Meridian Street, Suite 300,
BASE BID			
For the sum of _	(Sum in words)		
		DOLLARS (\$_)
			(Sum in figures)

TSC 222100.02

The undersigned acknowled Receipt of Addenda No. (s)	-	following A		
PROPOSAL TIME				
The bidder agrees that this B days from the due date, and I within said sixty (60) consec	Bids may be accep	ted or rejec	ted during thi	s period. Bids not accepted
Attended pre-bid conference	YES		NO	_
Has visited the jobsite	YES		NO	_
The Bidder has reviewed the Of the schedule can be met.			ion 01 32 00 a	
Bidder has included their W will perform work on the pu 13-18-5 or IC 4-13-18-6.	_	_		* *
	YES		NO	_
The Skillman Corporation's measure the active participate Disabled Individual-Owned provided full and equal oppositions.	ation of Minority- l Businesses. The	Owned, W Program is	omen-Owned to ensure that	l, Veteran – Owned and t MWVDBEs are
Bidder has included:	DBE: YES	%	NO	
	MBE: YES		NO	<u> </u>
	WBE: YES		NO	
	VBE: YES		NO	_
The undersigned further agr	ees to furnish a b	ond or cer	tified check w	rith this Bid for an amount

The undersigned further agrees to furnish a bond or certified check with this Bid for an amount specified in the Notice to Bidders. If Alternate Bids apply, submit a proposal for each in accordance with the Plans and Specifications.

If additional units of material included in the contract are needed, the cost of units must be the same as that shown in the original contract if accepted by the governmental unit. If the bid is to be awarded on a unit bases, the itemization of the units shall be shown on a separate attachment.

The contractor and his subcontractors, if any, shall not discriminate against or intimidate any employee, or applicant for employment, to be employed in the performance of this contract, with respect to any matter directly or indirectly related to employment because of race, religion, color, sex, national origin, or ancestry. Breach of this covenant may be regarded as a material breach of the contract.

CERTIFICATION OF USE OF UNITED STATES STEEL PRODUCTS (if applicable)

I, the undersigned bidder, or agent as a contractor on a public works project, understand my statutory obligation to use steel products made in the United States (I.C. 5-16-8-2). I hereby certify that I and all subcontractors employed by me for this project will use U.S. steel on this project if awarded. I understand that violations hereunder may result in forfeiture of contractual payments.

ALTERNATE BIDS

A blank entry or an entry of "No Bid", "N/A", or similar entry on any Alternate will cause the bid to be rejected as non-responsive only if that Alternate is selected. If no change in the bid amount is required, indicate "No Change".

**MARK "ADD" OR "DEDUCT" FOR EACH ALTERNATE **

Alternate Bid No. 1 - Gymnasium Addition		
Change the Base Bid the sum of(sum in words)	DOLLARS (\$) (sum in figures)	ADD DEDUCT
Alternate Bid No. 2 - Enlarge Eight (8) Existing	ng Window Openings	
Change the Base Bid the sum of(sum in words)	DOLLARS (\$) (sum in figures)	ADD DEDUCT
Alternate Bid No. 3 - Renovations to New Mu	-	
Change the Base Bid the sum of(sum in words)	DOLLARS (\$) (sum in figures)	ADD DEDUCT

Alternate Bid No. 4 - Exterior Wall Enhancements

Change the Base Bid the sum of(sum in words)			
(cum m words)	_DOLLARS ((\$) (sum in figures)	ADD DEDUCT
Alternate Bid No. 5 - Ceiling Tile Revisions			
Change the Base Bid the sum of (sum in words)			
	_DOLLARS ((\$) (sum in figures)	ADD DEDUCT
Alternate Bid No. 6 - New Corridor, Dining, and	Commons Are	ea Lighting and Contro	<u>ols</u>
Change the Base Bid the sum of(sum in words)			
(sum m words)	_DOLLARS ((\$) (sum in figures)	ADD DEDUCT
Alternate Bid No. 7 - New Lighting and Controls			
Change the Base Bid the sum of			
(sum in words)	_DOLLARS ((\$) (sum in figures)	ADD DEDUCT
Alternate Bid No. 8 - Two (2) New Monumental	Yard Signs		
Change the Base Bid the sum of			
(sum in words)	_DOLLARS ((\$) (sum in figures)	ADD DEDUCT

PART II

(For projects of \$150,000 or more – IC 36-1-12-4)

These statements to be submitted under oath by each bidder with and as a part of his bid. (Attach additional pages for each section as needed.)

SECTION I EXPERIENCE QUESTIONNAIRE

1.	What public works projects has your organization completed for the period of one (1)
	year prior to the date of the current bid?

Contract Amount	Class of Work	Completion Date	Name and Address of Owner

2	What public	works ni	niects ar	e now in the	nrocess of	construction	hy your	organization?
∠.	what public	, works br	ojecis ai	c now in the	process or	construction	by your	organization:

Contract Amount	Class of Work	Completion Date	Name and Address of Owner

3.	Have you ever failed to complete any work awarded to you?why?	_If so, where and
4.	List references from private firms for which you have performed work.	

SECTION II PLAN AND EQUIPMENT QUESTIONNAIRE

1.	Explain your plan or layout for performing proposed Work. (Examples could include a narrative of when you could begin, complete the project, number of workers, etc. and any other information which you believe would enable the governmental unit to consider your bid.)
2.	Please list the names and addresses of all subcontractors (i.e. persons or firms outside your own firm who have performed part of the work) that you have used on public works projects during the past five (5) years along with a brief description of the work done by each subcontractor.
3.	If you intend to sublet any portion of the work, state the name and addresses of each subcontractor, equipment to be used by the subcontractor, and whether you will require a bond. However, if you are unable to currently provide a listing, please understand a listing must be provided prior to contract approval. Until the completion of the proposed project, you are under a continuing obligation to immediately notify the governmental unit in the event that you subsequently determine that you will use a subcontractor on the proposed project.

4.	used by subcontractors may also be required to be listed by the governmental unit.
5.	Have you into contracts or received offers for all materials which substantiate the prices used in preparing your proposal? If not, please explain the rationale used which corroborate the process listed.

SECTION III CONTRACTOR'S FINANCIAL STATEMENT

Attachment of Bidder's financial statement is mandatory. Any Bid submitted without said financial statement as required by statute shall thereby be rendered invalid. The financial statement provided hereunder to the governing body awarding the Contract must be specific enough in detail so that said governing body can make a proper determination of the Bidder's capability for completing the Project if awarded.

SECTION IV CONTRACTOR NON-COLLUSION AFFIDAVIT

The undersigned Bidder or agent, being duly sworn on oath, says that he has not, nor has any other member, representative, or agent of the firm, company, corporation or partnership represented by him, entered into any combination, collusion or agreement with any person relative to the price to be bid by anyone at such letting nor to prevent any person from bidding nor to induce anyone to refrain from bidding, and that this Bid is made without reference to any other bid and without any agreement, understanding or combination with any other person in reference to such bidding.

He further says that no person or persons, firms, or corporations has, have, or will receive directly or indirectly, any rebate, fee, gift, commission, or thing of value on account of such contract.

SECTION V OATH AND AFFIRMATION

I HEREBY AFFIRM UNDER THE PENALTIES OF PERJURY THAT THE FACTS AND INFORMATION CONTAINED IN THE FOREGOING BID FOR PUBLIC WORKS ARE TRUE AND CORRECT

Dated at	this	day of	, 20	
			(Name of C	Organization)
	Ву			
			(Title of Pe	rson Signing)
		WLEDGEMI	ENT	
STATE OF) 60.	ı		
COUNTY OF) 22:			
Before me, a Notary Publ	ic, personally appe	eared the above	e-named	
Swore that the statements	contained in the fo	oregoing docu	ment are true a	nd correct.
Subscribed and sworn to	before me this		lay of	,
(Title)				
	Notary Public			
My Commission Expires	<u> </u>			
County of Residence:				

END OF SECTION 00 31 00

SECTION 01 23 00 - ALTERNATES

PART 1 - GENERAL

1.01 RELATED DOCUMENTS

A. Drawings and general provisions of the Contract, including amended General Conditions and other Division 1 Specification Sections, apply to work of this Section.

1.02 PURPOSE

A. The Bids for the Alternates described herein are required in order for the Owner to obtain information necessary for the proper consideration of the Project in its entirety.

1.03 ALTERNATES

A. Definitions: Alternates are defined as alternate products, materials, equipment, installations or systems for the Work, which may, at Owner's option and under terms established by Instructions to Bidders, be selected and recorded in the Owner-Contractor Agreement to either supplement or displace corresponding basic requirements of Contract Documents. Alternates may or may not substantially change scope and general character of the Work; and must not be confused with "allowances", "unit prices", "change orders", "substitutions", and other similar provisions.

1.04 SCHEDULE OF ALTERNATES

- A. <u>ALTERNATE NO. 1: State the cost to provide the Gymnasium addition and as</u> described in the Contract Documents. **Base Bid:** No Addition.
- B. ALTERNATE NO. 2: State the cost to enlarge eight (8) existing window openings located at rooms C-105, C-106, and C-107, and as described on the Contract Documents. **Base Bid:** Leave the existing windows and rooms intact.
- C. <u>ALTERNATE NO. 3: State the cost to renovate New Multi-Purpose Room A-123 and as described in the Contract Documents.</u> **Base Bid:** Leave the room in current condition.
- D. <u>ALTERNATE NO. 4: State the cost to provide new exterior wall enhancements including metal wall panel systems, metal trim, painting, building letters, and as described on the Contract Documents. **Base Bid:** No exterior enhancement,</u>
- E. <u>ALTERNATE NO. 5:</u> State the cost to provide ceiling tile revisions as described in the Contract Documents. **Base Bid:** No ceiling tile revisions.

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- F. <u>ALTERNATE NO. 6: State the cost to provide new corridor, dining, and commons area lighting and controls as described in the Contract Documents. Base Bid: No revisions to lighting and controls.</u>
- G. <u>ALTERNATE NO. 7: State the cost to provide new lighting and controls as</u> described in the Contract Documents. **Base Bid:** No new lighting controls.
- H. <u>ALTERNATE NO. 8: State the cost to provide two (2) new monumental yard signs and as described in the Contract Documents.</u> **Base Bid:** No new yard signs, however, power infrastructure to yard signs is to be included.

PART 2 - PRODUCTS, PART 3 - EXECUTION (Not Used)

END OF SECTION 01 23 00

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ADDENDUM TWO

Addendum Two (AD.02) to the drawings and specifications prepared by Gibraltar Design for **Lowell Middle School – Grade 5-8 Improvements** for Tri-Creek School Corporation, Lowell, Indiana.

All Contractors bidding on this project shall read all of the items covered below and shall comply with all of the requirements as set forth, including any necessary refinements or additions generated by this Addendum and required by the intent of the original contract documents. All Contractors shall acknowledge on their bid form that they have received this Addendum and Addendum One and include the appropriate content of same within their bid proposal.

CLARIFICATIONS

1. PVC Piping

A. PVC Piping is not approved for bidding within Divisions 22 or 23. Contractor shall bid project as indicated in Specifications and on the Contract Document drawings.

2. Existing Media Center

A. Sheets herein reflect that no acoustic ceiling modifications will be made in neither the media center nor the 2nd floor corridors immediately adjacent to it.

SPECIFICATIONS

3. Specification Section 00 01 10 Table of Contents

A. In Division 12: Delete Section 12 25 00 Roller Shades from the TOC.

4. Specification Section 03 30 00 Concrete

- A. Add paragraph 2.5. F.6. to read:
 - "6. Viper VaporCheck II, 15-Mil, by ISI Building Products, East Peoria, IL."

5. Specification Section 04 20 00 Unit Masonry

A. Delete Paragraphs 2.6.2., 2.6.3. and 2.6.4 in their entirety. Only one Brick type on Project, to match existing.

6. Specification Section 07 42 44 Composite Metal Panels

A. Add Paragraph 2.1.A.5. to read: "5. Alfrex FR Metal Composite Material."

7. Specification Section 09 65 65 Seamless Rubber Sports Floor Covering

A. Add Paragraph 2.1.B.3. to read: "3. Tarkett Sports, Calhoun, GA; POLYTURF Plus; 11 mm."

8. Specification Section 09 84 00 Acoustical Wall Panels

- A. Add Paragraphs 2.1.A.1. and 1a. to read:
 - "1. Additional acceptable manufacturers:



a. Cardinal Acoustics, Columbus OH; Cardinal Complete Panel, matching design and aesthetics of basis of design panel."

9. Specification Section 12 25 00 Roller Shades

A. Delete Specification Section in its entirety.

DRAWINGS

10. Sheet G-102v1

- A. Refer to revised full size drawing included in this Addendum for revisions.
 - 1. Added sheets A-808 and A-810

11. Sheet G-201

- A. Refer to revised full size drawing included in this Addendum for revisions.
 - 1. Added Life Safety information.

12. Sheet S-202 and S-411 (these sheets are not being issued)

A. Revise deck indication R-20A to read 2" Acoustical Steel Deck (not 1-1/2")

13. Sheets AD-101, AD-102, AD-103, AD-105,

AD 109, AD-110

- A. Refer to Six (6) revised full size drawings included in this Addendum for revisions.
 - Among the Items included in these sheets are clarifications of alternate bid areas, minor changes to floor area demo (adding some, eliminating some), eliminating all ceiling work in the media center and immediate corridors surrounding the space.

14. Sheets A-100, A-101, A-102, A-103, A-105,

A 108, A-109, A-110, A-111

- A. Refer to Nine (9) revised full size drawings included in this Addendum for revisions.
 - Among the Items included in these sheets are clarifications of alternate bid areas, minor changes to floor area finish including walk-off carpet in existing vestibules, locations of exterior aluminum composite panels applied to the masonry veneer, cabinetry and flooring changes in Storage D-214, and revising the gymnasium windows to tinted, insulated, translucent glazing in a storefront framing system.

15. Sheets A-210, A-211, A-212

- A. Refer to Three (3) revised full size drawings included in this Addendum for revisions.
 - 1. Among the Items included in these sheets are updates to various details.

16. Sheets A-301, A-310, A-311, A-312

- A. Refer to Four (4) revised full size drawings included in this Addendum for revisions.
 - 1. Among the Items included in these sheets are updates to the exterior façade enhancements with aluminum composite panels and aluminum rails attached to the masonry veneer of the building. Structural elements to achieve the façade enhancements to the existing building have been removed.



17. Sheets A-410, A-411, A-412, A-413, A-414

- A. Refer to Five (5) revised full size drawings included in this Addendum for revisions.
 - Among the Items included in these sheets are updates to the exterior façade enhancements with aluminum composite panels and aluminum rails attached to the masonry veneer of the building. Structural elements to achieve the façade enhancements to the existing building have been removed.

18. Sheets A-601, A-610

- A. Refer to Two (2) revised full size drawings included in this Addendum for revisions.
 - 1. Among the Items included in these sheets are adding glazing to the gymnasium doors, modifying some of the storefront and window elevations, and updating the window and storefront details.

19. Sheets A-703, A-704, A-705, A-709, A-730, and A-760

A. Refer to Six (6) revised full size drawings included in this Addendum for revisions.

20. Sheets A-800, A-801, A-802, A-803, A-804, A-805, A-809, A-820, A-840, A-860 and A-861

A. Refer to Eleven (11) revised full size drawings included in this Addendum for revisions.

21. Sheets A-808 and A-810

A. Add two (2) new full size drawings included in this Addendum to the Construction Documents.

22. Sheets A-903, A-904, A-905, A-909

- A. Refer to four (4) revised full size drawings included in this Addendum for revisions.
 - 1. Among the Items included in these sheets are changing the ceiling system in renovated classrooms to a 2x4 acoustic panel system (instead of 2x2 as originally shown), and eliminating all ceiling work in the media center and immediate corridors surrounding the space.

23. Sheet FP001

- A. Refer to revised full size drawing included in this Addendum for revisions.
 - 1. Added information to the Hydrant Flow Calculation schedule.

24. Sheet P-203

- A. Refer to revised full size drawing included in this Addendum for revisions.
 - 1. Revised Plan Note #2.
 - 2. Revised location of 3/4" cold water pipe drop and Wall Hydrant (P-14).

25. Sheets E-101 and E-102

A. Add two (2) new full size drawings included in this Addendum to the Construction Documents.

26. Sheet E-201

A. Refer to revised full size drawing included in this Addendum for revisions.

27. Sheet E-602

A. Refer to revised full size drawing included in this Addendum for revisions.



28. Sheet E-702

A. Refer to revised full size drawing included in this Addendum for revisions.

Pages 1 through 4, inclusive, and Sixty One (61) Full-Size Drawings, constitute the total makeup of **Addendum Two**.

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P-206 NOT USED
P-207 NOT USED
P-208 NOT USED
P-209 NOT USED
P-210 UNIT "E" SECOND FLOOR PLUMBING PLAN
P-501 PLUMBING DETAILS
E-001 ELECTRICAL SYMBOLS, SCHEDULES, DETAILS AND NOTES
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ED104 UNIT "D" ELECTRICAL FIRST FLOOR DEMOLITION LIGHTING PLAN
ED105 UNIT "E" ELECTRICAL FIRST FLOOR DEMOLITION LIGHTING PLAN
ED106 NOT USED
ED108 UNIT "C" ELECTRICAL SECOND FLOOR DEMOLITION LIGHTING PLAN
ED109 UNIT "D" ELECTRICAL SECOND FLOOR DEMOLITION LIGHTING PLAN
ED110 UNIT "E" ELECTRICAL SECOND FLOOR DEMOLITION LIGHTING PLAN
ED201 UNIT "A" ELECTRICAL FIRST FLOOR DEMOLITION POWER PLAN
ED202 UNIT "B" ELECTRICAL FIRST FLOOR DEMOLITION POWER PLAN
ED203 UNIT "C" ELECTRICAL FIRST FLOOR DEMOLITION POWER PLAN
ED204 UNIT "D" ELECTRICAL FIRST FLOOR DEMOLITION POWER PLAN
ED205 UNIT "E" ELECTRICAL FIRST FLOOR DEMOLITION POWER PLAN
ED206 NOT USED
ED207 NOT USED
ED208 NOT USED
ED209 UNIT "D" ELECTRICAL SECOND FLOOR DEMOLITION POWER PLAN
E-100 UNIT "F" ELECTRICAL FIRST FLOOR LIGHTING PLAN - ALTERNATE
E-101 UNIT "A" ELECTRICAL FIRST FLOOR LIGHTING PLAN
E-102 UNIT "B" ELECTRICAL FIRST FLOOR LIGHTING PLAN
E-103 UNIT "C" ELECTRICAL FIRST FLOOR LIGHTING PLAN E-104 UNIT "D" ELECTRICAL FIRST FLOOR LIGHTING PLAN
E-105 UNIT "E" ELECTRICAL FIRST FLOOR LIGHTING PLAN
E-106 NOT USED
E-107 NOT USED
E-108 UNIT "C" ELECTRICAL SECOND FLOOR LIGHTING PLAN
E-109 UNIT "D" ELECTRICAL SECOND FLOOR LIGHTING PLAN
E-110 UNIT "E" ELECTRICAL SECOND FLOOR LIGHTING PLAN
E-101A UNIT "A" ELECTRICAL FIRST FLOOR LIGHTING PLAN - ALTERNATE
E-102A UNIT "B" ELECTRICAL FIRST FLOOR LIGHTING PLAN - ALTERNATE
E-103A UNIT "C" ELECTRICAL FIRST FLOOR LIGHTING PLAN - ALTERNATE
E-104A UNIT "D" ELECTRICAL FIRST FLOOR LIGHTING PLAN - ALTERNATE
E-105A UNIT "E" ELECTRICAL FIRST FLOOR LIGHTING PLAN - ALTERNATE
E-106A NOT USED
E-108A UNIT "C" ELECTRICAL SECOND FLOOR LIGHTING PLAN - ALTERNATE E-109A UNIT "D" ELECTRICAL SECOND FLOOR LIGHTING PLAN - ALTERNATE
E-110A UNIT "E" ELECTRICAL SECOND FLOOR LIGHTING PLAN - ALTERNATE
E-111A MEZZANINE ELECTRICAL LIGHTING PLANS - ALTERNATE
E-200 UNIT "F" ELECTRICAL FIRST FLOOR POWER PLAN - ALTERNATE
E-201 UNIT "A" ELECTRICAL FIRST FLOOR POWER PLAN
E-202 UNIT "B" ELECTRICAL FIRST FLOOR POWER PLAN
E-203 UNIT "C" ELECTRICAL FIRST FLOOR POWER PLAN
E-204 UNIT "D" ELECTRICAL FIRST FLOOR POWER PLAN
E-205 UNIT "E" ELECTRICAL FIRST FLOOR POWER PLAN
E-206 NOT USED
E-207 NOT USED
E-208 NOT USED
E-209 UNIT "D" ELECTRICAL SECOND FLOOR POWER PLAN
E-210 NOT USED
E-211 MEZZANINE ELECTRICAL POWER PLANS
E-501 ELECTRICAL DETAILS
E-502 ELECTRICAL DETAILS
E-601 ELECTRICAL SCHEDULES
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E-602 ELECTRICAL SCHEDULES

E-603 ELECTRICAL SCHEDULES

E-701 ELECTRICAL PARTIAL DEMOLITION POWER DISTRIBUTION DIAGRAMS

E-702 PARTIAL ELECTRICAL POWER DISTRIBUTION DIAGRAMS



DESIGN

ARCHITECTURE • ENGINEERING • INTERIOR DESIGN

PROJECT

LOWELL MIDDLE SCHOOL-GRADE 5-8 IMPROVEMENTS

TRI-CREEK SCHOOL CORPORATION

KEY PLAN
GIBRALTAR DESIGN

9102 N. Meridian St., Ste. 300 Indianapolis, IN 46260 Homepage www.GibraltarDesign.com Email info@GibraltarDesign.com Phone 317.580.5777 Fax 317.580.5778

PROJECT
23-108
DATE
8/11/23
COORDINATED BY
EJM
DRAWN BY

COORDINATED BY
EJM

DRAWN BY
JKF CJA

CHECKED BY
JPB

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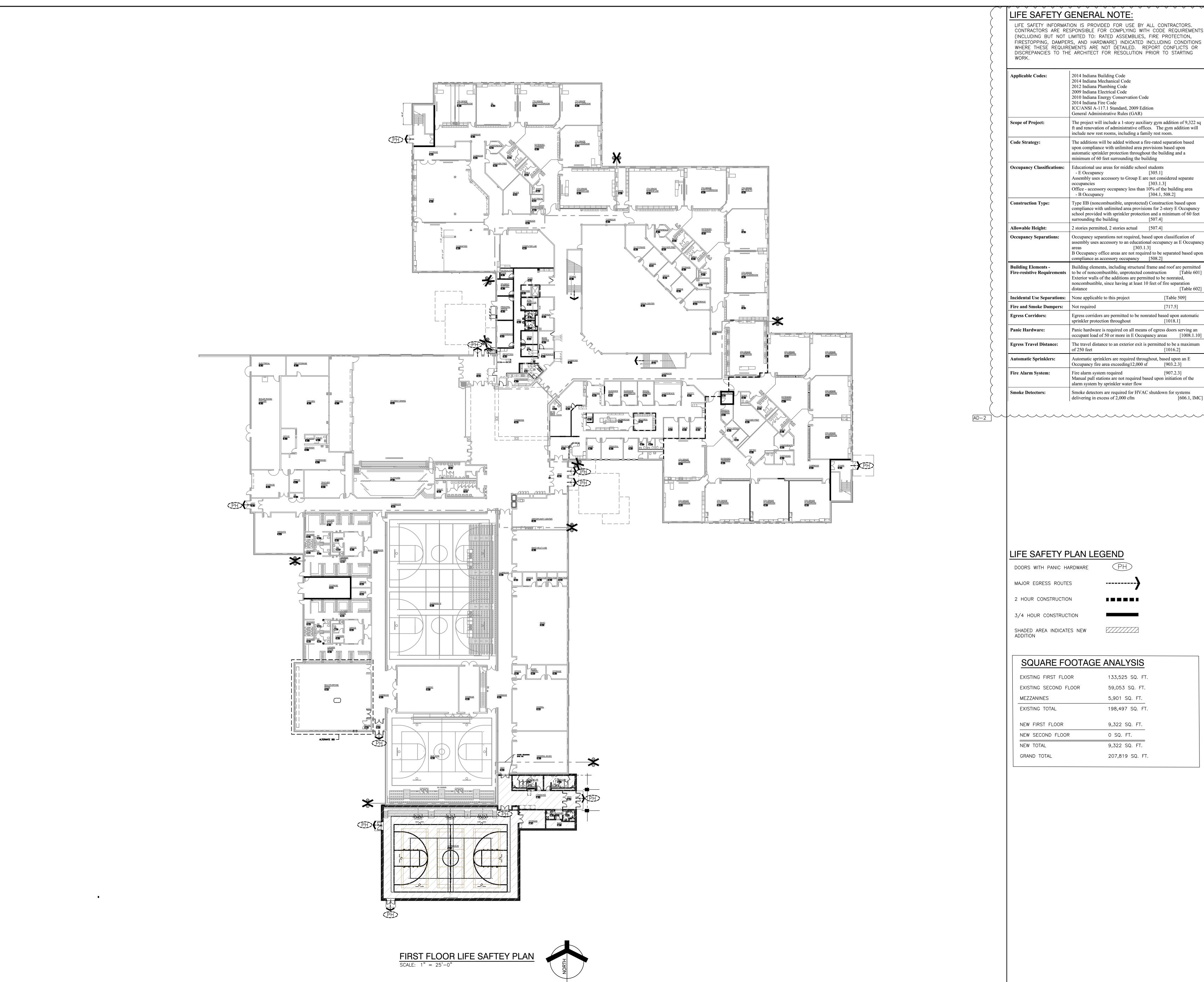
DRAWING

SHEET INDEX - VOLUME 1

PROJECT
LOWELL MIDDLE SCHOOL- GRADE
5-8 IMPROVEMENTS

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G-102v1



LIFE SAFETY GENERAL NOTE:

Occupancy Separations:

Fire and Smoke Dampers:

LIFE SAFETY INFORMATION IS PROVIDED FOR USE BY ALL CONTRACTORS. CONTRACTORS ARE RESPONSIBLE FOR COMPLYING WITH CODE REQUIREMENTS (INCLUDING BUT NOT LIMITED TO: RATED ASSEMBLIES, FIRE PROTECTION, FIRESTOPPING, DAMPERS, AND HARDWARE) INDICATED INCLUDING CONDITIONS WHERE THESE REQUIREMENTS ARE NOT DETAILED. REPORT CONFLICTS OR DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION PRIOR TO STARTING

2014 Indiana Building Code Applicable Codes: 2014 Indiana Mechanical Code 2012 Indiana Plumbing Code 2009 Indiana Electrical Code 2010 Indiana Energy Conservation Code 2014 Indiana Fire Code ICC/ANSI A-117.1 Standard, 2009 Edition General Administrative Rules (GAR) Scope of Project: The project will include a 1-story auxiliary gym addition of 9,322 sq ft and renovation of administrative offices. The gym addition will include new rest rooms, including a family rest room. Code Strategy: The additions will be added without a fire-rated separation based upon compliance with unlimited area provisions based upon automatic sprinkler protection throughout the building and a minimum of 60 feet surrounding the building **Occupancy Classifications:** Educational use areas for middle school students E Occupancy Assembly uses accessory to Group E are not considered separate occupancies Office - accessory occupancy less than 10% of the building area - B Occupancy [304.1, 508.2] Construction Type: Type IIB (noncombustible, unprotected) Construction based upon compliance with unlimited area provisions for 2-story E Occupancy school provided with sprinkler protection and a minimum of 60 feet

surrounding the building [507.4] Allowable Height: 2 stories permitted, 2 stories actual [507.4]

Occupancy separations not required, based upon classification of

assembly uses accessory to an educational occupancy as E Occupancy

[717.5]

B Occupancy office areas are not required to be separated based upon compliance as accessory occupancy [508.2] **Building Elements -**Building elements, including structural frame and roof are permitted Fire-resistive Requirements to be of noncombustible, unprotected construction [Table 601] Exterior walls of the additions are permitted to be nonrated, noncombustible, since having at least 10 feet of fire separation [Table 602] **Incidental Use Separations:** None applicable to this project [Table 509]

Egress corridors are permitted to be nonrated based upon automatic **Egress Corridors:** sprinkler protection throughout Panic hardware is required on all means of egress doors serving an occupant load of 50 or more in E Occupancy areas [1008.1.10] Panic Hardware: **Egress Travel Distance:** The travel distance to an exterior exit is permitted to be a maximum of 250 feet **Automatic Sprinklers:** Automatic sprinklers are required throughout, based upon an E Occupancy fire area exceeding 12,000 sf [903.2.3] Fire alarm system required Fire Alarm System: Manual pull stations are not required based upon initiation of the alarm system by sprinkler water flow **Smoke Detectors:** Smoke detectors are required for HVAC shutdown for systems delivering in excess of 2,000 cfm [606.1, IMC]

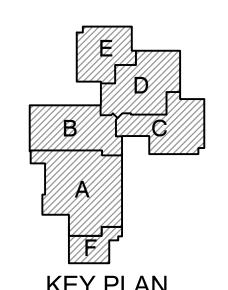
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DESIGN ARCHITECTURE ◆ ENGINEERING ◆ INTERIOR DESIGN

PROJECT

LOWELL MIDDLE SCHOOL-GRADE 5-8

TRI-CREEK SCHOOL CORPORATION



LIFE SAFETY PLAN LEGEND

DOORS WITH PANIC HARDWARE MAJOR EGRESS ROUTES

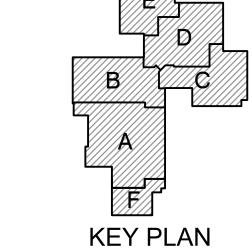
2 HOUR CONSTRUCTION 3/4 HOUR CONSTRUCTION

SHADED AREA INDICATES NEW

SQUARE FOOTAGE ANALYSIS				
EXISTING FIRST FLOOR	133,525 SQ. FT.			
EXISTING SECOND FLOOR	59,053 SQ. FT.			
MEZZANINES	5,901 SQ. FT.			
EXISTING TOTAL	198,497 SQ. FT.			
NEW FIRST FLOOR	9,322 SQ. FT.			
NEW SECOND FLOOR	0 SQ. FT.			
NEW TOTAL	9,322 SQ. FT.			

207,819 SQ. FT.

GRAND TOTAL



GIBRALTAR DESIGN

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23-108 8/11/23 COORDINATED E

11600109 STATE OF DRAWN BY JKF CJA CHECKED BY

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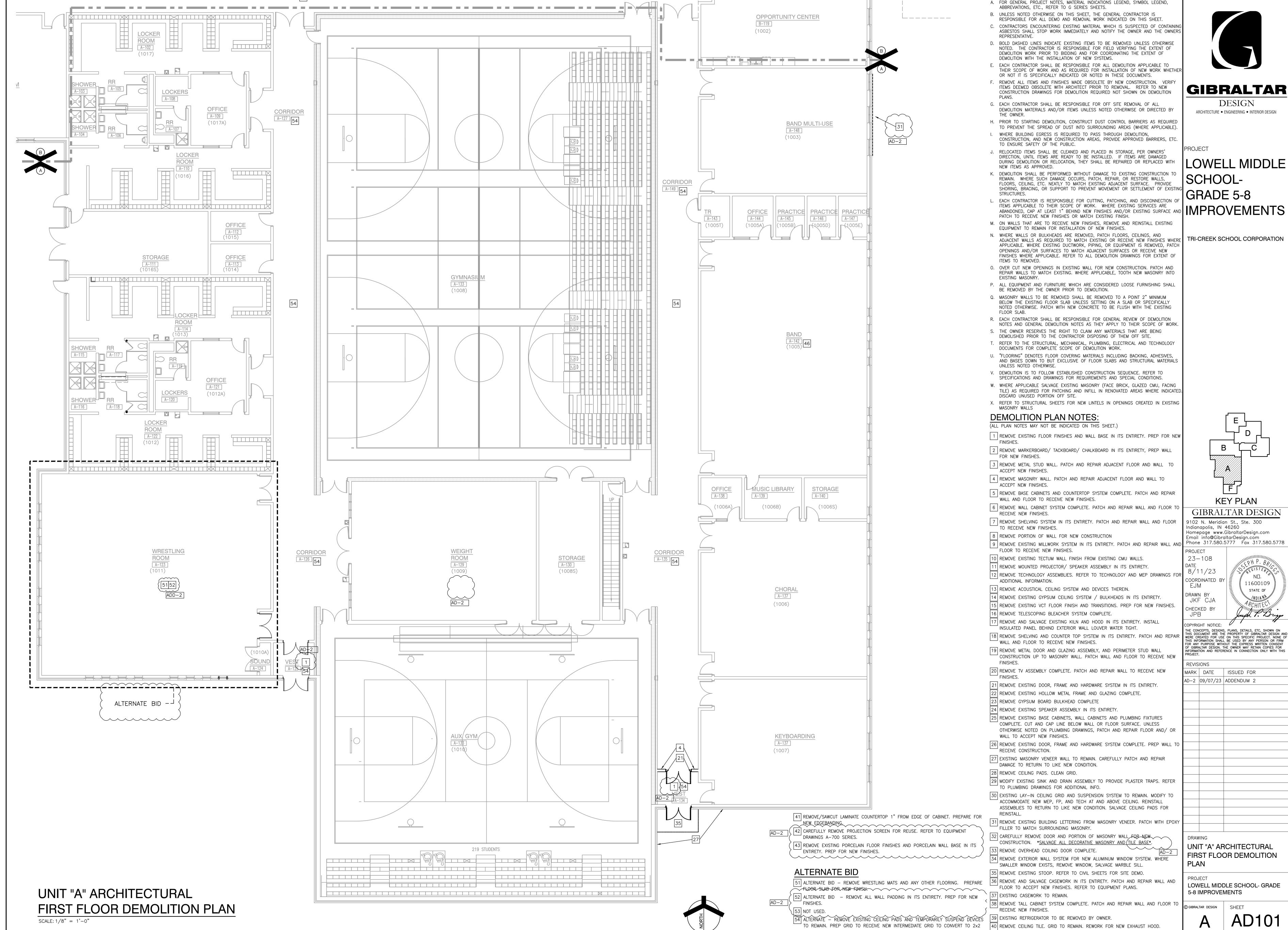
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FIRST FLOOR LIFE SAFETY PLAN

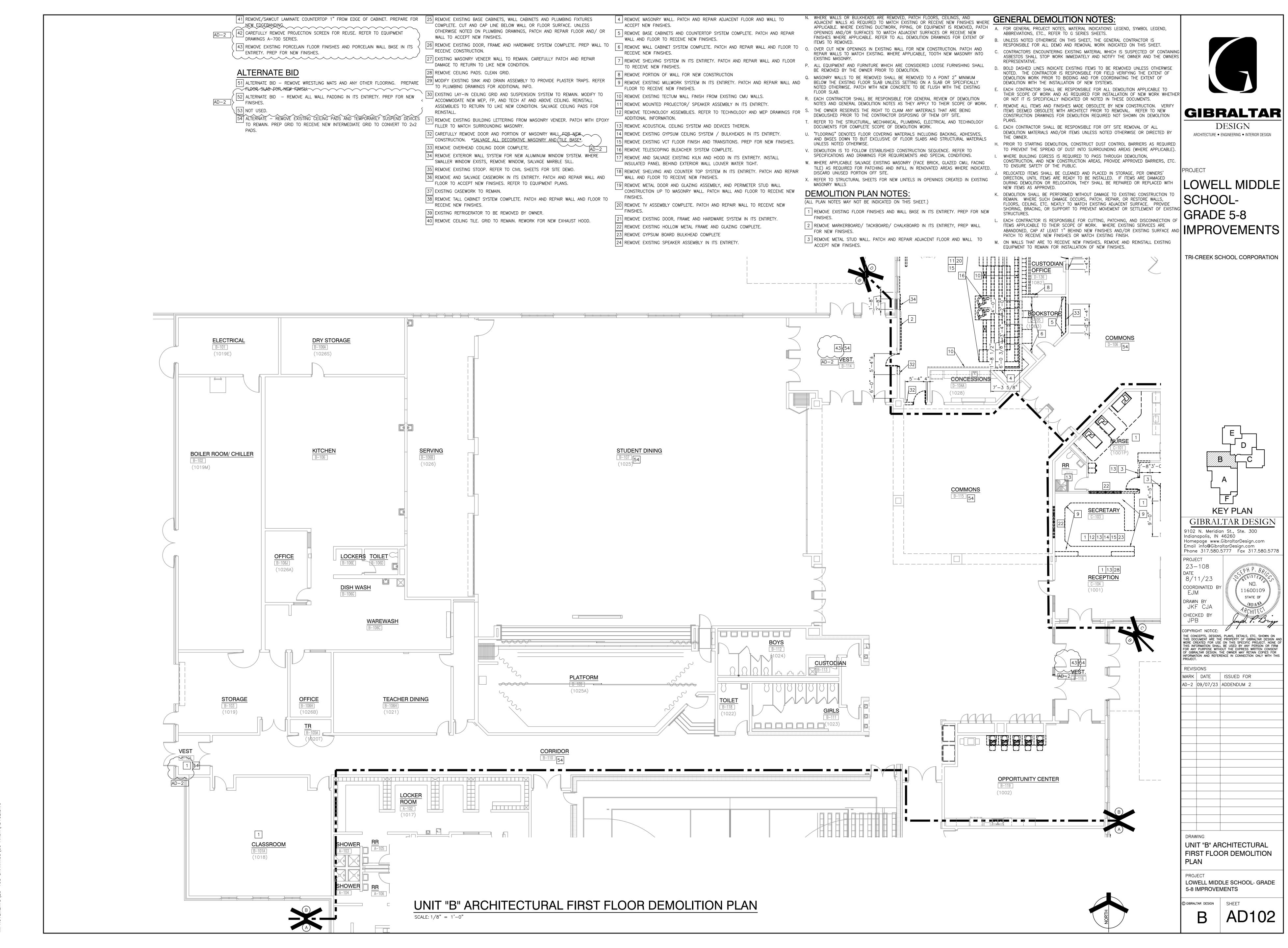
LOWELL MIDDLE SCHOOL- GRADE 5-8 IMPROVEMENTS

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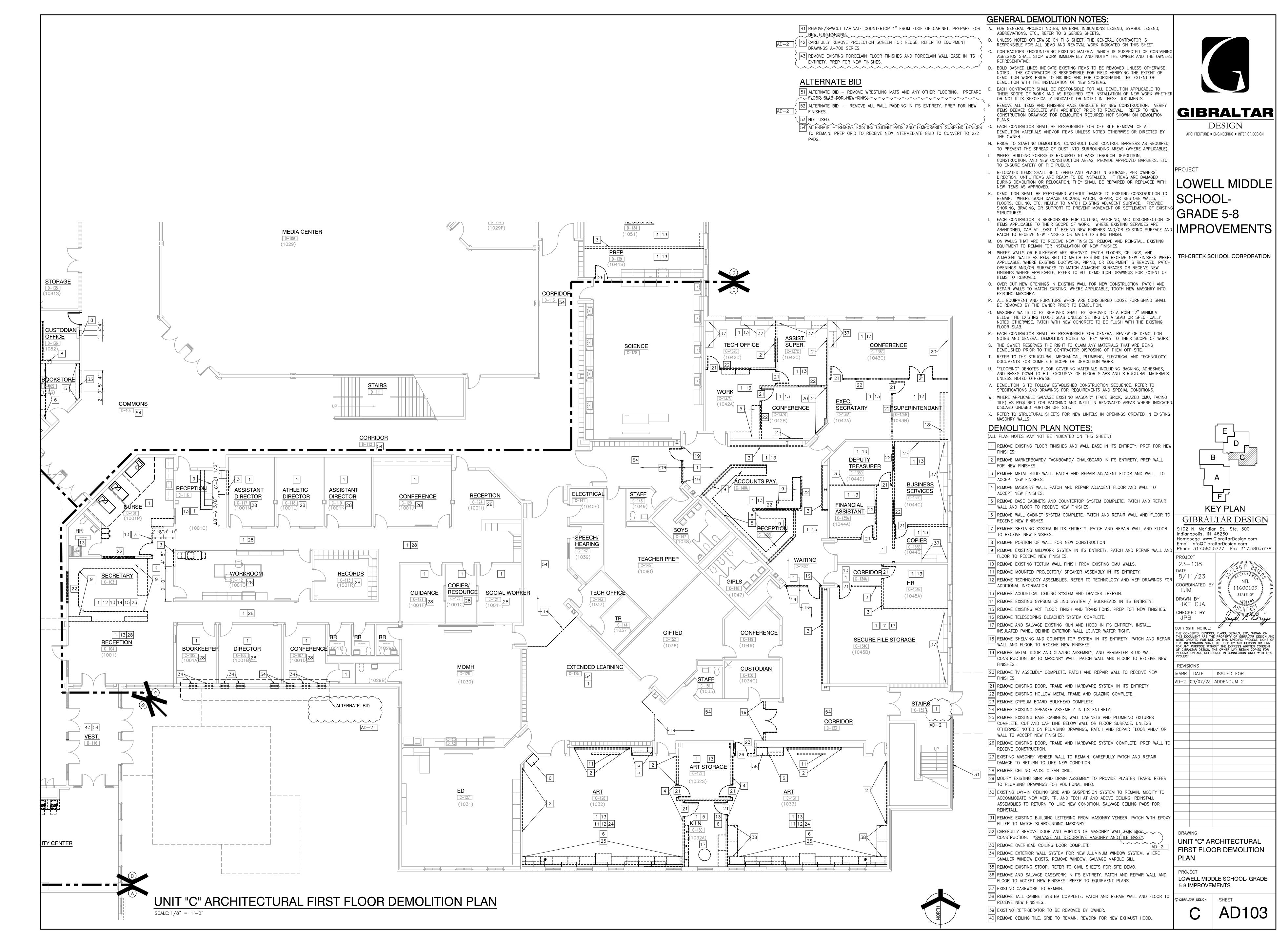
G-201



GENERAL DEMOLITION NOTES



Friday, 9/8/2023 — 12:52 AM — LAST SAVED BY:EMCCAULEY Y:\23—108 TRI—CREEK SC — LOWELL MS 5—8 IMPROVEMENTS\23—108 DRAWINGS\05 ARCH\AD102.DWG



riddy, 9/8/2023 — 12:30 AM — LASI SAVED BY:Ef :\23—108 TRI—CREEK SC — LOWELL MS 5—8 APROVEMENTS\23—108 DRAWINGS\05 ARCH\AD103.[

42 CAREFULLY REMOVE PROJECTION SCREEN FOR REUSE. REFER TO EQUIPMENT DRAWINGS A-700 SERIES. 43 REMOVE EXISTING PORCELAIN FLOOR FINISHES AND PORCELAIN WALL BASE IN ITS ENTIRETY. PREP FOR NEW FINISHES. **ALTERNATE BID** 51 ALTERNATE BID - REMOVE WRESTLING MATS AND ANY OTHER FLOORING. PREPARE 52 ALTERNATE BID — REMOVE ALL WALL PADDING IN ITS ENTIRETY. PREP FOR NEW FINISHES. 153 NOT USED. 54 ALTERNATE - REMOVE EXISTING CEILING PADS AND TEMPORARILY SUSPEND DEVICES TO REMAIN. PREP GRID TO RECEIVE NEW INTERMEDIATE GRID TO CONVERT TO 2x2 **RESOURCE** CLASSROOM CLASSROOM CLASSROOM (1068B) (1068A) (1067) (1066) (1065)E-103 54 CONFERENCE EXTENDED LEARNING (1077S) (1064)TEACHER PREP (1078) STAFF 54 **ELECTRICAL** (1079T) 1073E) COMPUTER APPLICATIONS 14 ______ SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES:

- 41 REMOVE/SAWCUT LAMINATE COUNTERTOP 1" FROM EDGE OF CABINET. PREPARE FOR A. FOR GENERAL PROJECT NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC., REFER TO G SERIES SHEETS. NEW EDGEBANDING. UNLESS NOTED OTHERWISE ON THIS SHEET, THE GENERAL CONTRACTOR IS
 - RESPONSIBLE FOR ALL DEMO AND REMOVAL WORK INDICATED ON THIS SHEET. CONTRACTORS ENCOUNTERING EXISTING MATERIAL WHICH IS SUSPECTED OF CONTAINING ASBESTOS SHALL STOP WORK IMMEDIATELY AND NOTIFY THE OWNER AND THE OWNERS
 - BOLD DASHED LINES INDICATE EXISTING ITEMS TO BE REMOVED UNLESS OTHERWISE NOTED. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE EXTENT OF DEMOLITION WORK PRIOR TO BIDDING AND FOR COORDINATING THE EXTENT OF DEMOLITION WITH THE INSTALLATION OF NEW SYSTEMS.
 - EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION APPLICABLE TO THEIR SCOPE OF WORK AND AS REQUIRED FOR INSTALLATION OF NEW WORK WHETHER OR NOT IT IS SPECIFICALLY INDICATED OR NOTED IN THESE DOCUMENTS. REMOVE ALL ITEMS AND FINISHES MADE OBSOLETE BY NEW CONSTRUCTION. VERIFY ITEMS DEEMED OBSOLETE WITH ARCHITECT PRIOR TO REMOVAL. REFER TO NEW CONSTRUCTION DRAWINGS FOR DEMOLITION REQUIRED NOT SHOWN ON DEMOLITION
 - EACH CONTRACTOR SHALL BE RESPONSIBLE FOR OFF SITE REMOVAL OF ALL DEMOLITION MATERIALS AND/OR ITEMS UNLESS NOTED OTHERWISE OR DIRECTED BY
 - H. PRIOR TO STARTING DEMOLITION, CONSTRUCT DUST CONTROL BARRIERS AS REQUIRED TO PREVENT THE SPREAD OF DUST INTO SURROUNDING AREAS (WHERE APPLICABLE).
 - I. WHERE BUILDING EGRESS IS REQUIRED TO PASS THROUGH DEMOLITION, CONSTRUCTION, AND NEW CONSTRUCTION AREAS, PROVIDE APPROVED BARRIERS, ETC TO ENSURE SAFETY OF THE PUBLIC.
 - J. RELOCATED ITEMS SHALL BE CLEANED AND PLACED IN STORAGE, PER OWNERS' DIRECTION, UNTIL ITEMS ARE READY TO BE INSTALLED. IF ITEMS ARE DAMAGED DURING DEMOLITION OR RELOCATION, THEY SHALL BE REPAIRED OR REPLACED WITH NEW ITEMS AS APPROVED.

L. EACH CONTRACTOR IS RESPONSIBLE FOR CUTTING, PATCHING, AND DISCONNECTION OF

- K. DEMOLITION SHALL BE PERFORMED WITHOUT DAMAGE TO EXISTING CONSTRUCTION TO REMAIN. WHERE SUCH DAMAGE OCCURS, PATCH, REPAIR, OR RESTORE WALLS, FLOORS, CEILING, ETC. NEATLY TO MATCH EXISTING ADJACENT SURFACE. PROVIDE SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING STRUCTURES.
- ITEMS APPLICABLE TO THEIR SCOPE OF WORK. WHERE EXISTING SERVICES ARE ABANDONED, CAP AT LEAST 1" BEHIND NEW FINISHES AND/OR EXISTING SURFACE AND PATCH TO RECEIVE NEW FINISHES OR MATCH EXISTING FINISH. M. ON WALLS THAT ARE TO RECEIVE NEW FINISHES, REMOVE AND REINSTALL EXISTING EQUIPMENT TO REMAIN FOR INSTALLATION OF NEW FINISHES.
- N. WHERE WALLS OR BULKHEADS ARE REMOVED, PATCH FLOORS, CEILINGS, AND ADJACENT WALLS AS REQUIRED TO MATCH EXISTING OR RECEIVE NEW FINISHES WHERE APPLICABLE. WHERE EXISTING DUCTWORK, PIPING, OR EQUIPMENT IS REMOVED, PATCH OPENINGS AND/OR SURFACES TO MATCH ADJACENT SURFACES OR RECEIVE NEW FINISHES WHERE APPLICABLE. REFER TO ALL DEMOLITION DRAWINGS FOR EXTENT OF ITEMS TO REMOVED.
- O. OVER CUT NEW OPENINGS IN EXISTING WALL FOR NEW CONSTRUCTION. PATCH AND REPAIR WALLS TO MATCH EXISTING. WHERE APPLICABLE, TOOTH NEW MASONRY INTO
- P. ALL EQUIPMENT AND FURNITURE WHICH ARE CONSIDERED LOOSE FURNISHING SHALL BE REMOVED BY THE OWNER PRIOR TO DEMOLITION.
- Q. MASONRY WALLS TO BE REMOVED SHALL BE REMOVED TO A POINT 2" MINIMUM BELOW THE EXISTING FLOOR SLAB UNLESS SETTING ON A SLAB OR SPECIFICALLY NOTED OTHERWISE. PATCH WITH NEW CONCRETE TO BE FLUSH WITH THE EXISTING
- R. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR GENERAL REVIEW OF DEMOLITION NOTES AND GENERAL DEMOLITION NOTES AS THEY APPLY TO THEIR SCOPE OF WORK.
- S. THE OWNER RESERVES THE RIGHT TO CLAIM ANY MATERIALS THAT ARE BEING DEMOLISHED PRIOR TO THE CONTRACTOR DISPOSING OF THEM OFF SITE.
- T. REFER TO THE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND TECHNOLOGY DOCUMENTS FOR COMPLETE SCOPE OF DEMOLITION WORK. U. "FLOORING" DENOTES FLOOR COVERING MATERIALS INCLUDING BACKING, ADHESIVES,
- AND BASES DOWN TO BUT EXCLUSIVE OF FLOOR SLABS AND STRUCTURAL MATERIALS UNLESS NOTED OTHERWISE.
- V. DEMOLITION IS TO FOLLOW ESTABLISHED CONSTRUCTION SEQUENCE. REFER TO SPECIFICATIONS AND DRAWINGS FOR REQUIREMENTS AND SPECIAL CONDITIONS.
- W. WHERE APPLICABLE SALVAGE EXISTING MASONRY (FACE BRICK, GLAZED CMU, FACING TILE) AS REQUIRED FOR PATCHING AND INFILL IN RENOVATED AREAS WHERE INDICATED DISCARD UNUSED PORTION OFF SITE.
- X. REFER TO STRUCTURAL SHEETS FOR NEW LINTELS IN OPENINGS CREATED IN EXISTING MASONRY WALLS

DEMOLITION PLAN NOTES: (ALL PLAN NOTES MAY NOT BE INDICATED ON THIS SHEET.)

- 1 REMOVE EXISTING FLOOR FINISHES AND WALL BASE IN ITS ENTIRETY. PREP FOR NEW
- 2 REMOVE MARKERBOARD/ TACKBOARD/ CHALKBOARD IN ITS ENTIRETY, PREP WALL FOR NEW FINISHES.
- 3 REMOVE METAL STUD WALL. PATCH AND REPAIR ADJACENT FLOOR AND WALL TO ACCEPT NEW FINISHES.
- 4 REMOVE MASONRY WALL. PATCH AND REPAIR ADJACENT FLOOR AND WALL TO ACCEPT NEW FINISHES.
- 5 REMOVE BASE CABINETS AND COUNTERTOP SYSTEM COMPLETE. PATCH AND REPAIR WALL AND FLOOR TO RECEIVE NEW FINISHES.
- 6 REMOVE WALL CABINET SYSTEM COMPLETE. PATCH AND REPAIR WALL AND FLOOR TO RECEIVE NEW FINISHES. 7 REMOVE SHELVING SYSTEM IN ITS ENTIRETY. PATCH AND REPAIR WALL AND FLOOR
- TO RECEIVE NEW FINISHES.
- 8 REMOVE PORTION OF WALL FOR NEW CONSTRUCTION
- 9 REMOVE EXISTING MILLWORK SYSTEM IN ITS ENTIRETY. PATCH AND REPAIR WALL AND FLOOR TO RECEIVE NEW FINISHES.
- 10 REMOVE EXISTING TECTUM WALL FINISH FROM EXISTING CMU WALLS. 11 REMOVE MOUNTED PROJECTOR/ SPEAKER ASSEMBLY IN ITS ENTIRETY.
- 12 REMOVE TECHNOLOGY ASSEMBLIES. REFER TO TECHNOLOGY AND MEP DRAWINGS FOR
- ADDITIONAL INFORMATION. 13 REMOVE ACOUSTICAL CEILING SYSTEM AND DEVICES THEREIN.
- 14 REMOVE EXISTING GYPSUM CEILING SYSTEM / BULKHEADS IN ITS ENTIRETY. 15 REMOVE EXISTING VCT FLOOR FINISH AND TRANSITIONS. PREP FOR NEW FINISHES. 16 REMOVE TELESCOPING BLEACHER SYSTEM COMPLETE.
- 17 REMOVE AND SALVAGE EXISTING KILN AND HOOD IN ITS ENTIRETY. INSTALL INSULATED PANEL BEHIND EXTERIOR WALL LOUVER WATER TIGHT.
- WALL AND FLOOR TO RECEIVE NEW FINISHES. 19 REMOVE METAL DOOR AND GLAZING ASSEMBLY, AND PERIMETER STUD WALL
- CONSTRUCTION UP TO MASONRY WALL. PATCH WALL AND FLOOR TO RECEIVE NEW 20 REMOVE TV ASSEMBLY COMPLETE. PATCH AND REPAIR WALL TO RECEIVE NEW
- 21 REMOVE EXISTING DOOR, FRAME AND HARDWARE SYSTEM IN ITS ENTIRETY.
- 22 REMOVE EXISTING HOLLOW METAL FRAME AND GLAZING COMPLETE.
- 23 REMOVE GYPSUM BOARD BULKHEAD COMPLETE
- 24 REMOVE EXISTING SPEAKER ASSEMBLY IN ITS ENTIRETY.

REINSTALL.

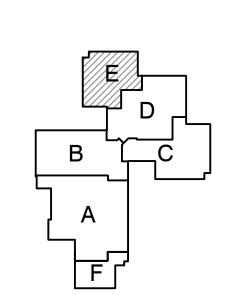
- 25 REMOVE EXISTING BASE CABINETS, WALL CABINETS AND PLUMBING FIXTURES COMPLETE. CUT AND CAP LINE BELOW WALL OR FLOOR SURFACE. UNLESS OTHERWISE NOTED ON PLUMBING DRAWINGS, PATCH AND REPAIR FLOOR AND/ WALL TO ACCEPT NEW FINISHES.
- 26 REMOVE EXISTING DOOR, FRAME AND HARDWARE SYSTEM COMPLETE. PREP WALL RECEIVE CONSTRUCTION.
- 27 EXISTING MASONRY VENEER WALL TO REMAIN. CAREFULLY PATCH AND REPAIR
- DAMAGE TO RETURN TO LIKE NEW CONDITION.
- 28 REMOVE CEILING PADS. CLEAN GRID. 29 MODIFY EXISTING SINK AND DRAIN ASSEMBLY TO PROVIDE PLASTER TRAPS. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFO.
- 30 EXISTING LAY-IN CEILING GRID AND SUSPENSION SYSTEM TO REMAIN. MODIFY TO ACCOMMODATE NEW MEP, FP, AND TECH AT AND ABOVE CEILING. REINSTALL ASSEMBLIES TO RETURN TO LIKE NEW CONDITION. SALVAGE CEILING PADS FOR
- 31 REMOVE EXISTING BUILDING LETTERING FROM MASONRY VENEER. PATCH WITH EPOXY $^{-1}$ FILLER TO MATCH SURROUNDING MASONRY.
- 32 CAREFULLY REMOVE DOOR AND PORTION OF MASONRY WALL FOR NEW CONSTRUCTION. *SALVAGE ALL DECORATIVE MASONRY AND (TILE BASE*. 33 REMOVE OVERHEAD COILING DOOR COMPLETE.
 - 34 REMOVE EXTERIOR WALL SYSTEM FOR NEW ALUMINUM WINDOW SYSTEM. WHERE SMALLER WINDOW EXISTS, REMOVE WINDOW, SALVAGE MARBLE SILL. 35 REMOVE EXISTING STOOP. REFER TO CIVIL SHEETS FOR SITE DEMO.
 - 36 REMOVE AND SALVAGE CASEWORK IN ITS ENTIRETY. PATCH AND REPAIR WALL AND FLOOR TO ACCEPT NEW FINISHES. REFER TO EQUIPMENT PLANS.
 - 37 EXISTING CASEWORK TO REMAIN. 38 REMOVE TALL CABINET SYSTEM COMPLETE. PATCH AND REPAIR WALL AND FLOOR TO
 - RECEIVE NEW FINISHES. 39 EXISTING REFRIGERATOR TO BE REMOVED BY OWNER.
 - 40 REMOVE CEILING TILE. GRID TO REMAIN. REWORK FOR NEW EXHAUST HOOD.



DESIGN ARCHITECTURE • ENGINEERING • INTERIOR DESIGN

GRADE 5-8

TRI-CREEK SCHOOL CORPORATION



KEY PLAN GIBRALTAR DESIGN

Homepage www.GibraltarDesign.com Email info@GibraltarDesign.com Phone 317.580.5777 Fax 317.580.5778

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	PROJECT	
	23-108	MILEPH P. BRIVI
	DATE 8/11/23	THE GIST ERECTION
	COORDINATED BY EJM	ND. 11600109 STATE OF ARCHITECT ARCHITEC
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	JKF CJA	ARCHITECT
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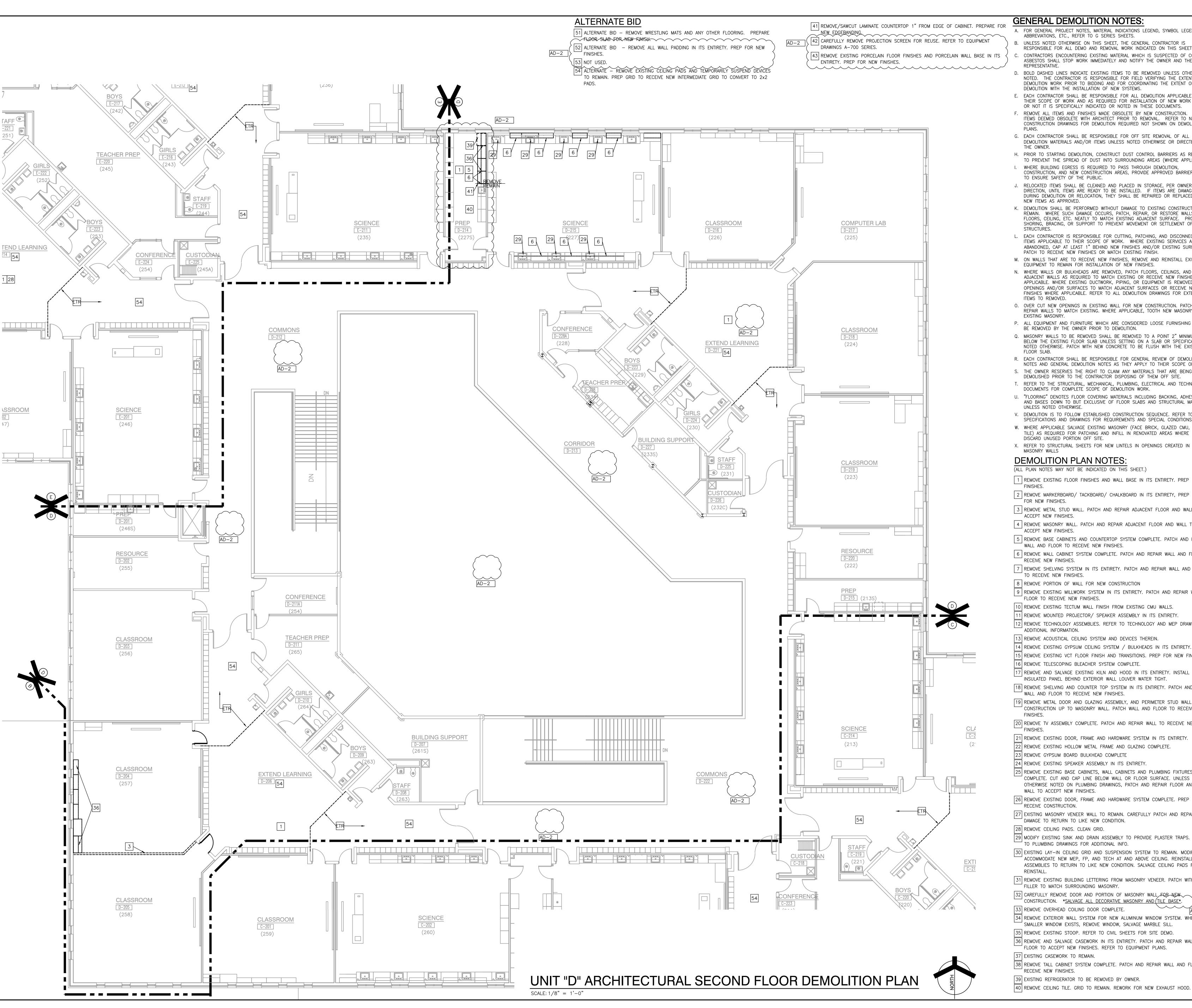
	AD-2	09/07/23	ADDENDUM	2
OR				
L TO				

UNIT "E" ARCHITECTURAL FIRST FLOOR DEMOLITION PLAN

LOWELL MIDDLE SCHOOL- GRADE 5-8 IMPROVEMENTS

GIBRALTAR DESIGN SHEET

AD105



GENERAL DEMOLITION NOTES:

- A. FOR GENERAL PROJECT NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC., REFER TO G SERIES SHEETS. UNLESS NOTED OTHERWISE ON THIS SHEET, THE GENERAL CONTRACTOR IS
- RESPONSIBLE FOR ALL DEMO AND REMOVAL WORK INDICATED ON THIS SHEET. CONTRACTORS ENCOUNTERING EXISTING MATERIAL WHICH IS SUSPECTED OF CONTAINING ASBESTOS SHALL STOP WORK IMMEDIATELY AND NOTIFY THE OWNER AND THE OWNERS
- D. BOLD DASHED LINES INDICATE EXISTING ITEMS TO BE REMOVED UNLESS OTHERWISE NOTED. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE EXTENT OF
- DEMOLITION WORK PRIOR TO BIDDING AND FOR COORDINATING THE EXTENT OF DEMOLITION WITH THE INSTALLATION OF NEW SYSTEMS. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION APPLICABLE TO
- THEIR SCOPE OF WORK AND AS REQUIRED FOR INSTALLATION OF NEW WORK WHETHER OR NOT IT IS SPECIFICALLY INDICATED OR NOTED IN THESE DOCUMENTS. F. REMOVE ALL ITEMS AND FINISHES MADE OBSOLETE BY NEW CONSTRUCTION. VERIFY **GIBRALTAR**
- ITEMS DEEMED OBSOLETE WITH ARCHITECT PRIOR TO REMOVAL. REFER TO NEW CONSTRUCTION DRAWINGS FOR DEMOLITION REQUIRED NOT SHOWN ON DEMOLITION
- G. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR OFF SITE REMOVAL OF ALL DEMOLITION MATERIALS AND/OR ITEMS UNLESS NOTED OTHERWISE OR DIRECTED BY
- H. PRIOR TO STARTING DEMOLITION, CONSTRUCT DUST CONTROL BARRIERS AS REQUIRED TO PREVENT THE SPREAD OF DUST INTO SURROUNDING AREAS (WHERE APPLICABLE).

DESIGN

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GRADE 5-8

TRI-CREEK SCHOOL CORPORATION

KEY PLAN

GIBRALTAR DESIGN

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23-108

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COORDINATED BY

- WHERE BUILDING EGRESS IS REQUIRED TO PASS THROUGH DEMOLITION, CONSTRUCTION, AND NEW CONSTRUCTION AREAS, PROVIDE APPROVED BARRIERS, ETC TO ENSURE SAFETY OF THE PUBLIC.
- J. RELOCATED ITEMS SHALL BE CLEANED AND PLACED IN STORAGE, PER OWNERS' DIRECTION, UNTIL ITEMS ARE READY TO BE INSTALLED. IF ITEMS ARE DAMAGED DURING DEMOLITION OR RELOCATION, THEY SHALL BE REPAIRED OR REPLACED WITH NEW ITEMS AS APPROVED.
- K. DEMOLITION SHALL BE PERFORMED WITHOUT DAMAGE TO EXISTING CONSTRUCTION T REMAIN. WHERE SUCH DAMAGE OCCURS, PATCH, REPAIR, OR RESTORE WALLS, FLOORS, CEILING, ETC. NEATLY TO MATCH EXISTING ADJACENT SURFACE. PROVIDE SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING STRUCTURES.
- L. EACH CONTRACTOR IS RESPONSIBLE FOR CUTTING, PATCHING, AND DISCONNECTION C ITEMS APPLICABLE TO THEIR SCOPE OF WORK. WHERE EXISTING SERVICES ARE ABANDONED, CAP AT LEAST 1" BEHIND NEW FINISHES AND/OR EXISTING SURFACE A PATCH TO RECEIVE NEW FINISHES OR MATCH EXISTING FINISH.
- M. ON WALLS THAT ARE TO RECEIVE NEW FINISHES, REMOVE AND REINSTALL EXISTING EQUIPMENT TO REMAIN FOR INSTALLATION OF NEW FINISHES.
- N. WHERE WALLS OR BULKHEADS ARE REMOVED, PATCH FLOORS, CEILINGS, AND ADJACENT WALLS AS REQUIRED TO MATCH EXISTING OR RECEIVE NEW FINISHES WHERE APPLICABLE. WHERE EXISTING DUCTWORK, PIPING, OR EQUIPMENT IS REMOVED, PATCH OPENINGS AND/OR SURFACES TO MATCH ADJACENT SURFACES OR RECEIVE NEW FINISHES WHERE APPLICABLE. REFER TO ALL DEMOLITION DRAWINGS FOR EXTENT OF ITEMS TO REMOVED.
- O. OVER CUT NEW OPENINGS IN EXISTING WALL FOR NEW CONSTRUCTION. PATCH AND REPAIR WALLS TO MATCH EXISTING. WHERE APPLICABLE, TOOTH NEW MASONRY INTO
- P. ALL EQUIPMENT AND FURNITURE WHICH ARE CONSIDERED LOOSE FURNISHING SHALL BE REMOVED BY THE OWNER PRIOR TO DEMOLITION.
- Q. MASONRY WALLS TO BE REMOVED SHALL BE REMOVED TO A POINT 2" MINIMUM BELOW THE EXISTING FLOOR SLAB UNLESS SETTING ON A SLAB OR SPECIFICALLY NOTED OTHERWISE. PATCH WITH NEW CONCRETE TO BE FLUSH WITH THE EXISTING
- R. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR GENERAL REVIEW OF DEMOLITION NOTES AND GENERAL DEMOLITION NOTES AS THEY APPLY TO THEIR SCOPE OF WORK.
- S. THE OWNER RESERVES THE RIGHT TO CLAIM ANY MATERIALS THAT ARE BEING DEMOLISHED PRIOR TO THE CONTRACTOR DISPOSING OF THEM OFF SITE.
- T. REFER TO THE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND TECHNOLOGY DOCUMENTS FOR COMPLETE SCOPE OF DEMOLITION WORK.
- U. "FLOORING" DENOTES FLOOR COVERING MATERIALS INCLUDING BACKING, ADHESIVES, AND BASES DOWN TO BUT EXCLUSIVE OF FLOOR SLABS AND STRUCTURAL MATERIALS UNLESS NOTED OTHERWISE.
- V. DEMOLITION IS TO FOLLOW ESTABLISHED CONSTRUCTION SEQUENCE. REFER TO SPECIFICATIONS AND DRAWINGS FOR REQUIREMENTS AND SPECIAL CONDITIONS.
- W. WHERE APPLICABLE SALVAGE EXISTING MASONRY (FACE BRICK, GLAZED CMU, FACING TILE) AS REQUIRED FOR PATCHING AND INFILL IN RENOVATED AREAS WHERE INDICATED
- DISCARD UNUSED PORTION OFF SITE. X. REFER TO STRUCTURAL SHEETS FOR NEW LINTELS IN OPENINGS CREATED IN EXISTING
- MASONRY WALLS

DEMOLITION PLAN NOTES: (ALL PLAN NOTES MAY NOT BE INDICATED ON THIS SHEET.)

- 1 REMOVE EXISTING FLOOR FINISHES AND WALL BASE IN ITS ENTIRETY. PREP FOR NEW
- 2 REMOVE MARKERBOARD/ TACKBOARD/ CHALKBOARD IN ITS ENTIRETY, PREP WALL FOR NEW FINISHES.
- 3 REMOVE METAL STUD WALL. PATCH AND REPAIR ADJACENT FLOOR AND WALL TO
- ACCEPT NEW FINISHES. 4 REMOVE MASONRY WALL. PATCH AND REPAIR ADJACENT FLOOR AND WALL TO
- ACCEPT NEW FINISHES. 5 REMOVE BASE CABINETS AND COUNTERTOP SYSTEM COMPLETE. PATCH AND REPAIR
- WALL AND FLOOR TO RECEIVE NEW FINISHES. 6 REMOVE WALL CABINET SYSTEM COMPLETE. PATCH AND REPAIR WALL AND FLOOR TO
- RECEIVE NEW FINISHES. 7 REMOVE SHELVING SYSTEM IN ITS ENTIRETY. PATCH AND REPAIR WALL AND FLOOR
- TO RECEIVE NEW FINISHES.
- 8 REMOVE PORTION OF WALL FOR NEW CONSTRUCTION
- 9 REMOVE EXISTING MILLWORK SYSTEM IN ITS ENTIRETY. PATCH AND REPAIR WALL AND FLOOR TO RECEIVE NEW FINISHES.
- 10 REMOVE EXISTING TECTUM WALL FINISH FROM EXISTING CMU WALLS.
- 11 REMOVE MOUNTED PROJECTOR/ SPEAKER ASSEMBLY IN ITS ENTIRETY.
- 12 REMOVE TECHNOLOGY ASSEMBLIES. REFER TO TECHNOLOGY AND MEP DRAWINGS F
- ADDITIONAL INFORMATION. 13 REMOVE ACOUSTICAL CEILING SYSTEM AND DEVICES THEREIN.
- 14 REMOVE EXISTING GYPSUM CEILING SYSTEM / BULKHEADS IN ITS ENTIRETY.
- 15 REMOVE EXISTING VCT FLOOR FINISH AND TRANSITIONS. PREP FOR NEW FINISHES. 16 REMOVE TELESCOPING BLEACHER SYSTEM COMPLETE.
- 17 REMOVE AND SALVAGE EXISTING KILN AND HOOD IN ITS ENTIRETY. INSTALL INSULATED PANEL BEHIND EXTERIOR WALL LOUVER WATER TIGHT.
- 18 REMOVE SHELVING AND COUNTER TOP SYSTEM IN ITS ENTIRETY. PATCH AND REPAIR WALL AND FLOOR TO RECEIVE NEW FINISHES.
- 19 REMOVE METAL DOOR AND GLAZING ASSEMBLY, AND PERIMETER STUD WALL CONSTRUCTION UP TO MASONRY WALL. PATCH WALL AND FLOOR TO RECEIVE NEW
- 20 REMOVE TV ASSEMBLY COMPLETE. PATCH AND REPAIR WALL TO RECEIVE NEW
- 21 REMOVE EXISTING DOOR, FRAME AND HARDWARE SYSTEM IN ITS ENTIRETY. 22 REMOVE EXISTING HOLLOW METAL FRAME AND GLAZING COMPLETE.
- 23 REMOVE GYPSUM BOARD BULKHEAD COMPLETE
- 24 REMOVE EXISTING SPEAKER ASSEMBLY IN ITS ENTIRETY.
- 25 REMOVE EXISTING BASE CABINETS, WALL CABINETS AND PLUMBING FIXTURES COMPLETE. CUT AND CAP LINE BELOW WALL OR FLOOR SURFACE. UNLESS OTHERWISE NOTED ON PLUMBING DRAWINGS, PATCH AND REPAIR FLOOR AND/ OR
- WALL TO ACCEPT NEW FINISHES. 26 REMOVE EXISTING DOOR, FRAME AND HARDWARE SYSTEM COMPLETE. PREP WALL TO RECEIVE CONSTRUCTION.
- 27 EXISTING MASONRY VENEER WALL TO REMAIN. CAREFULLY PATCH AND REPAIR
- DAMAGE TO RETURN TO LIKE NEW CONDITION. 28 REMOVE CEILING PADS. CLEAN GRID.
- 29 MODIFY EXISTING SINK AND DRAIN ASSEMBLY TO PROVIDE PLASTER TRAPS. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFO.
- 30 EXISTING LAY-IN CEILING GRID AND SUSPENSION SYSTEM TO REMAIN. MODIFY TO ACCOMMODATE NEW MEP, FP, AND TECH AT AND ABOVE CEILING. REINSTALL ASSEMBLIES TO RETURN TO LIKE NEW CONDITION. SALVAGE CEILING PADS FOR REINSTALL.
- 31 REMOVE EXISTING BUILDING LETTERING FROM MASONRY VENEER. PATCH WITH EPOXY FILLER TO MATCH SURROUNDING MASONRY.
- 32 CAREFULLY REMOVE DOOR AND PORTION OF MASONRY WALL FOR NEW CONSTRUCTION. *SALVAGE ALL DECORATIVE MASONRY AND (TILE BASE*.
- 33 REMOVE OVERHEAD COILING DOOR COMPLETE. 34 REMOVE EXTERIOR WALL SYSTEM FOR NEW ALUMINUM WINDOW SYSTEM. WHERE SMALLER WINDOW EXISTS, REMOVE WINDOW, SALVAGE MARBLE SILL.
- 35 REMOVE EXISTING STOOP. REFER TO CIVIL SHEETS FOR SITE DEMO. 36 REMOVE AND SALVAGE CASEWORK IN ITS ENTIRETY. PATCH AND REPAIR WALL AND
- FLOOR TO ACCEPT NEW FINISHES. REFER TO EQUIPMENT PLANS. 37 EXISTING CASEWORK TO REMAIN.
- 38 REMOVE TALL CABINET SYSTEM COMPLETE. PATCH AND REPAIR WALL AND FLOOR TO RECEIVE NEW FINISHES.



PLAN

UNIT "D" ARCHITECTURAL

SECOND FLOOR DEMOLITION

AD109

41 REMOVE/SAWCUT LAMINATE COUNTERTOP 1" FROM EDGE OF CABINET. PREPARE FOR NEW EDGEBANDING.

43 REMOVE EXISTING PORCELAIN FLOOR FINISHES AND PORCELAIN WALL BASE IN ITS

51 ALTERNATE BID - REMOVE WRESTLING MATS AND ANY OTHER FLOORING. PREPARE 52 ALTERNATE BID — REMOVE ALL WALL PADDING IN ITS ENTIRETY. PREP FOR NEW

54 ALTERNATE - REMOVE EXISTING CEILING PADS AND TEMPORARILY SUSPEND DEVICES TO REMAIN. PREP GRID TO RECEIVE NEW INTERMEDIATE GRID TO CONVERT TO 2x2

GENERAL DEMOLITION NOTES:

- A. FOR GENERAL PROJECT NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC., REFER TO G SERIES SHEETS. UNLESS NOTED OTHERWISE ON THIS SHEET, THE GENERAL CONTRACTOR IS
- RESPONSIBLE FOR ALL DEMO AND REMOVAL WORK INDICATED ON THIS SHEET. CONTRACTORS ENCOUNTERING EXISTING MATERIAL WHICH IS SUSPECTED OF CONTAINING ASBESTOS SHALL STOP WORK IMMEDIATELY AND NOTIFY THE OWNER AND THE OWNERS
 - D. BOLD DASHED LINES INDICATE EXISTING ITEMS TO BE REMOVED UNLESS OTHERWISE NOTED. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE EXTENT OF DEMOLITION WORK PRIOR TO BIDDING AND FOR COORDINATING THE EXTENT OF DEMOLITION WITH THE INSTALLATION OF NEW SYSTEMS.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION APPLICABLE TO THEIR SCOPE OF WORK AND AS REQUIRED FOR INSTALLATION OF NEW WORK WHETHER OR NOT IT IS SPECIFICALLY INDICATED OR NOTED IN THESE DOCUMENTS. REMOVE ALL ITEMS AND FINISHES MADE OBSOLETE BY NEW CONSTRUCTION. VERIFY ITEMS DEEMED OBSOLETE WITH ARCHITECT PRIOR TO REMOVAL. REFER TO NEW CONSTRUCTION DRAWINGS FOR DEMOLITION REQUIRED NOT SHOWN ON DEMOLITION
 - EACH CONTRACTOR SHALL BE RESPONSIBLE FOR OFF SITE REMOVAL OF ALL DEMOLITION MATERIALS AND/OR ITEMS UNLESS NOTED OTHERWISE OR DIRECTED BY
- H. PRIOR TO STARTING DEMOLITION, CONSTRUCT DUST CONTROL BARRIERS AS REQUIRED TO PREVENT THE SPREAD OF DUST INTO SURROUNDING AREAS (WHERE APPLICABLE).
- I. WHERE BUILDING EGRESS IS REQUIRED TO PASS THROUGH DEMOLITION, CONSTRUCTION, AND NEW CONSTRUCTION AREAS, PROVIDE APPROVED BARRIERS, ETC TO ENSURE SAFETY OF THE PUBLIC.
- J. RELOCATED ITEMS SHALL BE CLEANED AND PLACED IN STORAGE, PER OWNERS' DIRECTION, UNTIL ITEMS ARE READY TO BE INSTALLED. IF ITEMS ARE DAMAGED DURING DEMOLITION OR RELOCATION, THEY SHALL BE REPAIRED OR REPLACED WITH NEW ITEMS AS APPROVED.

L. EACH CONTRACTOR IS RESPONSIBLE FOR CUTTING, PATCHING, AND DISCONNECTION OF

- K. DEMOLITION SHALL BE PERFORMED WITHOUT DAMAGE TO EXISTING CONSTRUCTION TO REMAIN. WHERE SUCH DAMAGE OCCURS, PATCH, REPAIR, OR RESTORE WALLS, FLOORS, CEILING, ETC. NEATLY TO MATCH EXISTING ADJACENT SURFACE. PROVIDE SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING STRUCTURES.
- ITEMS APPLICABLE TO THEIR SCOPE OF WORK. WHERE EXISTING SERVICES ARE ABANDONED, CAP AT LEAST 1" BEHIND NEW FINISHES AND/OR EXISTING SURFACE AND IMPROVEMENTS PATCH TO RECEIVE NEW FINISHES OR MATCH EXISTING FINISH. M. ON WALLS THAT ARE TO RECEIVE NEW FINISHES, REMOVE AND REINSTALL EXISTING
- EQUIPMENT TO REMAIN FOR INSTALLATION OF NEW FINISHES. N. WHERE WALLS OR BULKHEADS ARE REMOVED, PATCH FLOORS, CEILINGS, AND ADJACENT WALLS AS REQUIRED TO MATCH EXISTING OR RECEIVE NEW FINISHES WHERE APPLICABLE. WHERE EXISTING DUCTWORK, PIPING, OR EQUIPMENT IS REMOVED, PATCH OPENINGS AND/OR SURFACES TO MATCH ADJACENT SURFACES OR RECEIVE NEW FINISHES WHERE APPLICABLE. REFER TO ALL DEMOLITION DRAWINGS FOR EXTENT OF
- O. OVER CUT NEW OPENINGS IN EXISTING WALL FOR NEW CONSTRUCTION. PATCH AND REPAIR WALLS TO MATCH EXISTING. WHERE APPLICABLE, TOOTH NEW MASONRY INTO
- P. ALL EQUIPMENT AND FURNITURE WHICH ARE CONSIDERED LOOSE FURNISHING SHALL BE REMOVED BY THE OWNER PRIOR TO DEMOLITION.
- Q. MASONRY WALLS TO BE REMOVED SHALL BE REMOVED TO A POINT 2" MINIMUM BELOW THE EXISTING FLOOR SLAB UNLESS SETTING ON A SLAB OR SPECIFICALLY NOTED OTHERWISE. PATCH WITH NEW CONCRETE TO BE FLUSH WITH THE EXISTING
- R. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR GENERAL REVIEW OF DEMOLITION NOTES AND GENERAL DEMOLITION NOTES AS THEY APPLY TO THEIR SCOPE OF WORK. S. THE OWNER RESERVES THE RIGHT TO CLAIM ANY MATERIALS THAT ARE BEING
- DEMOLISHED PRIOR TO THE CONTRACTOR DISPOSING OF THEM OFF SITE. T. REFER TO THE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND TECHNOLOGY
- DOCUMENTS FOR COMPLETE SCOPE OF DEMOLITION WORK. U. "FLOORING" DENOTES FLOOR COVERING MATERIALS INCLUDING BACKING, ADHESIVES,
- AND BASES DOWN TO BUT EXCLUSIVE OF FLOOR SLABS AND STRUCTURAL MATERIALS UNLESS NOTED OTHERWISE. V. DEMOLITION IS TO FOLLOW ESTABLISHED CONSTRUCTION SEQUENCE. REFER TO
- SPECIFICATIONS AND DRAWINGS FOR REQUIREMENTS AND SPECIAL CONDITIONS. W. WHERE APPLICABLE SALVAGE EXISTING MASONRY (FACE BRICK, GLAZED CMU, FACING
- TILE) AS REQUIRED FOR PATCHING AND INFILL IN RENOVATED AREAS WHERE INDICATED DISCARD UNUSED PORTION OFF SITE.
- X. REFER TO STRUCTURAL SHEETS FOR NEW LINTELS IN OPENINGS CREATED IN EXISTING MASONRY WALLS

DEMOLITION PLAN NOTES: (ALL PLAN NOTES MAY NOT BE INDICATED ON THIS SHEET.)

ITEMS TO REMOVED.

- 1 REMOVE EXISTING FLOOR FINISHES AND WALL BASE IN ITS ENTIRETY. PREP FOR NEW
- 2 REMOVE MARKERBOARD/ TACKBOARD/ CHALKBOARD IN ITS ENTIRETY, PREP WALL FOR NEW FINISHES.
- 3 REMOVE METAL STUD WALL. PATCH AND REPAIR ADJACENT FLOOR AND WALL TO ACCEPT NEW FINISHES.
- 4 REMOVE MASONRY WALL. PATCH AND REPAIR ADJACENT FLOOR AND WALL TO ACCEPT NEW FINISHES.
- 5 REMOVE BASE CABINETS AND COUNTERTOP SYSTEM COMPLETE. PATCH AND REPAIR WALL AND FLOOR TO RECEIVE NEW FINISHES.
- 6 REMOVE WALL CABINET SYSTEM COMPLETE. PATCH AND REPAIR WALL AND FLOOR TO RECEIVE NEW FINISHES.
- 7 REMOVE SHELVING SYSTEM IN ITS ENTIRETY. PATCH AND REPAIR WALL AND FLOOR TO RECEIVE NEW FINISHES.
- 8 REMOVE PORTION OF WALL FOR NEW CONSTRUCTION
- 9 REMOVE EXISTING MILLWORK SYSTEM IN ITS ENTIRETY. PATCH AND REPAIR WALL AND
- 10 REMOVE EXISTING TECTUM WALL FINISH FROM EXISTING CMU WALLS. 11 REMOVE MOUNTED PROJECTOR/ SPEAKER ASSEMBLY IN ITS ENTIRETY.
- 12 REMOVE TECHNOLOGY ASSEMBLIES. REFER TO TECHNOLOGY AND MEP DRAWINGS FOR ADDITIONAL INFORMATION. 13 REMOVE ACOUSTICAL CEILING SYSTEM AND DEVICES THEREIN.
- 14 REMOVE EXISTING GYPSUM CEILING SYSTEM / BULKHEADS IN ITS ENTIRETY.
- 15 REMOVE EXISTING VCT FLOOR FINISH AND TRANSITIONS. PREP FOR NEW FINISHES. 16 REMOVE TELESCOPING BLEACHER SYSTEM COMPLETE. 17 REMOVE AND SALVAGE EXISTING KILN AND HOOD IN ITS ENTIRETY. INSTALL
- INSULATED PANEL BEHIND EXTERIOR WALL LOUVER WATER TIGHT. INSULATED PANEL BEHIND EXTERIOR WALL LOUVER WATER TIGHT.

 THE CONCEPTS, DESIGNS, PLANS, DETAILS, ETC, SHOWN ON THIS DOCUMENT ARE THE PROPERTY OF GIBRALTAR DESIGN AND WERE CREATED FOR USE ON THIS SPECIFIC PROJECT. NONE OF THIS INFORMATION SHALL BE USED BY ANY PERSON OR FIRM WALL AND FLOOR TO RECEIVE NEW FINISHES.
- 19 REMOVE METAL DOOR AND GLAZING ASSEMBLY, AND PERIMETER STUD WALL CONSTRUCTION UP TO MASONRY WALL. PATCH WALL AND FLOOR TO RECEIVE NE
- 20 REMOVE TV ASSEMBLY COMPLETE. PATCH AND REPAIR WALL TO RECEIVE NEW
- 21 REMOVE EXISTING DOOR, FRAME AND HARDWARE SYSTEM IN ITS ENTIRETY. 22 REMOVE EXISTING HOLLOW METAL FRAME AND GLAZING COMPLETE.
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- 25 REMOVE EXISTING BASE CABINETS, WALL CABINETS AND PLUMBING FIXTURES COMPLETE. CUT AND CAP LINE BELOW WALL OR FLOOR SURFACE. UNLESS OTHERWISE NOTED ON PLUMBING DRAWINGS, PATCH AND REPAIR FLOOR AND/
- WALL TO ACCEPT NEW FINISHES. 26 REMOVE EXISTING DOOR, FRAME AND HARDWARE SYSTEM COMPLETE. PREP WAI
- RECEIVE CONSTRUCTION.
- 27 EXISTING MASONRY VENEER WALL TO REMAIN. CAREFULLY PATCH AND REPAIR DAMAGE TO RETURN TO LIKE NEW CONDITION. 28 REMOVE CEILING PADS. CLEAN GRID.
- 29 MODIFY EXISTING SINK AND DRAIN ASSEMBLY TO PROVIDE PLASTER TRAPS. REF TO PLUMBING DRAWINGS FOR ADDITIONAL INFO.
- 30 EXISTING LAY-IN CEILING GRID AND SUSPENSION SYSTEM TO REMAIN. MODIFY ACCOMMODATE NEW MEP, FP, AND TECH AT AND ABOVE CEILING. REINSTALL ASSEMBLIES TO RETURN TO LIKE NEW CONDITION. SALVAGE CEILING PADS FOR REINSTALL.
- 31 REMOVE EXISTING BUILDING LETTERING FROM MASONRY VENEER. PATCH WITH EPOXY $^{-1}$ FILLER TO MATCH SURROUNDING MASONRY.
- 32 CAREFULLY REMOVE DOOR AND PORTION OF MASONRY WALL FOR NEW CONSTRUCTION. *SALVAGE ALL DECORATIVE MASONRY AND (TILE BASE*. 33 REMOVE OVERHEAD COILING DOOR COMPLETE.
 - 34 REMOVE EXTERIOR WALL SYSTEM FOR NEW ALUMINUM WINDOW SYSTEM. WHERE SMALLER WINDOW EXISTS, REMOVE WINDOW, SALVAGE MARBLE SILL. 35 REMOVE EXISTING STOOP. REFER TO CIVIL SHEETS FOR SITE DEMO.
- 36 REMOVE AND SALVAGE CASEWORK IN ITS ENTIRETY. PATCH AND REPAIR WALL AND FLOOR TO ACCEPT NEW FINISHES. REFER TO EQUIPMENT PLANS.
- 37 EXISTING CASEWORK TO REMAIN.
- 38 REMOVE TALL CABINET SYSTEM COMPLETE. PATCH AND REPAIR WALL AND FLOOR TO RECEIVE NEW FINISHES.

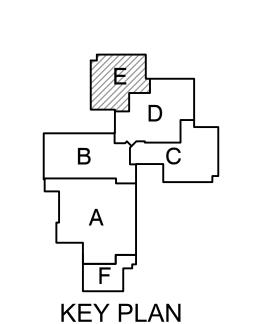
39 EXISTING REFRIGERATOR TO BE REMOVED BY OWNER. 40 REMOVE CEILING TILE. GRID TO REMAIN. REWORK FOR NEW EXHAUST HOOD.

GIBRALTAR

DESIGN ARCHITECTURE • ENGINEERING • INTERIOR DESIGN

GRADE 5-8

TRI-CREEK SCHOOL CORPORATION



GIBRALTAR DESIGN

lomepage www.GibraltarDesign.com Email info@GibraltarDesign.com Phone 317.580.5777 Fax 317.580.5778

~	23-108 DATE 8/11/23 COORDINATED BY EJM	ND. STATE OF ARCHITECT ARCHITE
	DRAWN BY JKF CJA	STATE OF MALEUMAN AND LANGUAGE
	CHECKED BY JPB	beech . Dr

IEW	FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN CONSOF GIBRALTAR DESIGN. THE OWNER MAY RETAIN COPIES INFORMATION AND REFERENCE IN CONNECTION ONLY WITH PROJECT.			
	REVISIONS			
	MARK	DATE	ISSUED FOR	
	AD-2	09/07/23	ADDENDUM 2	

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UNIT "E" ARCHITECTURAL

PLAN

LOWELL MIDDLE SCHOOL- GRADE 5-8 IMPROVEMENTS

SECOND FLOOR DEMOLITION

GIBRALTAR DESIGN SHEET AD110

UNIT "E" ARCHITECTURAL SECOND FLOOR DEMOLITION PLAN SCALE: 1/8" = 1'-0"

(247)

EXTEND LEARNING

CLASSROOM

TEACHER PREP

(254)

(239)

RESOURCE

E-213 54

(240B)

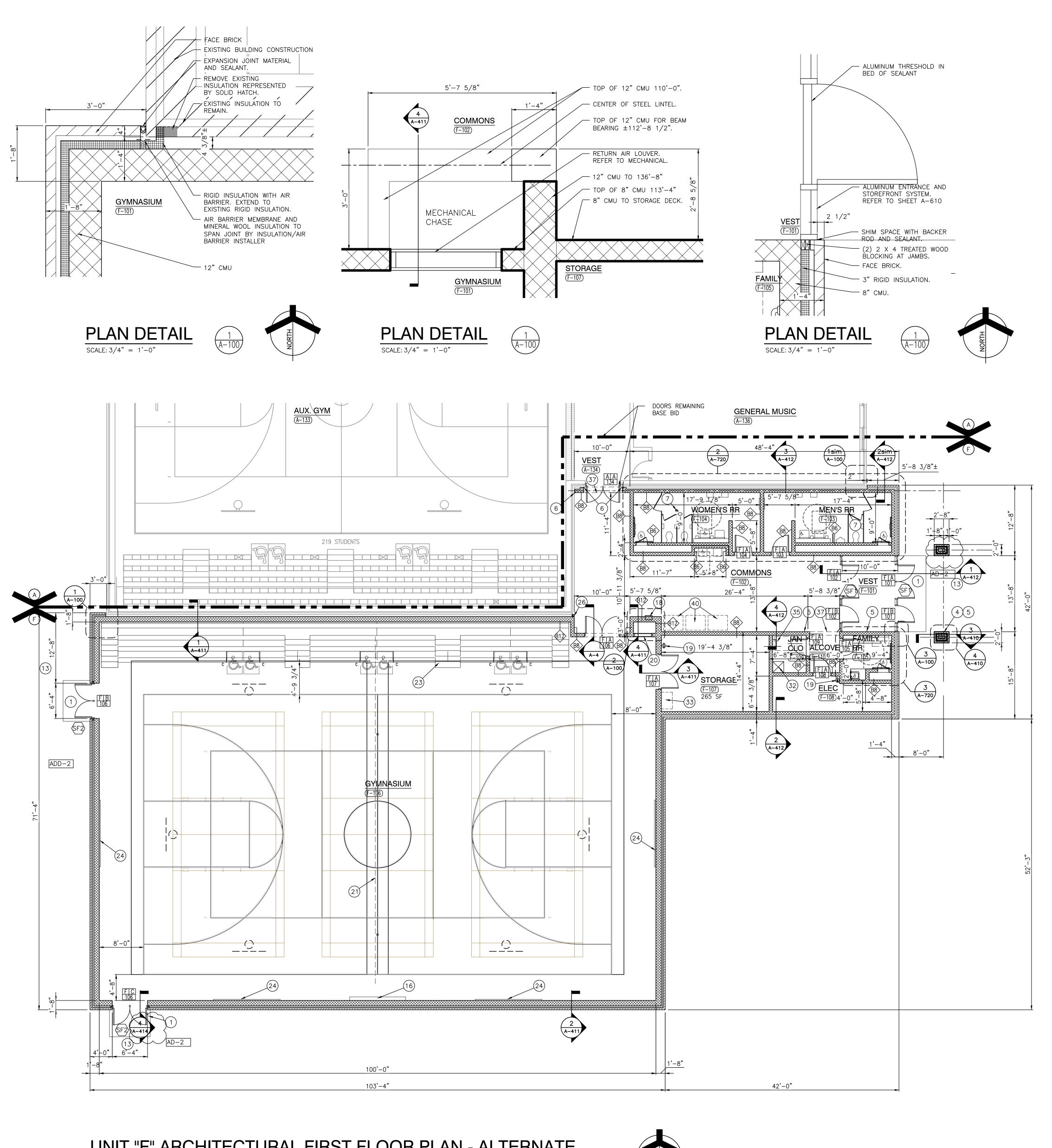
E-205

CLASSROOM E-204

E-203

RESOURCE

(240A)



UNIT "F" ARCHITECTURAL FIRST FLOOR PLAN - ALTERNATE



GENERAL PLAN NOTES:

NOTED OTHERWISE.

CMU UNLESS NOTED OTHERWISE.

- A. FOR GENERAL PROJECT NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC., REFER TO GI SERIES SHEETS.
- B. PLAN DIMENSIONS TO MASONRY WALLS ARE TO FACE OF ROUGH MASONRY. PLAN DIMENSIONS TO STUD WALLS ARE TO FACE OF FINISHED GYPSUM BOARD OR PLASTER. PLAN DIMENSIONS TO STUD WALLS WITH CERAMIC TILE
- FINISH ARE TO THE FACE OF TILE BACKER BOARD. C. ALL CMU WALLS THAT DO NOT LAY OUT IN FULL OR HALF LENGTHS SHOULD BE BALANCED SO AS NOT TO HAVE ANY PIECES LESS THAN 4" IN SIZE EXPOSED TO VIEW.
- D. MASONRY WALLS BEARING ON A THICKENED SLAB AT SLAB DEPRESSIONS REQUIRE CUT MASONRY UNITS SO THAT COURSING BEGINS AT THE FLOOR
- E. THE BASE FIRST FLOOR ELEVATION INDICATED FOR THE PROJECT IS
- 100'-0". REFER TO SITE PLAN FOR CORRELATION TO USGS DATUM. F. HINGE SIDE OF DOOR JAMB AT CMU WALLS SHALL BE LOCATED 8" MINIMUM GIBRALTAR FROM ADJACENT WALL AND HINGE SIDE OF DOOR JAMB AT GYPSUM BOARD WALLS SHALL BE LOCATED 4" MINIMUM FROM ADJACENT WALL UNLESS
- G. PROVIDE WOOD BLOCKING (OR METAL STRAPPING WHERE APPLICABLE) WITHIN METAL STUD WALLS FOR WALL MOUNTED ITEMS.
- H. REFER TO LIFE SAFETY PLANS REGARDING FIRE RATED WALL LOCATIONS AND OTHER CODE INFORMATION.
- I. INTERIOR CMU WALLS ARE TO BE RUNNING BOND UNLESS NOTED
- OTHERWISE. J. WHERE NEW CMU WALLS INTERSECT EXISTING CMU WALLS AT A CORNER OR ARE ALIGNED WITH EXISTING CMU WALLS, TOOTH NEW CMU INTO EXISTING
- K. REFER TO FINISH PLANS FOR LOCATION AND EXTENT OF FINISHED FLOOR AND WALL MATERIAL.
- L. ALL EXPOSED CONCRETE MASONRY UNITS (CMU) CORNERS ARE TO BE BULLNOSED, EXCEPT AT MASONRY BULKHEADS AND EXTERIOR WINDOW
- M. REFER TO DEMOLITION SHEETS FOR ADDITIONAL PATCHING AND REPAIR

PLAN LEGEND:

INDICATES STOREFRONT, CURTAIN WALL, OR WINDOW SYSTEM. REFER TO A-600 SERIES SHEETS FOR ELEVATIONS AND DETAILS. INDICATES WALL TYPES REFER TO A-501 FOR WALL THICKNESS, HEIGHT, AND COMPOSITION.

- **PLAN NOTES:** (ALL PLAN NOTES MAY NOT BE INDICATED ON THIS SHEET.)
- (2) PATCH FLOOR, SKIM COAT FOR NEW FINISHES.
- (3) CASEWORK / MILLWORK / AND OR COUNTERTOP (TYPICAL), REFER TO EQUIPMENT PLANS.
- (4) CARD READER, REFER TO ELECTRICAL/TECHNOLOGY SHEETS.
- (5) PUSH PAD FOR ADA OPERATOR, REFER TO ELECTRICAL SHEETS..
- (6) EXPANSION JOINT COVER.

(1) CONCRETE STOOP/VOID SLAB.

- 7) FLOOR DRAIN, REFER TO PLUMBING SHEETS.
- (8) PATCH WALLS. PREPARE WALLS AND FRAMES FOR NEW FINISHES.
- (9) WHERE DOOR FRAME HAS BEEN REMOVED, INFILL WALL TO MATCH EXISTING ADJACENT WALL SURFACES, TOOTH IN CMU (TYPICAL).
- (10) WHERE CONNECTING WALL HAS BEEN REMOVED, PATCH WALL TO MATCH EXISTING ADJACENT WALL SURFACES (TYPICAL)
- (11) TOOTH IN CMU INTO NEW OPENING TO MATCH ADJACENT MASONRY
- SURFACES.
- (12) NEW LOCKERS. REFER TO EQUIPMENT PLANS.
- (13) NEW CONCRETE SIDEWALK SLAB.
- (14) DASHED LINE INDICATES TYPICAL BULKHEAD, REFER TO SECTIONS AND REFLECTED CEILING PLANS. (ALL BULKHEADS ARE NOT INDICATED ON THIS
- (15) EXISTING LOCKERS TO REMAIN. PROTECT DURING CONSTRUCTION.
- (16) SCOREBOARD. REFER TO ELECTRICAL.
- (17) DISPLAY BOARD/TV MONITOR, REFER TO EQUIPMENT PLANS.
- (18) SEMI-RECESSED FIRE EXTINGUISHER CABINET. REFER TO SHEET A-501. (19) SURFACE MOUNTED FIRE EXTINGUISHER
- (20) MECHANICAL LOUVER. REFER TO MECHANICAL SHEETS AND SHEET A-501.
- (21) GYM DIVIDER CURTAIN. (22) MAT LIFTER SUPPORTED ON EXISTING JOISTS. REFER TO STRUCTURAL DRAWINGS FOR JOIST REINFORCEMENT. REFER TO ELECTRICAL CENTER ON
- (23) MOTOR OPERATED BLEACHERS. REFER TO EQUIPMENT PLAN AND
- (24) 6'-0"H ATHLETIC WALL PROTECTION PADDING. REFER TO SHEET A-501.
- (25) CASEWORK RELOCATED FROM E-120 SHEET AD-105. (26) 2" EXPANSION JOINT MATERIAL AND ALUMINUM PLATE.
- 27) COMPOSITE ALUMINUM WALL PANELS ON EXISTING MASONRY WALL. REFER
- (28) DECORATIVE ALUMINUM RAIL. REFER TO SECTION SHEET AND 6/A-412.
- (29) COMPOSITE ALUMINUM WALL PANEL ABOVE.
- 30 CASEWORK RELOCATED FROM D-119 SHEET AD-105. AD-2
- (31) CASEWORK RELOCATED FROM D-204 SHEET AD-109.
- (32) MOP SINK. REFER TO PLUMBING.
- (33) SOUND SYSTEM. REFER TO ELECTRICAL. (34) MODIFY MASONRY WALL FOR THROUGH WALL DROP BOX.
- (35) METAL LADDER TO ROOF HATCH
- (36) PROVIDE NEW EDGE BANDING WHERE LAMINATE TOP WAS CUT. MATCH
- EXISTING FINISH. $(\overline{37})$ DASHED LINES INDICATE BOND BEAM LINTEL ABOVE AT 8'-8" PAINT. (38) LAMINATE 5/8" GYPSUM BOARD TO EXISTING WALL.

AD-2 PLAN NOTES Owner Furnished and Installed

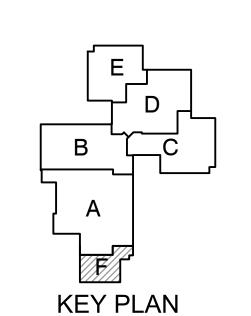
(ALL PLAN NOTES MAY NOT BE INDICATED ON THIS SHEET.) (40) VENDING MACHINES (41) REFRIGERATOR

DESIGN

LOWELL MIDDLE SCHOOL-GRADE 5-8 **IMPROVEMENTS**

ARCHITECTURE • ENGINEERING • INTERIOR DESIGN

TRI-CREEK SCHOOL CORPORATION



GIBRALTAR DESIGN

Homepage www.GibraltarDesign.com

Email info@GibraltarDesign.com Phone 317.580.5777 Fax 317.580.5778

COORDINATED B 11600109 STATE OF DRAWN BY JKF CJA CHECKED BY

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REVIS	IONS					
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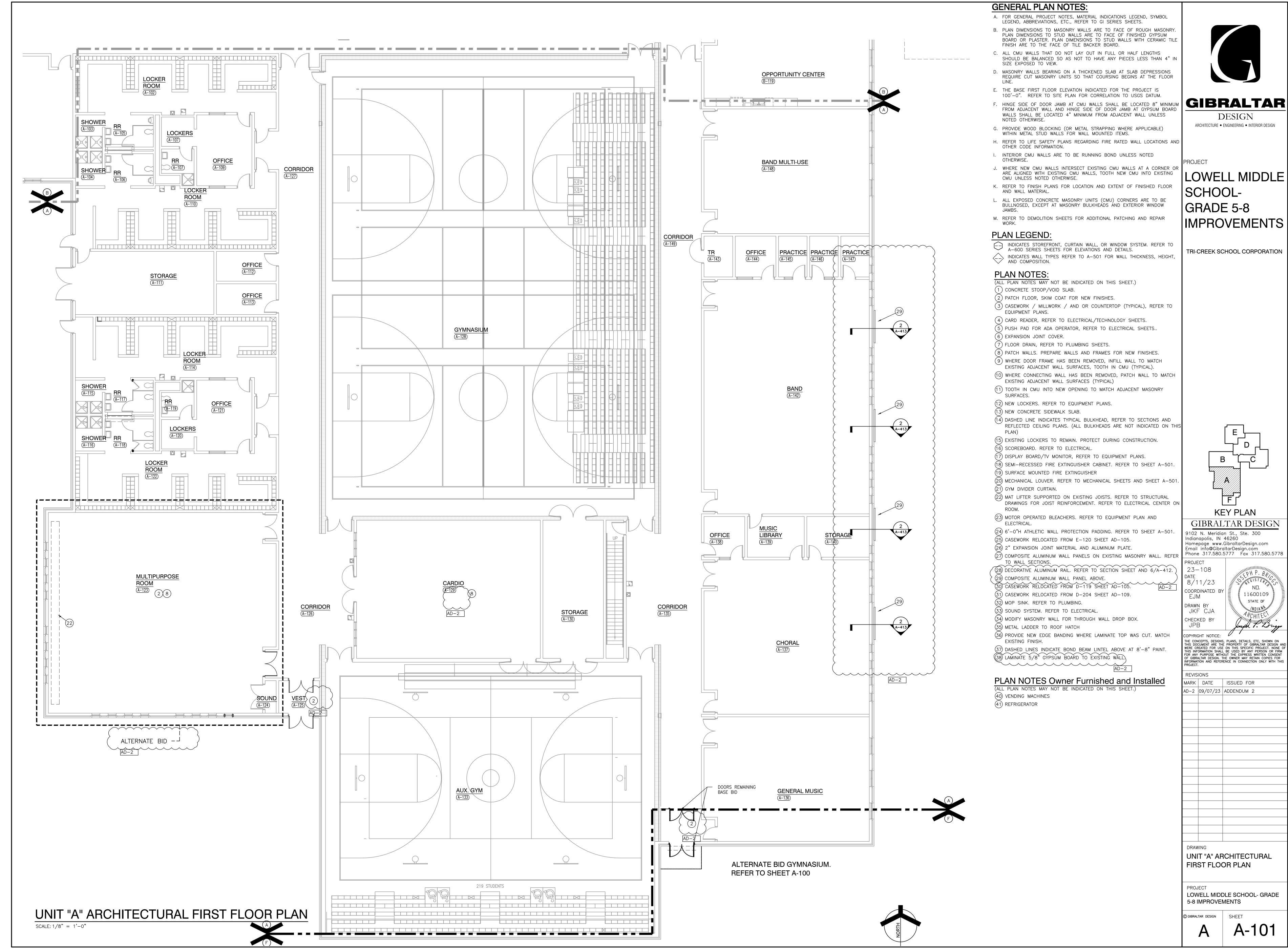
AD-2 |09/07/23|ADDENDUM 2

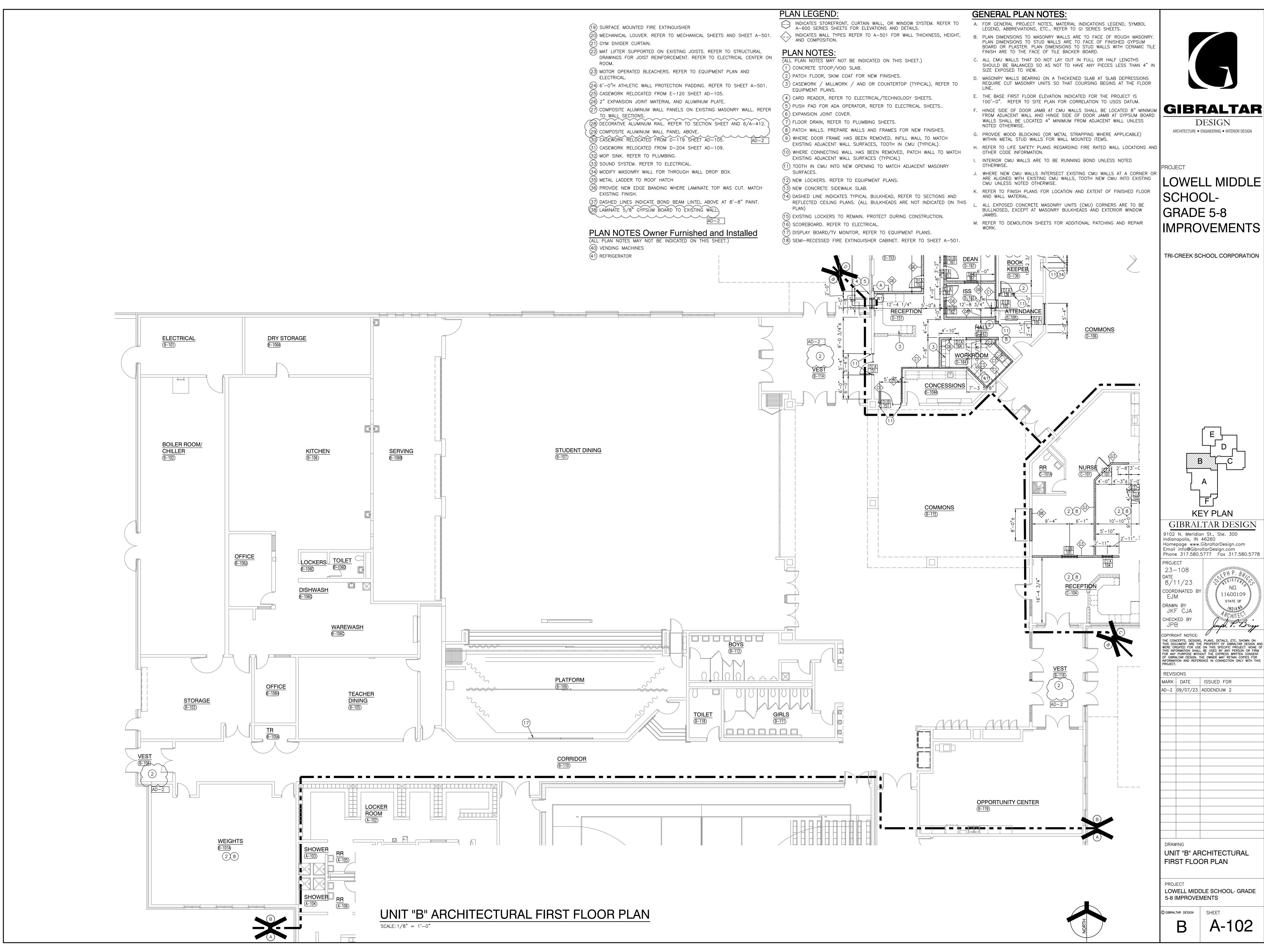
UNIT "F" ARCHITECTURAL FIRST FLOOR PLAN

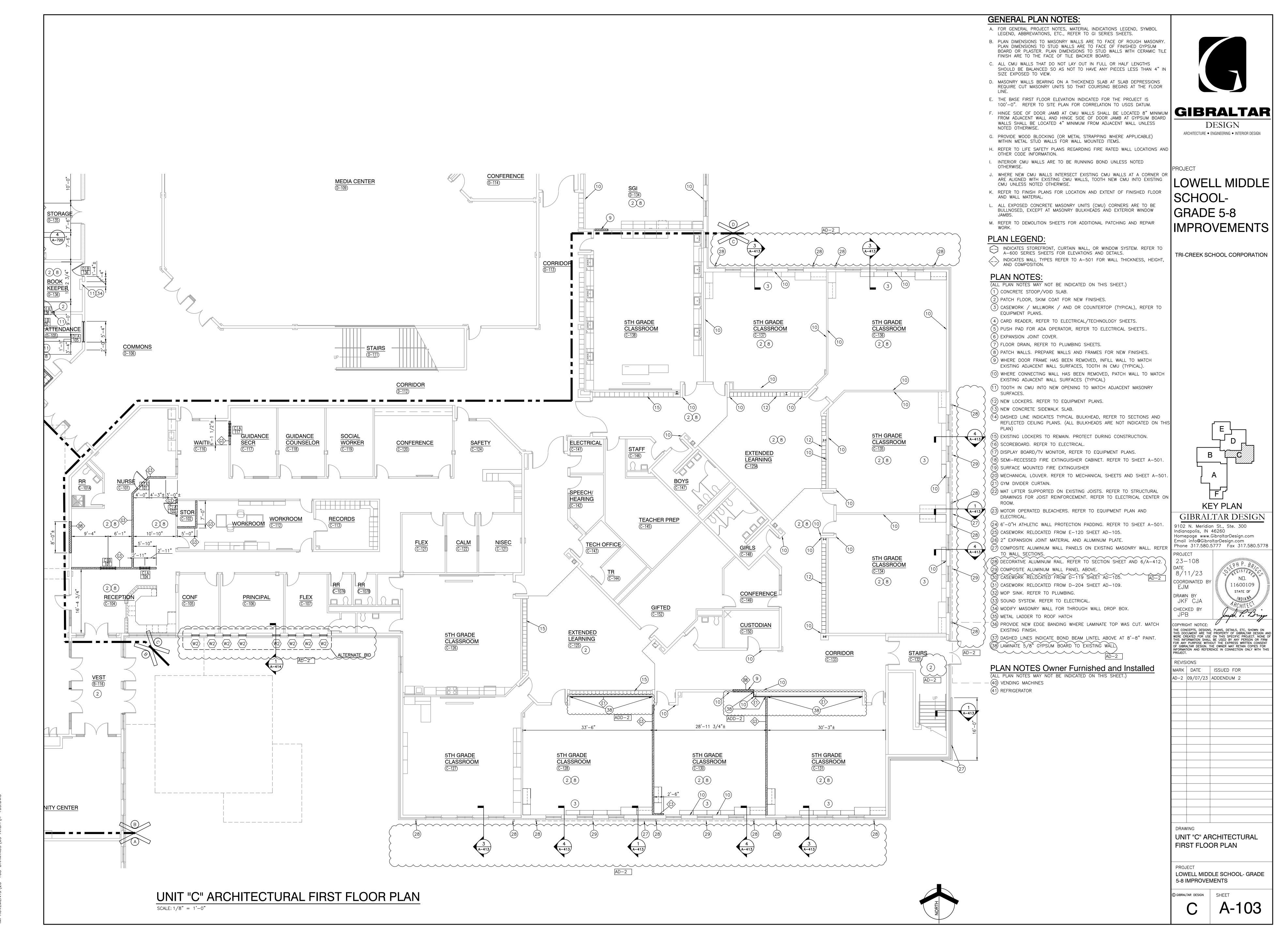
LOWELL MIDDLE SCHOOL- GRADE 5-8 IMPROVEMENTS

A-100

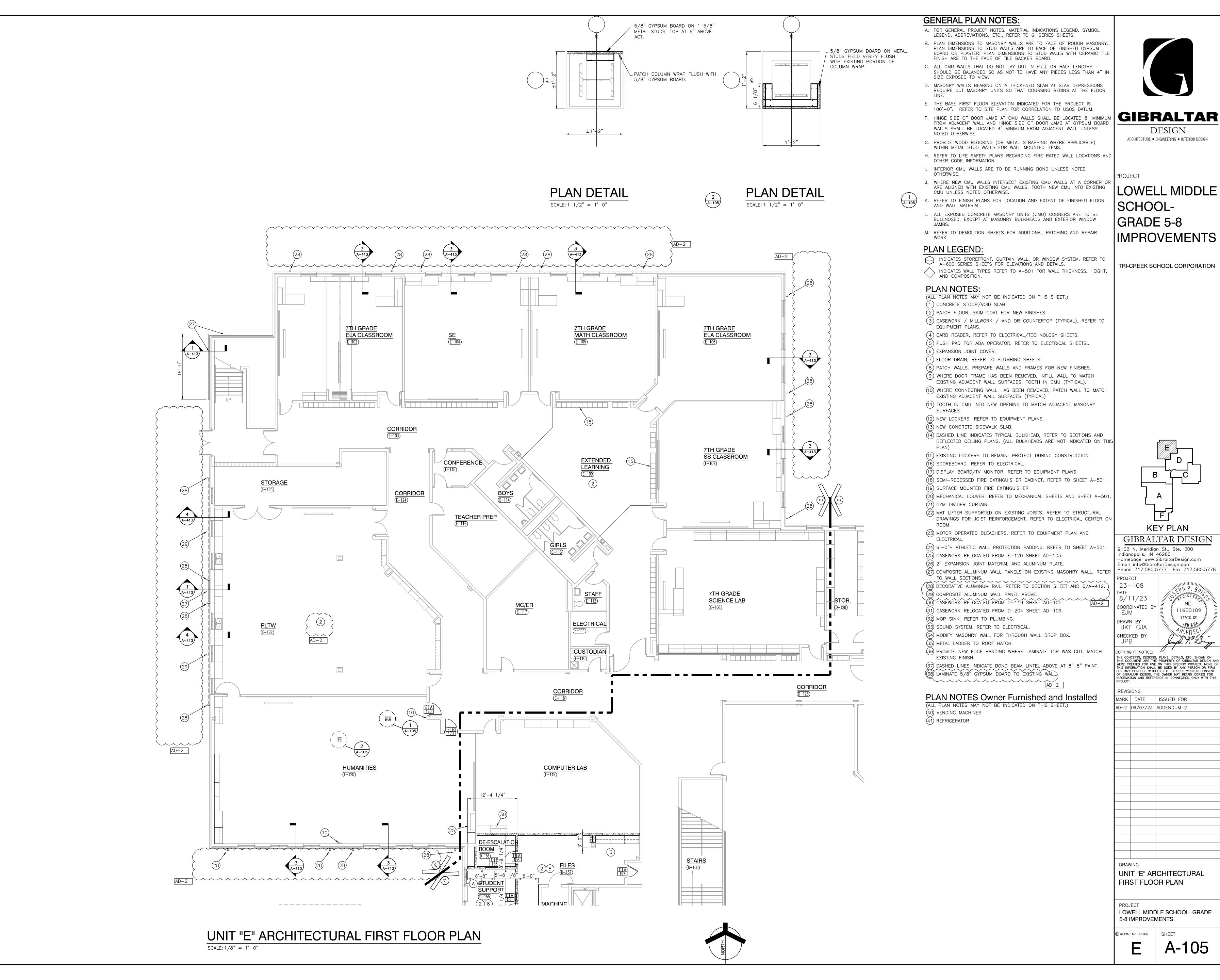








Y:\23-108 TRI-CREEK SC - LOWELL MS 5-8
MDROVEMENTS\23-108 DRAWINGS\05 ARCH\4-103 DWG

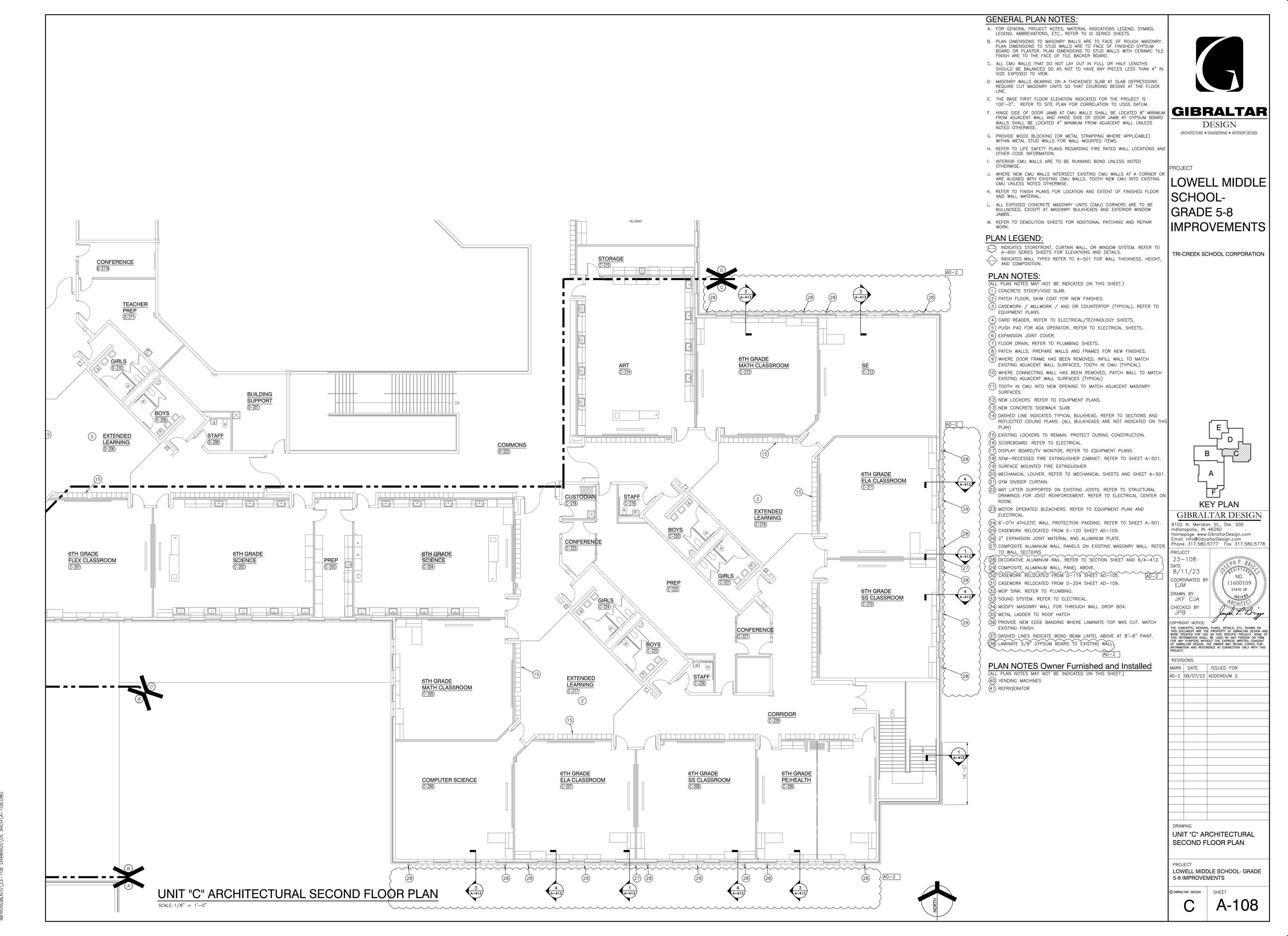


KEY PLAN

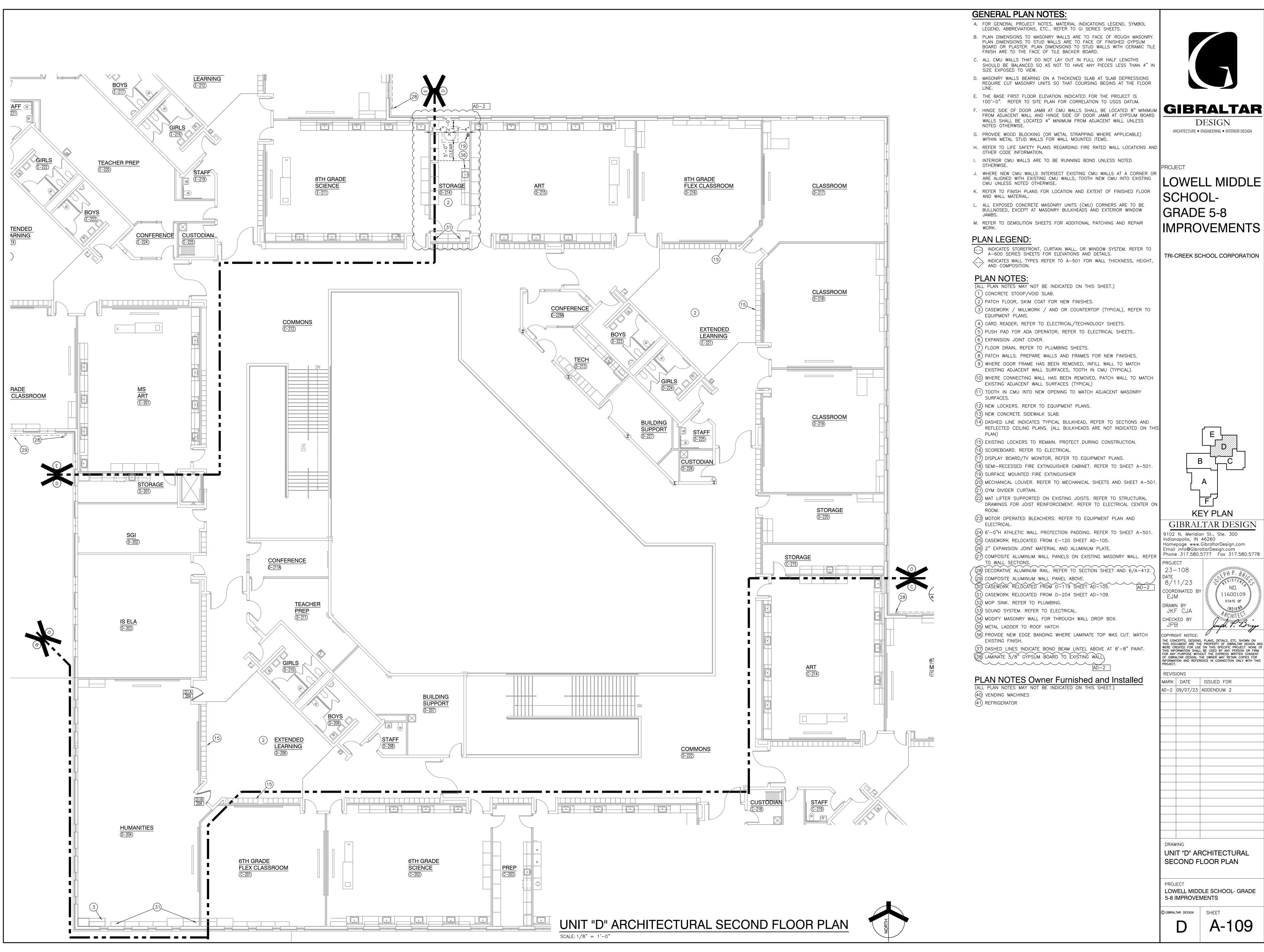
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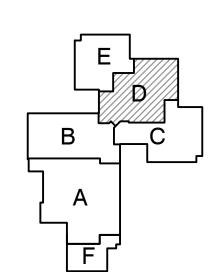
Friday, 9/8/2023 - 1:25 AM - LASI SAVED BY:CAL Y:\23-108 TRI-CREEK SC - LOWELL MS 5-8



DESIGN

LOWELL MIDDLE SCHOOL-GRADE 5-8 **IMPROVEMENTS**

TRI-CREEK SCHOOL CORPORATION



KEY PLAN GIBRALTAR DESIGN 9102 N. Meridian St., Ste. 300

Indianapolis, IN 46260 Homepage www.GibraltarDesign.com Email info@GibraltarDesign.com Phone 317.580.5777 Fax 317.580.5778

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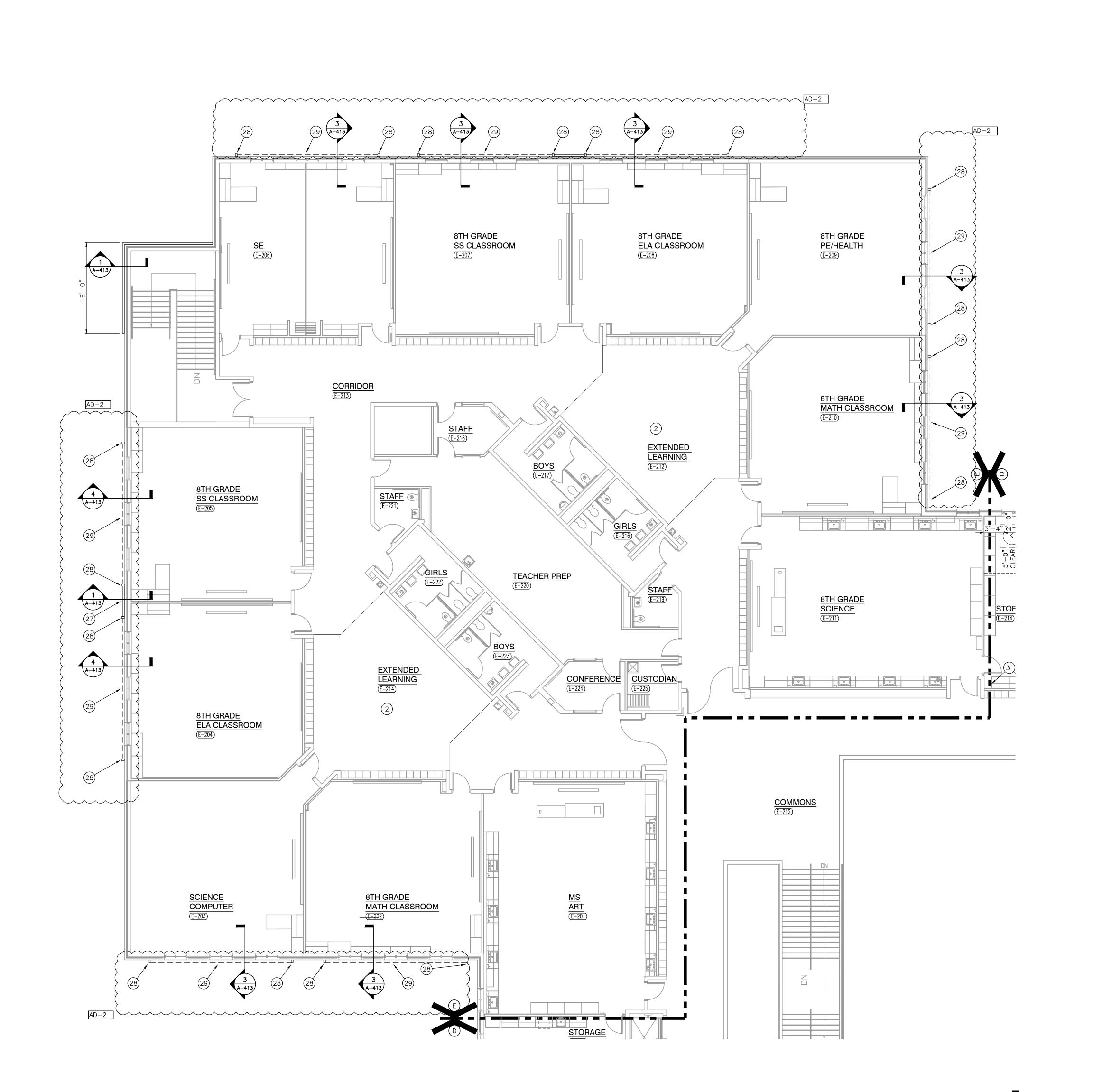
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MARK DATE ISSUED FOR AD-2 09/07/23 ADDENDUM 2

UNIT "D" ARCHITECTURAL SECOND FLOOR PLAN

LOWELL MIDDLE SCHOOL- GRADE 5-8 IMPROVEMENTS

A-109



GENERAL PLAN NOTES:

NOTED OTHERWISE.

- A. FOR GENERAL PROJECT NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC., REFER TO GI SERIES SHEETS.
- B. PLAN DIMENSIONS TO MASONRY WALLS ARE TO FACE OF ROUGH MASONRY. PLAN DIMENSIONS TO STUD WALLS ARE TO FACE OF FINISHED GYPSUM BOARD OR PLASTER. PLAN DIMENSIONS TO STUD WALLS WITH CERAMIC TILE
- FINISH ARE TO THE FACE OF TILE BACKER BOARD. C. ALL CMU WALLS THAT DO NOT LAY OUT IN FULL OR HALF LENGTHS SHOULD BE BALANCED SO AS NOT TO HAVE ANY PIECES LESS THAN 4" IN SIZE EXPOSED TO VIEW.
- D. MASONRY WALLS BEARING ON A THICKENED SLAB AT SLAB DEPRESSIONS REQUIRE CUT MASONRY UNITS SO THAT COURSING BEGINS AT THE FLOOR
- E. THE BASE FIRST FLOOR ELEVATION INDICATED FOR THE PROJECT IS
- 100'-0". REFER TO SITE PLAN FOR CORRELATION TO USGS DATUM. F. HINGE SIDE OF DOOR JAMB AT CMU WALLS SHALL BE LOCATED 8" MINIMUM GIBRALTAR FROM ADJACENT WALL AND HINGE SIDE OF DOOR JAMB AT GYPSUM BOARD WALLS SHALL BE LOCATED 4" MINIMUM FROM ADJACENT WALL UNLESS
- G. PROVIDE WOOD BLOCKING (OR METAL STRAPPING WHERE APPLICABLE) WITHIN METAL STUD WALLS FOR WALL MOUNTED ITEMS.
- H. REFER TO LIFE SAFETY PLANS REGARDING FIRE RATED WALL LOCATIONS AND OTHER CODE INFORMATION.
- I. INTERIOR CMU WALLS ARE TO BE RUNNING BOND UNLESS NOTED
- OTHERWISE. J. WHERE NEW CMU WALLS INTERSECT EXISTING CMU WALLS AT A CORNER OR

ARE ALIGNED WITH EXISTING CMU WALLS, TOOTH NEW CMU INTO EXISTING

- CMU UNLESS NOTED OTHERWISE. K. REFER TO FINISH PLANS FOR LOCATION AND EXTENT OF FINISHED FLOOR
- L. ALL EXPOSED CONCRETE MASONRY UNITS (CMU) CORNERS ARE TO BE BULLNOSED, EXCEPT AT MASONRY BULKHEADS AND EXTERIOR WINDOW
- M. REFER TO DEMOLITION SHEETS FOR ADDITIONAL PATCHING AND REPAIR

PLAN LEGEND:

AND WALL MATERIAL.

INDICATES STOREFRONT, CURTAIN WALL, OR WINDOW SYSTEM. REFER TO A-600 SERIES SHEETS FOR ELEVATIONS AND DETAILS. INDICATES WALL TYPES REFER TO A-501 FOR WALL THICKNESS, HEIGHT, AND COMPOSITION.

PLAN NOTES: (ALL PLAN NOTES MAY NOT BE INDICATED ON THIS SHEET.) (1) CONCRETE STOOP/VOID SLAB.

(2) PATCH FLOOR, SKIM COAT FOR NEW FINISHES.

(3) CASEWORK / MILLWORK / AND OR COUNTERTOP (TYPICAL), REFER TO EQUIPMENT PLANS.

(4) CARD READER, REFER TO ELECTRICAL/TECHNOLOGY SHEETS. (5) PUSH PAD FOR ADA OPERATOR, REFER TO ELECTRICAL SHEETS..

(6) EXPANSION JOINT COVER.

7) FLOOR DRAIN, REFER TO PLUMBING SHEETS.

(8) PATCH WALLS. PREPARE WALLS AND FRAMES FOR NEW FINISHES.

(9) WHERE DOOR FRAME HAS BEEN REMOVED, INFILL WALL TO MATCH EXISTING ADJACENT WALL SURFACES, TOOTH IN CMU (TYPICAL).

(10) WHERE CONNECTING WALL HAS BEEN REMOVED, PATCH WALL TO MATCH EXISTING ADJACENT WALL SURFACES (TYPICAL)

(11) TOOTH IN CMU INTO NEW OPENING TO MATCH ADJACENT MASONRY SURFACES.

(12) NEW LOCKERS. REFER TO EQUIPMENT PLANS.

(13) NEW CONCRETE SIDEWALK SLAB.

(14) DASHED LINE INDICATES TYPICAL BULKHEAD, REFER TO SECTIONS AND REFLECTED CEILING PLANS. (ALL BULKHEADS ARE NOT INDICATED ON THIS

(15) EXISTING LOCKERS TO REMAIN. PROTECT DURING CONSTRUCTION.

(16) SCOREBOARD. REFER TO ELECTRICAL.

(17) DISPLAY BOARD/TV MONITOR, REFER TO EQUIPMENT PLANS.

(18) SEMI—RECESSED FIRE EXTINGUISHER CABINET. REFER TO SHEET A—501.

(19) SURFACE MOUNTED FIRE EXTINGUISHER 20) MECHANICAL LOUVER. REFER TO MECHANICAL SHEETS AND SHEET A-501.

(21) GYM DIVIDER CURTAIN. (22) MAT LIFTER SUPPORTED ON EXISTING JOISTS. REFER TO STRUCTURAL DRAWINGS FOR JOIST REINFORCEMENT. REFER TO ELECTRICAL CENTER ON

(23) MOTOR OPERATED BLEACHERS. REFER TO EQUIPMENT PLAN AND

(24) 6'-0"H ATHLETIC WALL PROTECTION PADDING. REFER TO SHEET A-501.

25) CASEWORK RELOCATED FROM E-120 SHEET AD-105.

(26) 2" EXPANSION JOINT MATERIAL AND ALUMINUM PLATE.

27) COMPOSITE ALUMINUM WALL PANELS ON EXISTING MASONRY WALL. REFER

TO WALL SECTIONS.

(28) DECORATIVE ALUMINUM RAIL. REFER TO SECTION SHEET AND 6/A-412.

(29) COMPOSITE ALUMINUM WALL PANEL ABOVE. 30) CASEWORK RELOCATED FROM D-119 SHEET AD-105. AD-2

(31) CASEWORK RELOCATED FROM D-204 SHEET AD-109.

(32) MOP SINK. REFER TO PLUMBING.

(33) SOUND SYSTEM. REFER TO ELECTRICAL.

(34) MODIFY MASONRY WALL FOR THROUGH WALL DROP BOX. (35) METAL LADDER TO ROOF HATCH

(36) PROVIDE NEW EDGE BANDING WHERE LAMINATE TOP WAS CUT. MATCH EXISTING FINISH. (37) DASHED LINES INDICATE BOND BEAM LINTEL ABOVE AT 8'-8" PAINT.

(38) LAMINATE 5/8" GYPSUM BOARD TO EXISTING WALL. AD-2 PLAN NOTES Owner Furnished and Installed

(ALL PLAN NOTES MAY NOT BE INDICATED ON THIS SHEET.) (40) VENDING MACHINES

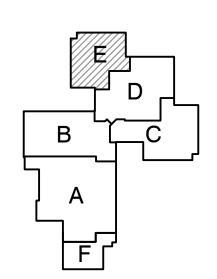
41) REFRIGERATOR



LOWELL MIDDLE SCHOOL-GRADE 5-8 IMPROVEMENTS

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KEY PLAN GIBRALTAR DESIGN

9102 N. Meridian St., Ste. 300 Indianapolis, IN 46260
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AD-2	09/07/23	ADDENDUM 2		

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AD-2	09/07/23	ADDENDUM 2

UNIT "E" ARCHITECTURAL SECOND FLOOR PLAN

LOWELL MIDDLE SCHOOL- GRADE 5-8 IMPROVEMENTS

A-110

UNIT "E" ARCHITECTURAL SECOND FLOOR PLAN SCALE: 1/8" = 1'-0"

GENERAL PLAN NOTES:

NOTED OTHERWISE.

A. FOR GENERAL PROJECT NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC., REFER TO GI SERIES SHEETS.

FINISH ARE TO THE FACE OF TILE BACKER BOARD.

- B. PLAN DIMENSIONS TO MASONRY WALLS ARE TO FACE OF ROUGH MASONRY. PLAN DIMENSIONS TO STUD WALLS ARE TO FACE OF FINISHED GYPSUM BOARD OR PLASTER. PLAN DIMENSIONS TO STUD WALLS WITH CERAMIC TILE
- C. ALL CMU WALLS THAT DO NOT LAY OUT IN FULL OR HALF LENGTHS SHOULD BE BALANCED SO AS NOT TO HAVE ANY PIECES LESS THAN 4" IN SIZE EXPOSED TO VIEW.
- D. MASONRY WALLS BEARING ON A THICKENED SLAB AT SLAB DEPRESSIONS REQUIRE CUT MASONRY UNITS SO THAT COURSING BEGINS AT THE FLOOR
- E. THE BASE FIRST FLOOR ELEVATION INDICATED FOR THE PROJECT IS
- 100'-0". REFER TO SITE PLAN FOR CORRELATION TO USGS DATUM. F. HINGE SIDE OF DOOR JAMB AT CMU WALLS SHALL BE LOCATED 8" MINIMUM GIBRALTAR FROM ADJACENT WALL AND HINGE SIDE OF DOOR JAMB AT GYPSUM BOARD WALLS SHALL BE LOCATED 4" MINIMUM FROM ADJACENT WALL UNLESS
- G. PROVIDE WOOD BLOCKING (OR METAL STRAPPING WHERE APPLICABLE) WITHIN METAL STUD WALLS FOR WALL MOUNTED ITEMS.
- H. REFER TO LIFE SAFETY PLANS REGARDING FIRE RATED WALL LOCATIONS AND OTHER CODE INFORMATION.
- I. INTERIOR CMU WALLS ARE TO BE RUNNING BOND UNLESS NOTED
- OTHERWISE.
- ARE ALIGNED WITH EXISTING CMU WALLS, TOOTH NEW CMU INTO EXISTING CMU UNLESS NOTED OTHERWISE.

K. REFER TO FINISH PLANS FOR LOCATION AND EXTENT OF FINISHED FLOOR

J. WHERE NEW CMU WALLS INTERSECT EXISTING CMU WALLS AT A CORNER OR

- AND WALL MATERIAL. L. ALL EXPOSED CONCRETE MASONRY UNITS (CMU) CORNERS ARE TO BE BULLNOSED, EXCEPT AT MASONRY BULKHEADS AND EXTERIOR WINDOW
- M. REFER TO DEMOLITION SHEETS FOR ADDITIONAL PATCHING AND REPAIR

PLAN LEGEND:

PLAN NOTES:

INDICATES STOREFRONT, CURTAIN WALL, OR WINDOW SYSTEM. REFER TO A-600 SERIES SHEETS FOR ELEVATIONS AND DETAILS. INDICATES WALL TYPES REFER TO A-501 FOR WALL THICKNESS, HEIGHT, AND COMPOSITION.

(ALL PLAN NOTES MAY NOT BE INDICATED ON THIS SHEET.) (1) CONCRETE STOOP/VOID SLAB.

(2) PATCH FLOOR, SKIM COAT FOR NEW FINISHES.

(3) CASEWORK / MILLWORK / AND OR COUNTERTOP (TYPICAL), REFER TO EQUIPMENT PLANS.

(4) CARD READER, REFER TO ELECTRICAL/TECHNOLOGY SHEETS. (5) PUSH PAD FOR ADA OPERATOR, REFER TO ELECTRICAL SHEETS..

(6) EXPANSION JOINT COVER.

7) FLOOR DRAIN, REFER TO PLUMBING SHEETS.

(8) PATCH WALLS. PREPARE WALLS AND FRAMES FOR NEW FINISHES.

(9) WHERE DOOR FRAME HAS BEEN REMOVED, INFILL WALL TO MATCH EXISTING ADJACENT WALL SURFACES, TOOTH IN CMU (TYPICAL). (10) WHERE CONNECTING WALL HAS BEEN REMOVED, PATCH WALL TO MATCH

EXISTING ADJACENT WALL SURFACES (TYPICAL)

(11) TOOTH IN CMU INTO NEW OPENING TO MATCH ADJACENT MASONRY SURFACES.

(12) NEW LOCKERS. REFER TO EQUIPMENT PLANS.

(13) NEW CONCRETE SIDEWALK SLAB.

(14) DASHED LINE INDICATES TYPICAL BULKHEAD, REFER TO SECTIONS AND REFLECTED CEILING PLANS. (ALL BULKHEADS ARE NOT INDICATED ON THIS

(15) EXISTING LOCKERS TO REMAIN. PROTECT DURING CONSTRUCTION.

(16) SCOREBOARD. REFER TO ELECTRICAL.

(17) DISPLAY BOARD/TV MONITOR, REFER TO EQUIPMENT PLANS.

(18) SEMI-RECESSED FIRE EXTINGUISHER CABINET. REFER TO SHEET A-501. (19) SURFACE MOUNTED FIRE EXTINGUISHER

(20) MECHANICAL LOUVER. REFER TO MECHANICAL SHEETS AND SHEET A-501. (21) GYM DIVIDER CURTAIN.

(22) MAT LIFTER SUPPORTED ON EXISTING JOISTS. REFER TO STRUCTURAL DRAWINGS FOR JOIST REINFORCEMENT. REFER TO ELECTRICAL CENTER ON

(23) MOTOR OPERATED BLEACHERS. REFER TO EQUIPMENT PLAN AND

(24) 6'-0"H ATHLETIC WALL PROTECTION PADDING. REFER TO SHEET A-501. (25) CASEWORK RELOCATED FROM E-120 SHEET AD-105.

(26) 2" EXPANSION JOINT MATERIAL AND ALUMINUM PLATE. 27) COMPOSITE ALUMINUM WALL PANELS ON EXISTING MASONRY WALL. REFER

(28) DECORATIVE ALUMINUM RAIL. REFER TO SECTION SHEET AND 6/A-412.)

(29) COMPOSITE ALUMINUM WALL PANEL ABOVE. (30) CASEWORK RELOCATED FROM D-119 SHEET AD-105. AD-2

(31) CASEWORK RELOCATED FROM D-204 SHEET AD-109.

(32) MOP SINK. REFER TO PLUMBING.

(33) SOUND SYSTEM. REFER TO ELECTRICAL.

(34) MODIFY MASONRY WALL FOR THROUGH WALL DROP BOX. (35) METAL LADDER TO ROOF HATCH

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(38) LAMINATE 5/8" GYPSUM BOARD TO EXISTING WALL. PLAN NOTES Owner Furnished and Installed

(ALL PLAN NOTES MAY NOT BE INDICATED ON THIS SHEET.) (40) VENDING MACHINES

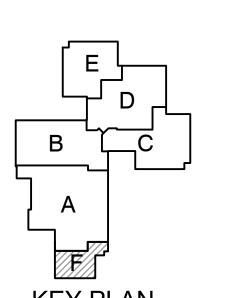
(41) REFRIGERATOR

DESIGN

LOWELL MIDDLE SCHOOL-GRADE 5-8

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TRI-CREEK SCHOOL CORPORATION



KEY PLAN GIBRALTAR DESIGN

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AD-2	09/07/23	ADDENDUM 2	

UNIT "F" ARCHITECTURAL

SECOND FLOOR PLAN -ALTERNATE

LOWELL MIDDLE SCHOOL- GRADE

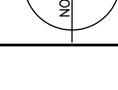
5-8 IMPROVEMENTS

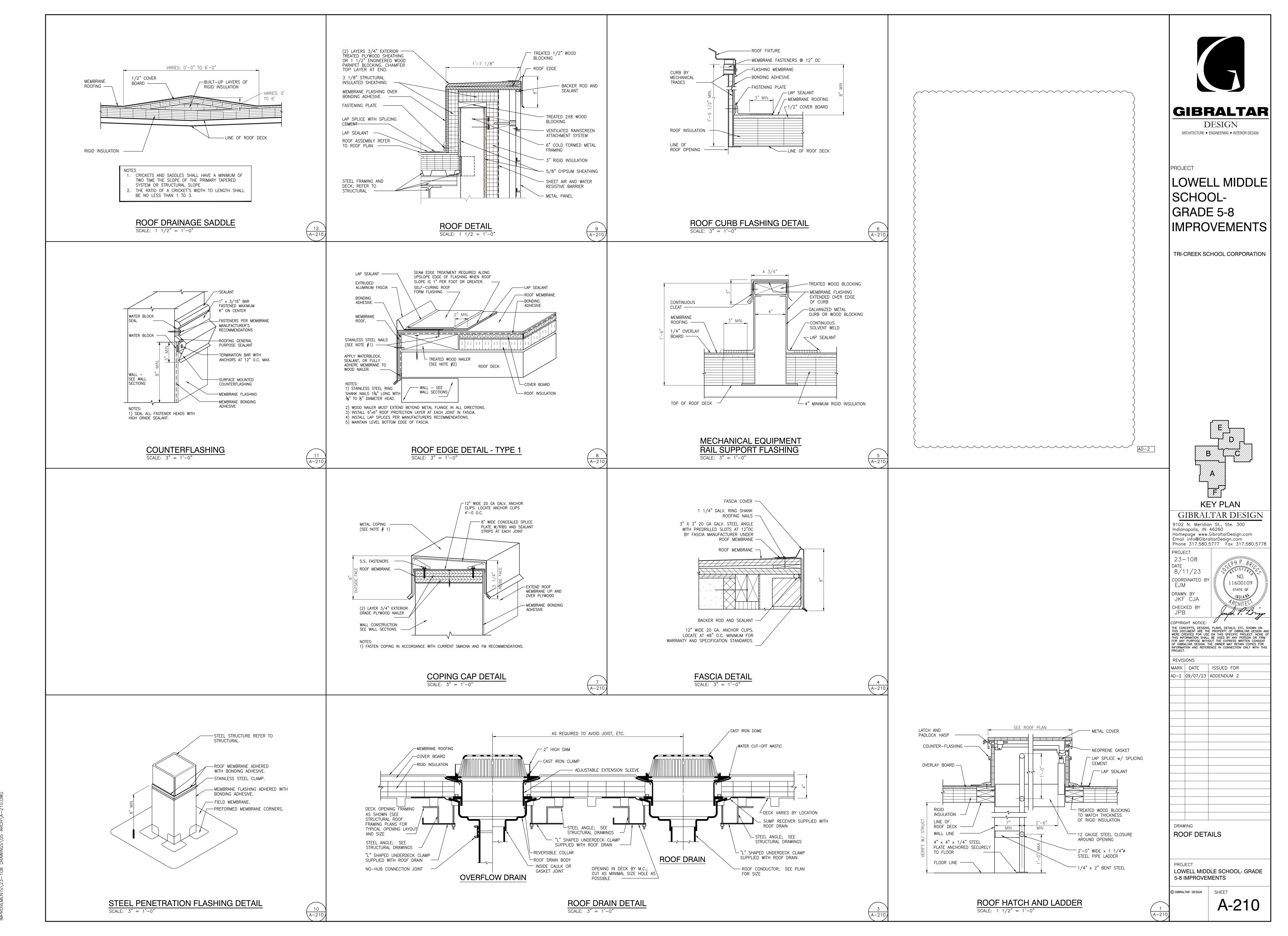
A-111

UNIT "F" ARCHITECTURAL SECOND FLOOR PLAN - ALTERNATE

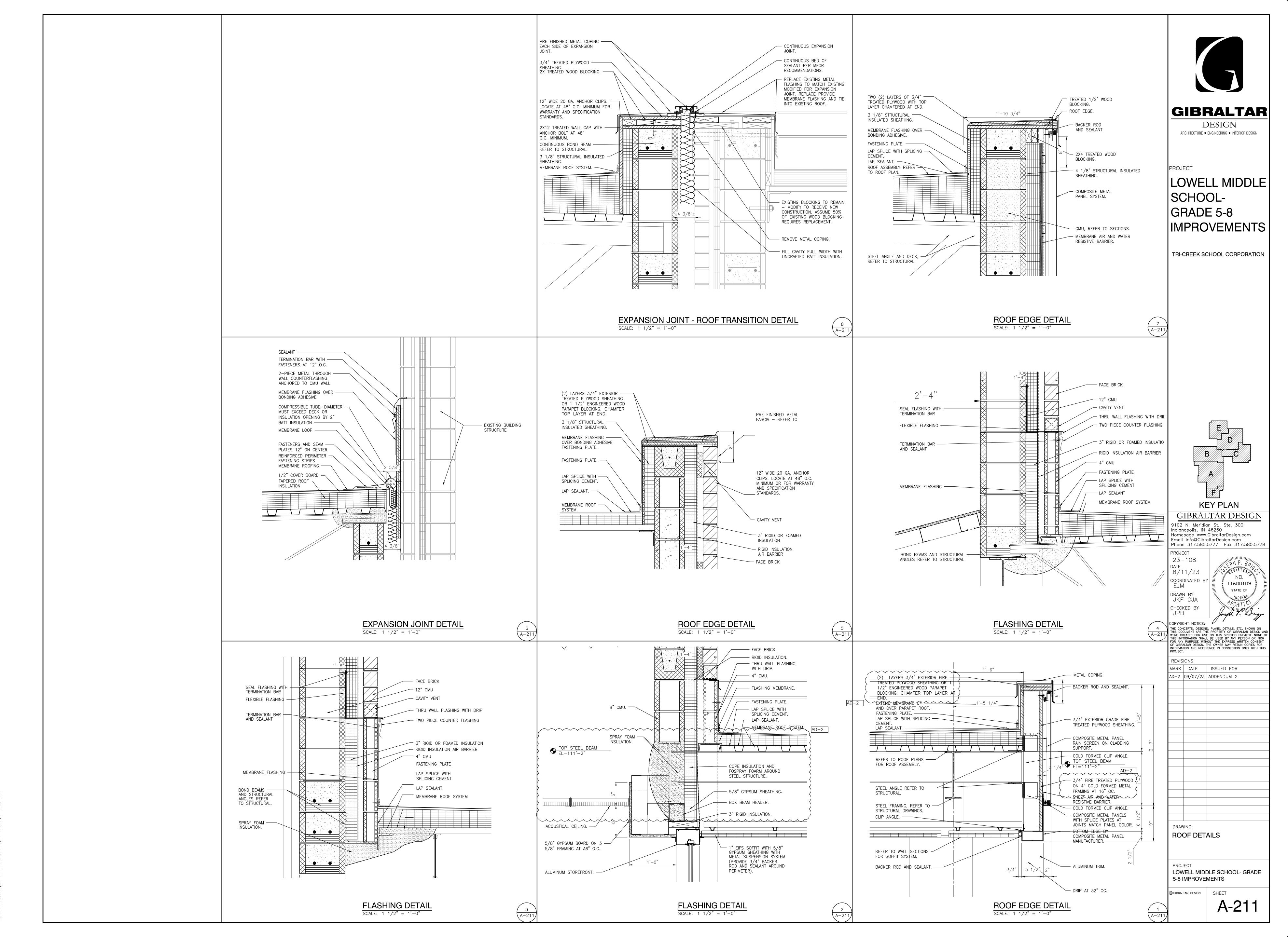
SCALE: 1/8" = 1'-0"



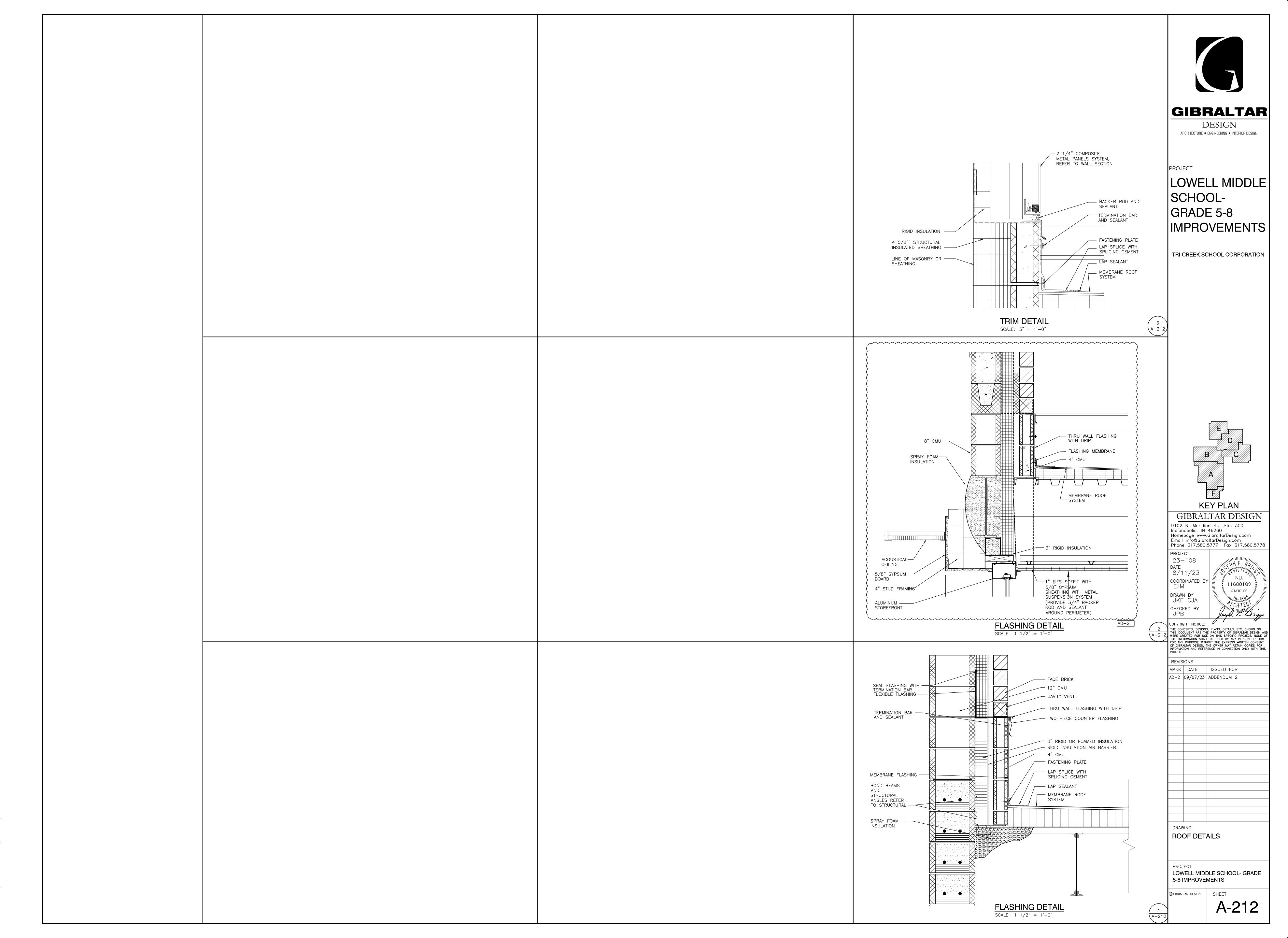




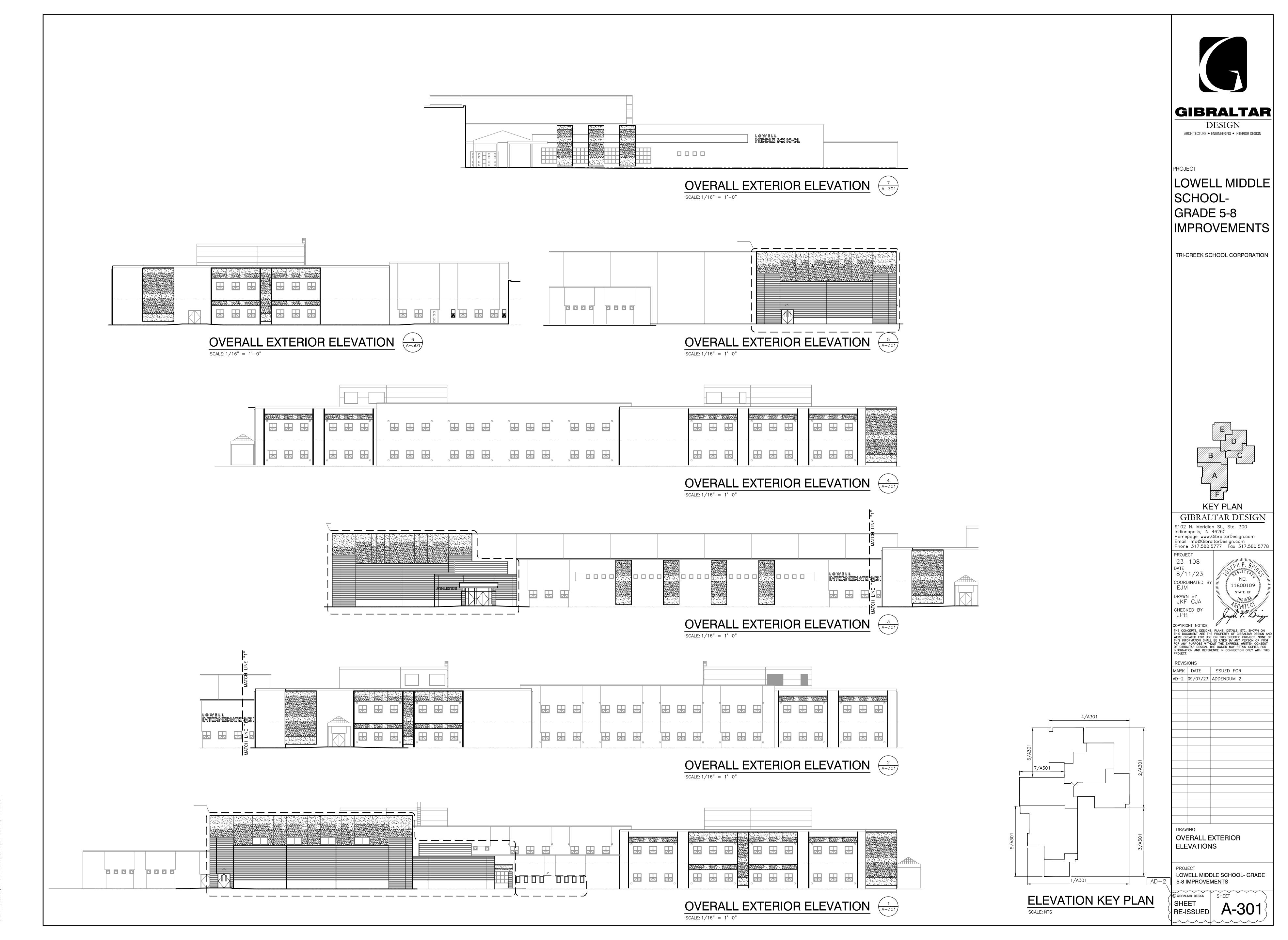
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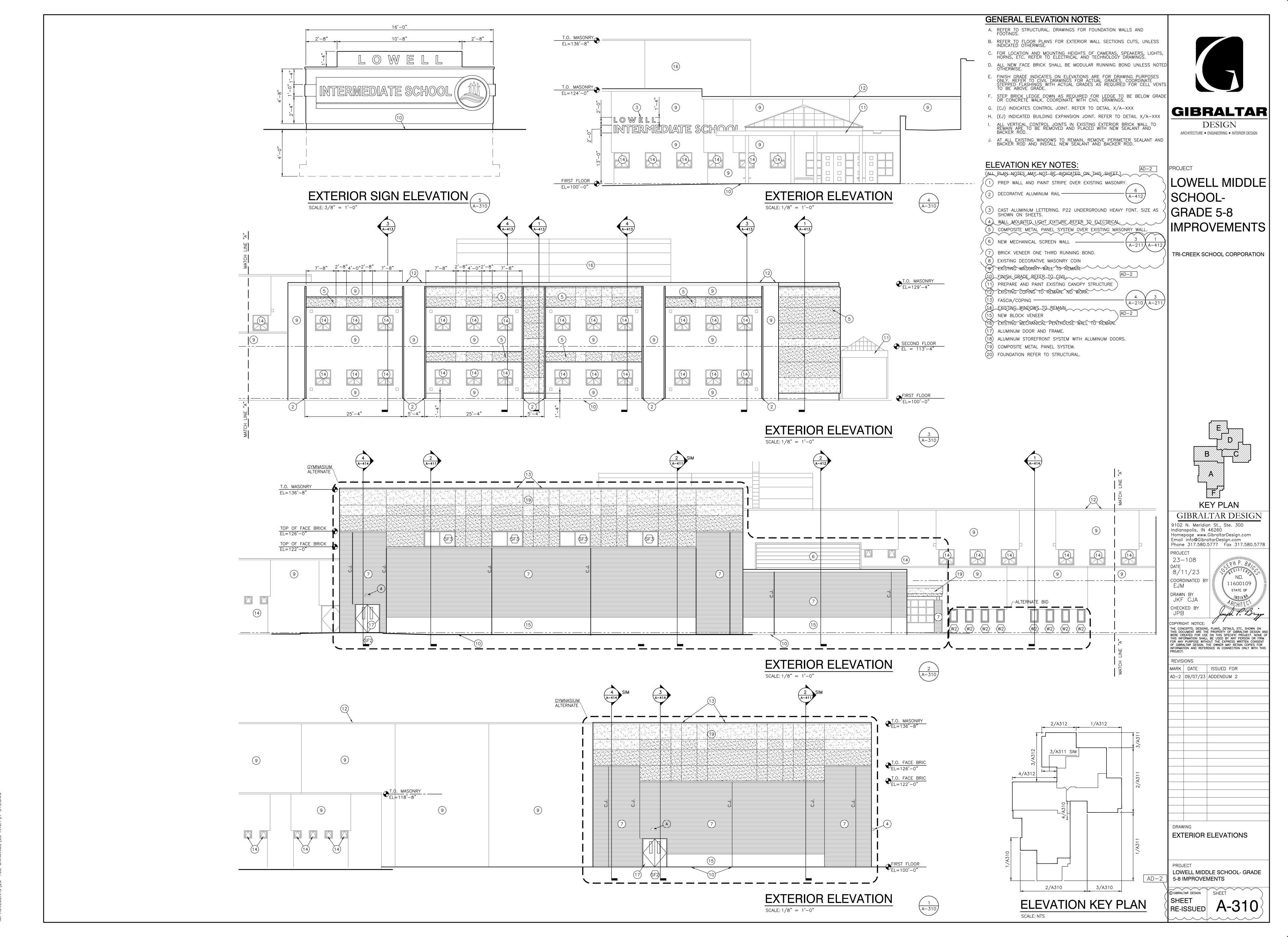
Friday, 9/8/2023 — 1:42 AM — LAST SAVED BY:C Y:\23—108 TRI—CREEK SC — LOWELL MS 5—8 IMPROVEMENTS\23—108 DRAWINGS\05 ARCH\A—21



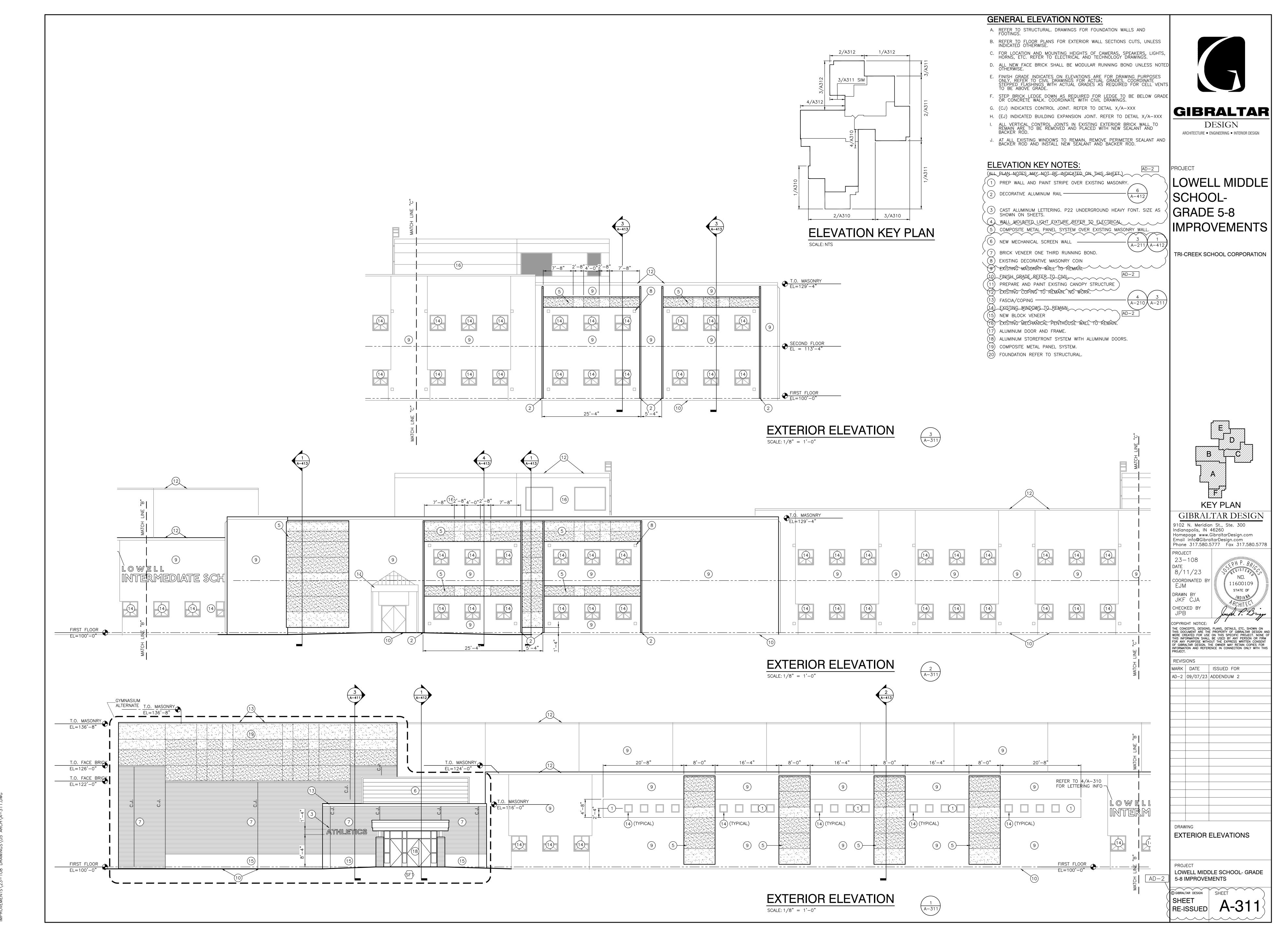
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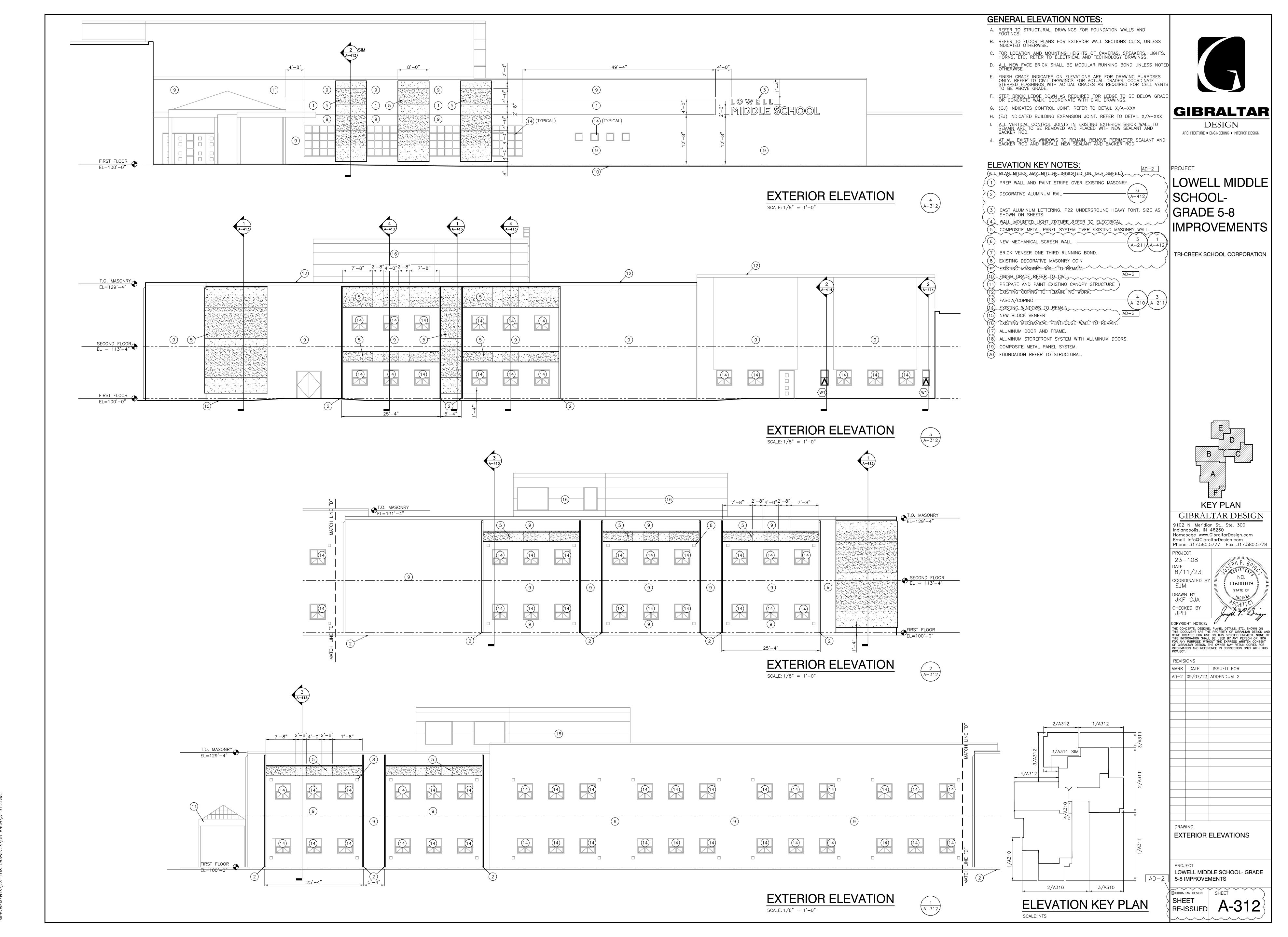
Thursday, 9/7/2023 — 10:45 PM — LAST SAVED BY:EMCCAULEY Y:\23-108 TRI-CREEK SC — LOWELL MS 5-8 IMPROVEMENTS\23-108 DRAWINGS\05 ARCH\A-301.DWG



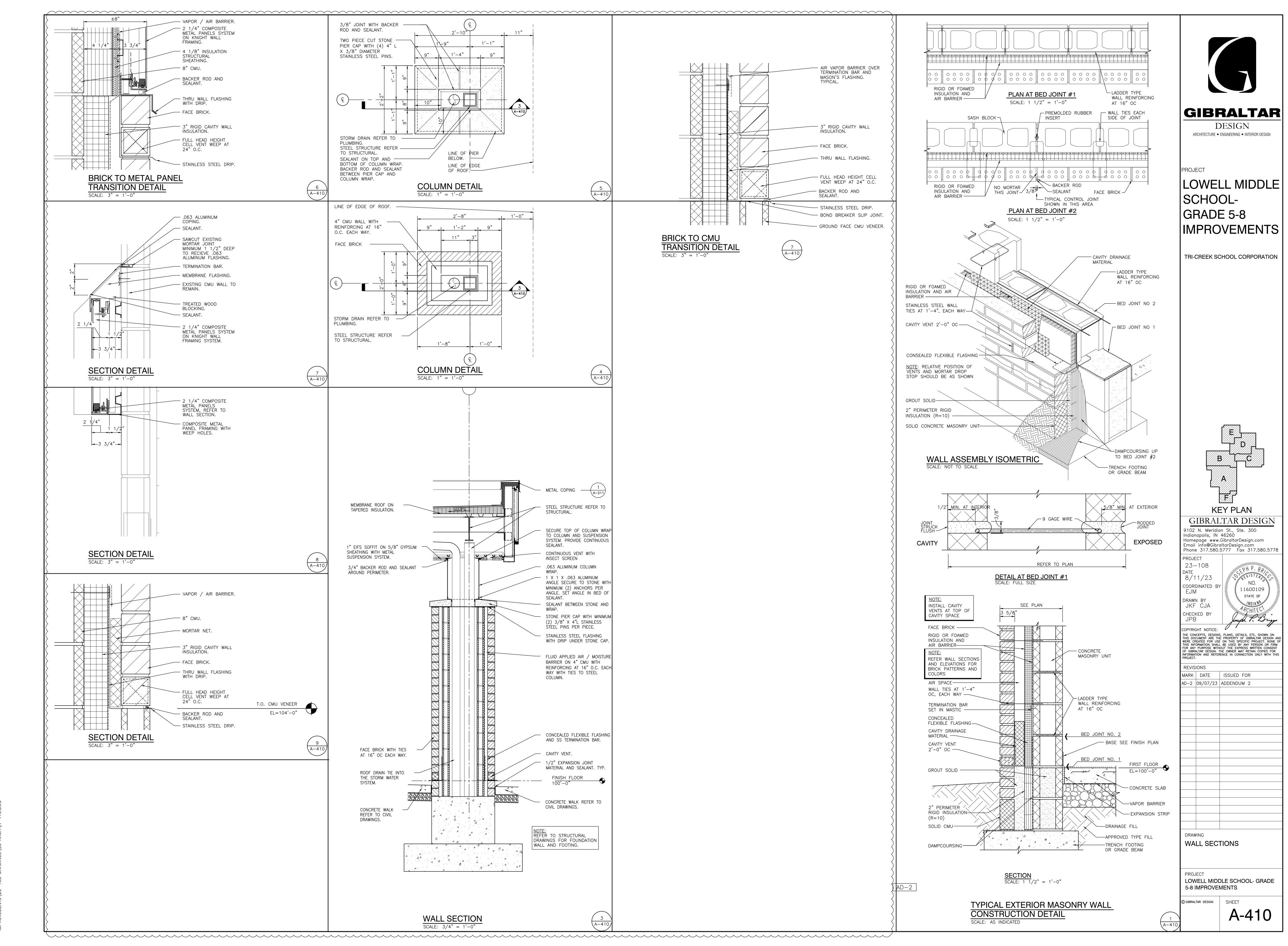
Thursday, 9/7/2023 - 11:13 PM - LAST SAVED BY:EMCCA Y:\23-108 TRI-CREEK SC - LOWELL MS 5-8 IMPROVEMENTS\23-108 DRAWINGS\05 ARCH\A-310 DWG



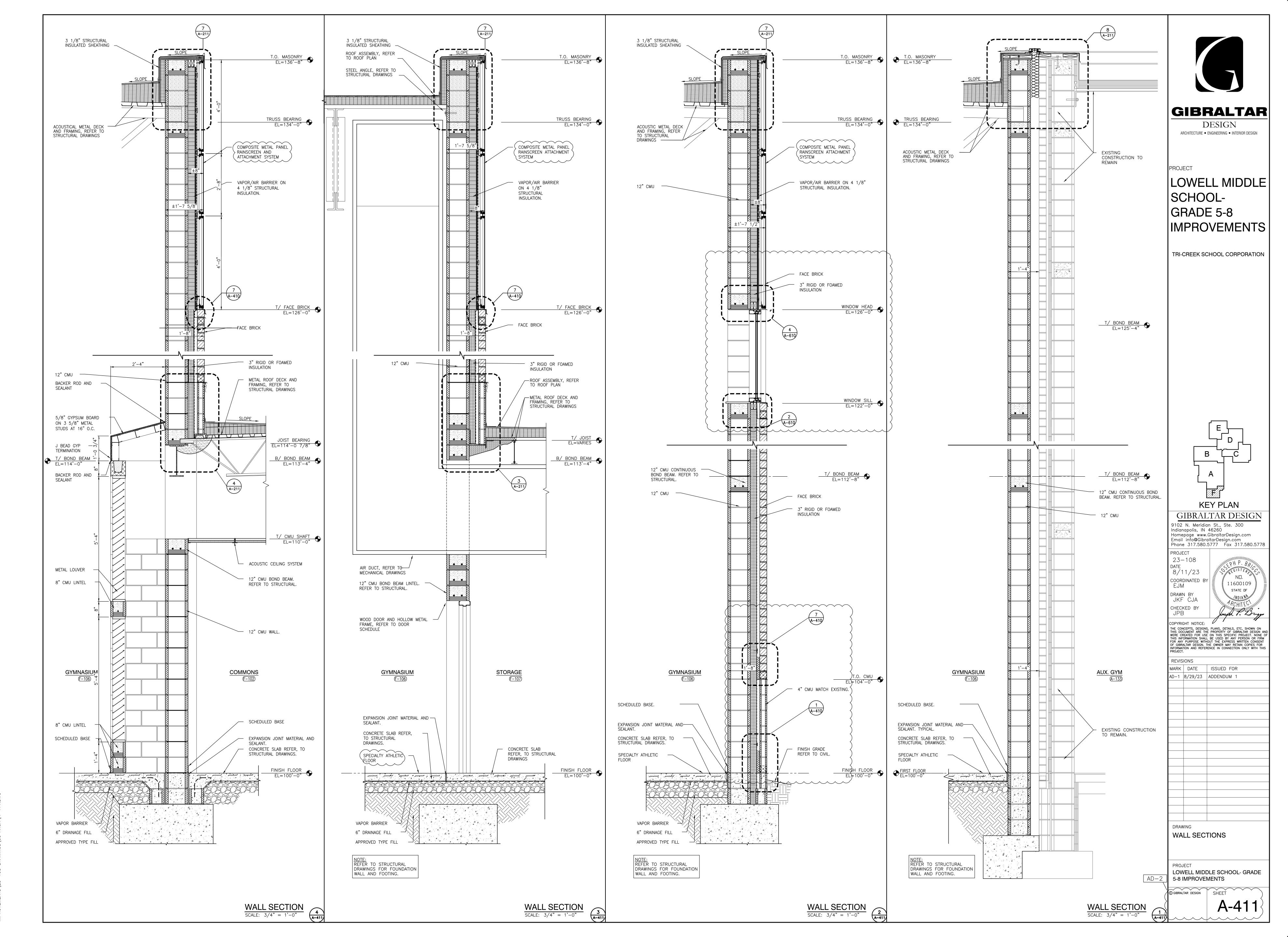
Thursday, 9/7/2023 — 11:13 PM — LAST SAVED BY:EMCCAL Y:\23—108 TRI—CREEK SC — LOWELL MS 5—8



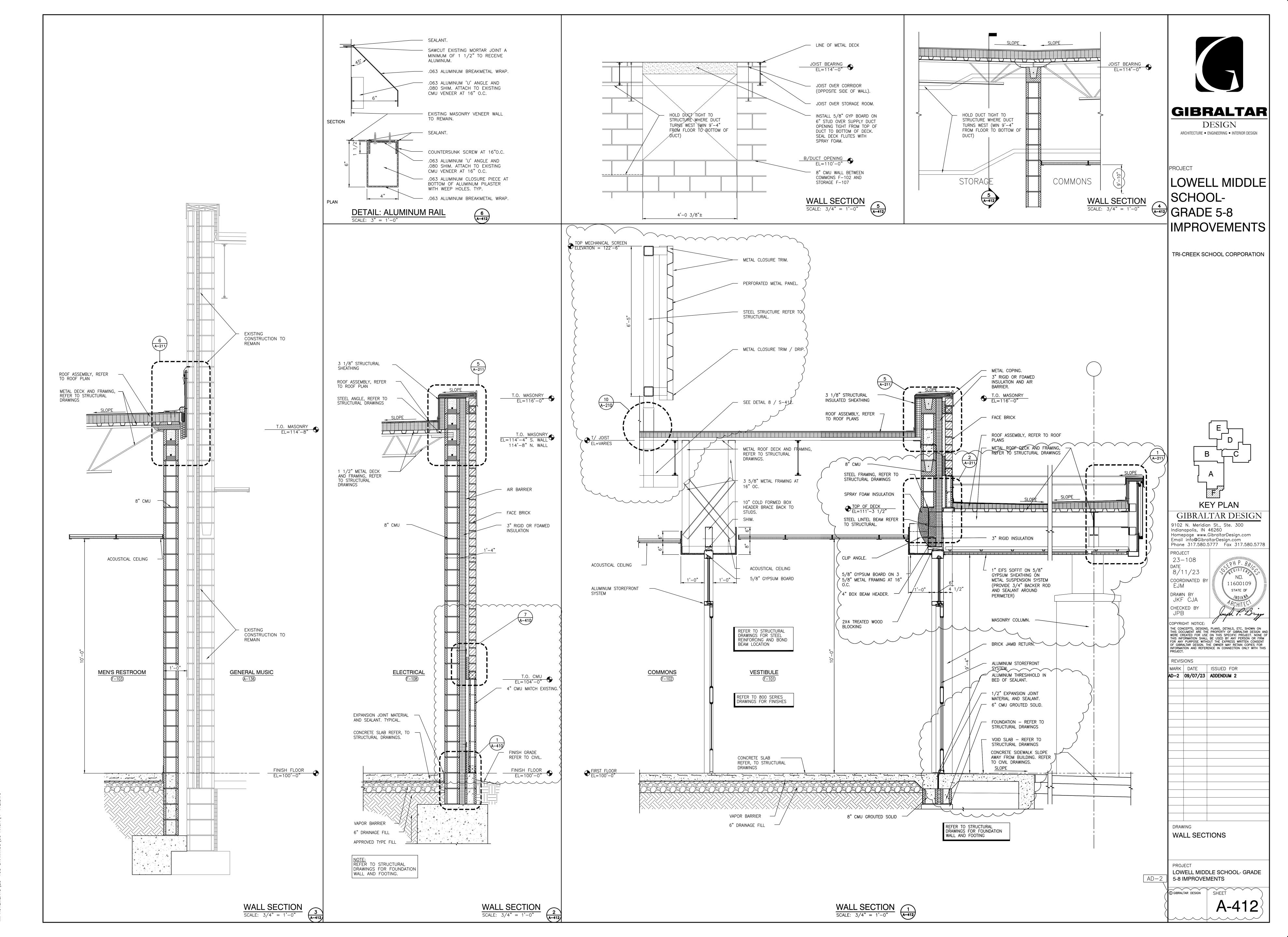
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Friday, 9/8/2023 — 12:01 AM — LAST SAVED BY:EMCCAL Y:\23—108 TRI—CREEK SC — LOWELL MS 5—8 MADRON/EMENTS\23—108 DRAWINGS\05 ARCH\A—410 DWG



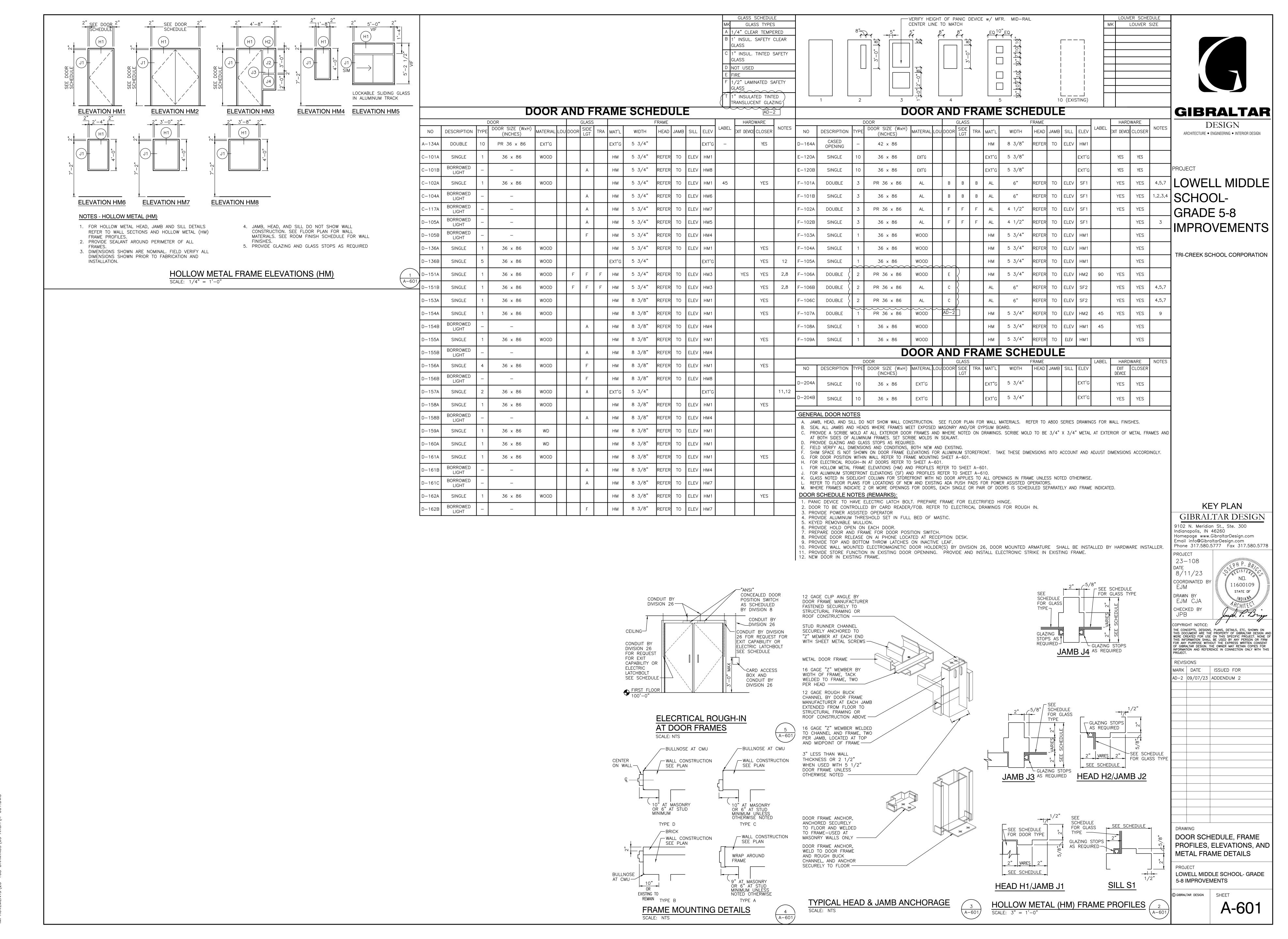
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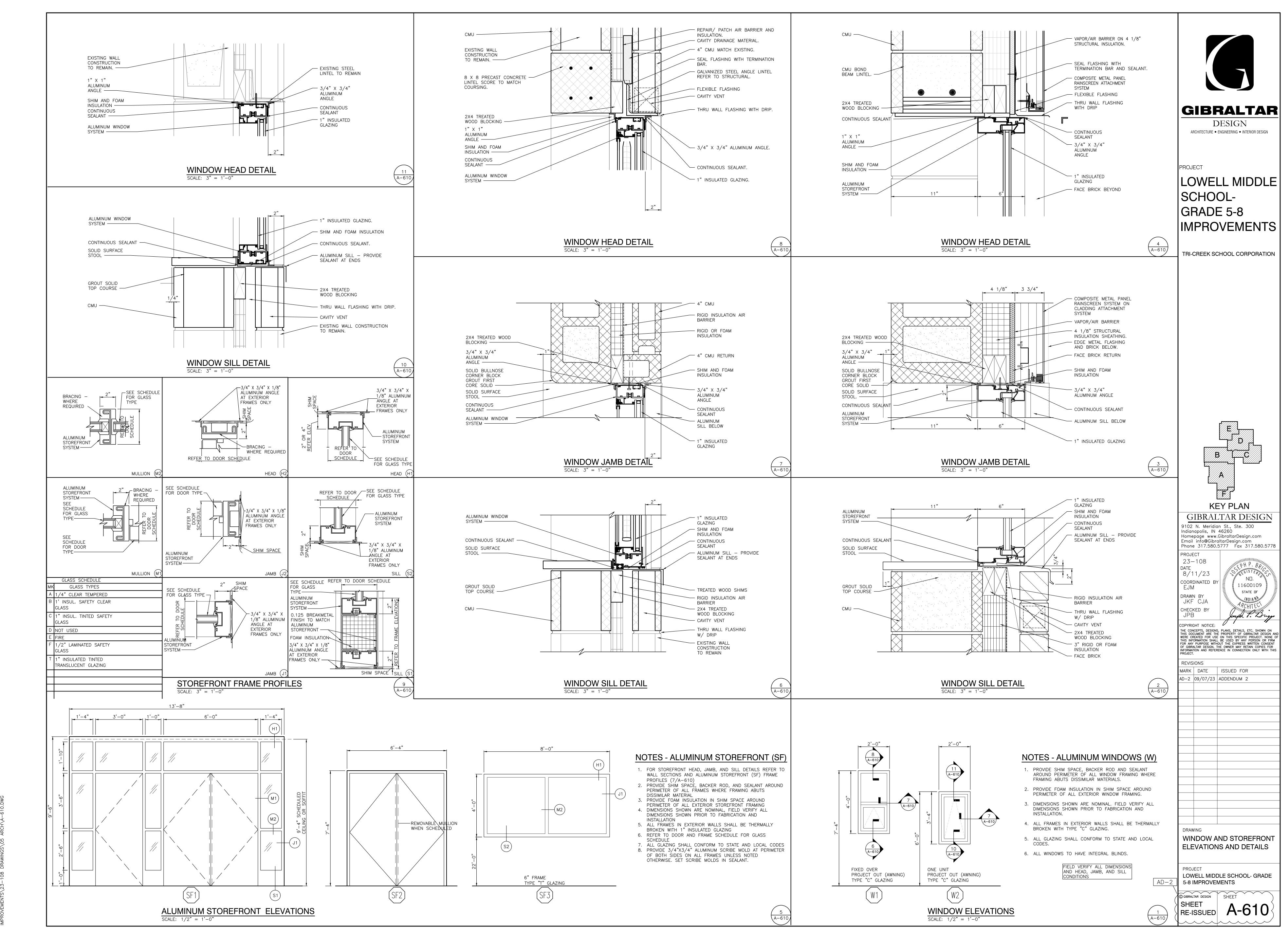
Thursday, 9/7/2023 — 11:54 PM — LAST SAVED BY:EMCCA Y:\23—108 TRI—CREEK SC — LOWELL MS 5—8 IMPROVEMENTS\23—108 DRAWINGS\05 ARCH\A—412.DWG

ay, 9/8/2023 — 1:49 AM — LAST SAVED BY:EMCCAULEY 23—108 TRI—CREEK SC — LOWELL MS 5—8 ROVEMENTS\23—108 DRAWINGS\05 ARCH\A—413.DWG

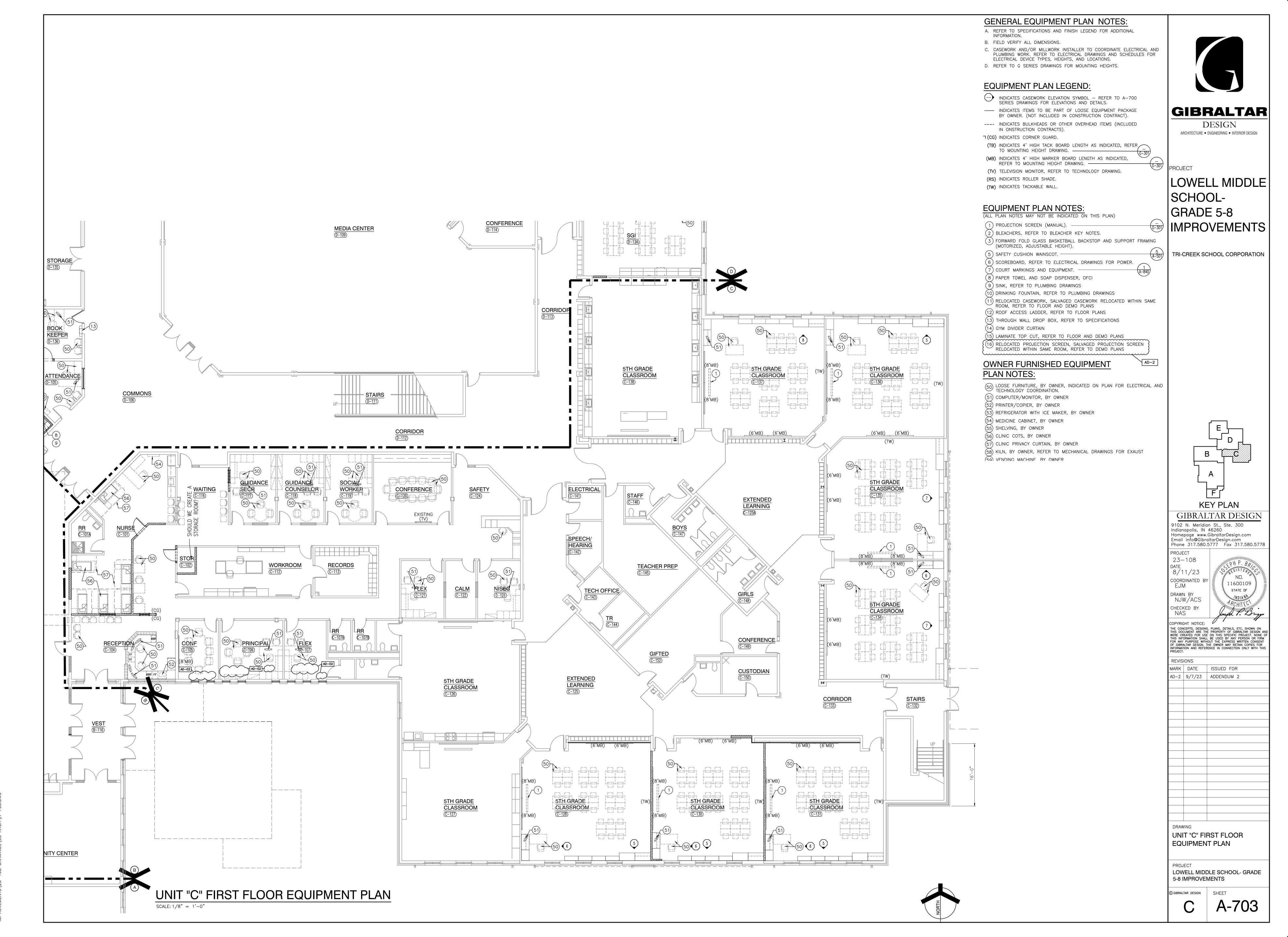
riday, 9/8/2023 — 1:51 AM — LAST SAVED BY:EMCCAULEY :\23—108 TRI—CREEK SC — LOWELL MS 5—8 APROVEMENTS\23—108 DRAWINGS\05 ARCH\A—414.DWG



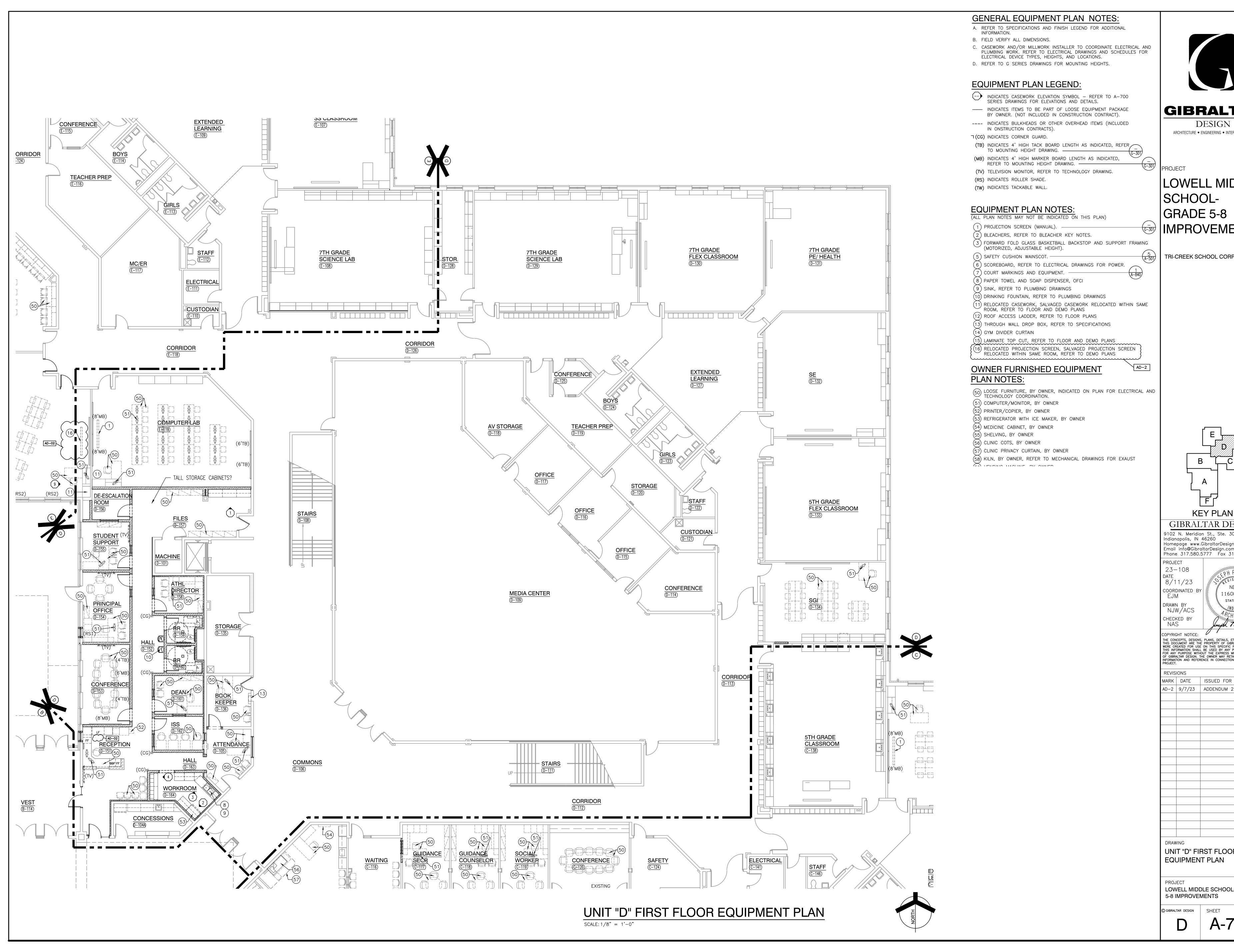
Friday, 9/8/2023 — 12:06 AM — LAST SAVED BY:EMCCAULEY Y:\23—108 TRI—CREEK SC — LOWELL MS 5—8 IMPROVEMENTS\23—108 DRAWINGS\05 ARCH\A—601.DWG



Friday, 9/8/2023 — 12:05 AM — LAST SAVED BY:JF Y:\23—108 TRI—CREEK SC — LOWELL MS 5—8 IMPROVEMENTS\23—108 DRAWINGS\05 ARCH\A—610.I



Thursday, 9/7/2023 — 11:37 AM — LAST SAVED BY:AS Y:\23—108 TRI—CREEK SC — LOWELL MS 5—8 IMPROVEMENTS\23—108 DRAWINGS\05 ARCH\A—703.DW



y, 9/7/2023 – 11:38 AM – LAST 108 TRI–CREEK SC – LOWELL MS EMENTS\23-108 DRAWINGS\05 ARC

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DESIGN ARCHITECTURE • ENGINEERING • INTERIOR DESIGN

LOWELL MIDDLE SCHOOL-GRADE 5-8 (G-301) | IMPROVEMENTS

TRI-CREEK SCHOOL CORPORATION

KEY PLAN GIBRALTAR DESIGN

9102 N. Meridian St., Ste. 300

Indianapolis, IN 46260 Homepage www.GibraltarDesign.com Email info@GibraltarDesign.com Phone 317.580.5777 Fax 317.580.5778

23-108 8/11/23 COORDINATED B'

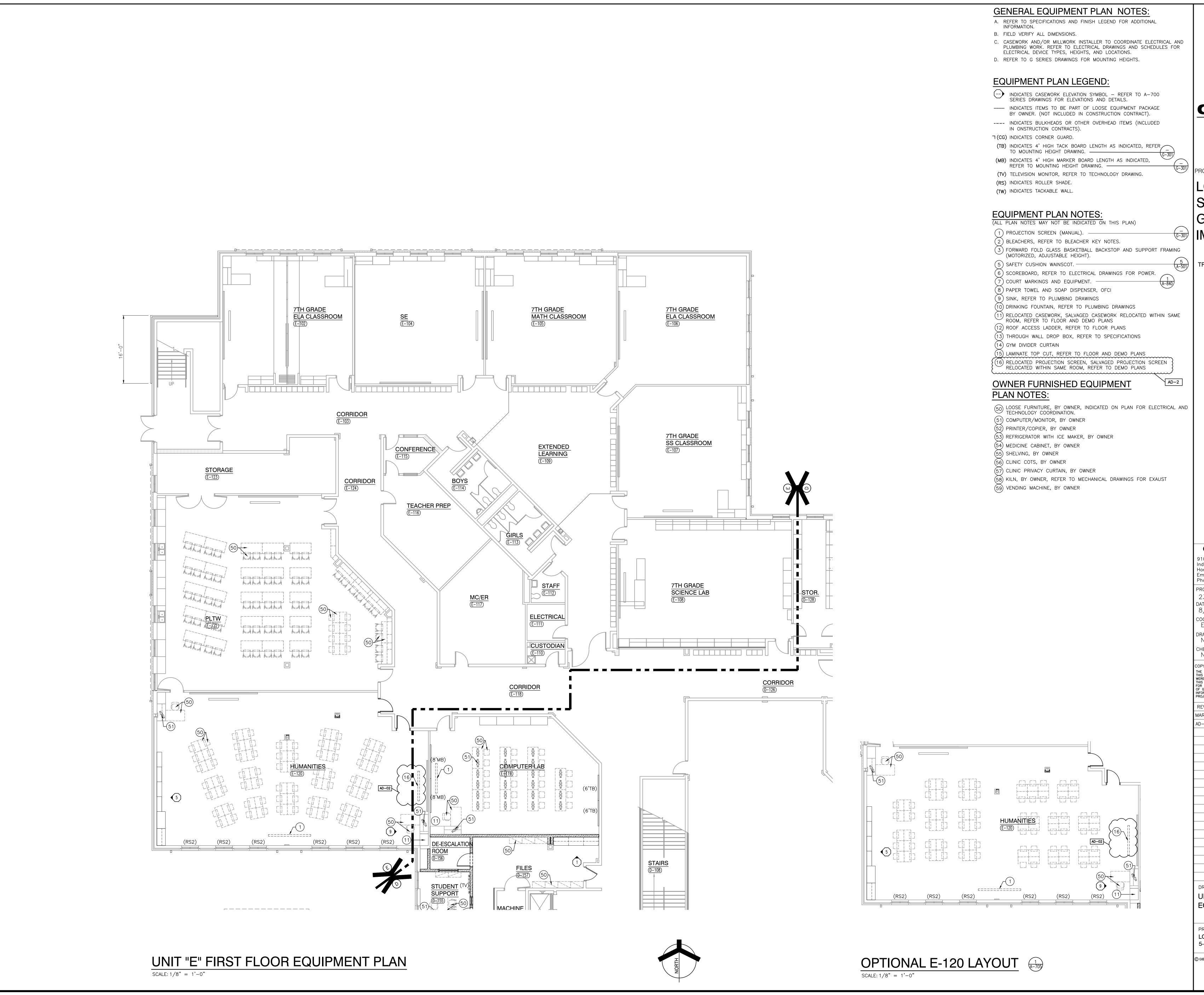
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AD-2 9/7/23 | ADDENDUM 2

UNIT "D" FIRST FLOOR **EQUIPMENT PLAN**

LOWELL MIDDLE SCHOOL- GRADE 5-8 IMPROVEMENTS

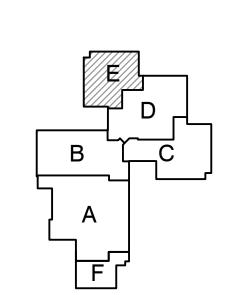


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LOWELL MIDDLE SCHOOL-GRADE 5-8 (G-301) | IMPROVEMENTS

TRI-CREEK SCHOOL CORPORATION



KEY PLAN

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23-108 8/11/23 COORDINATED B'

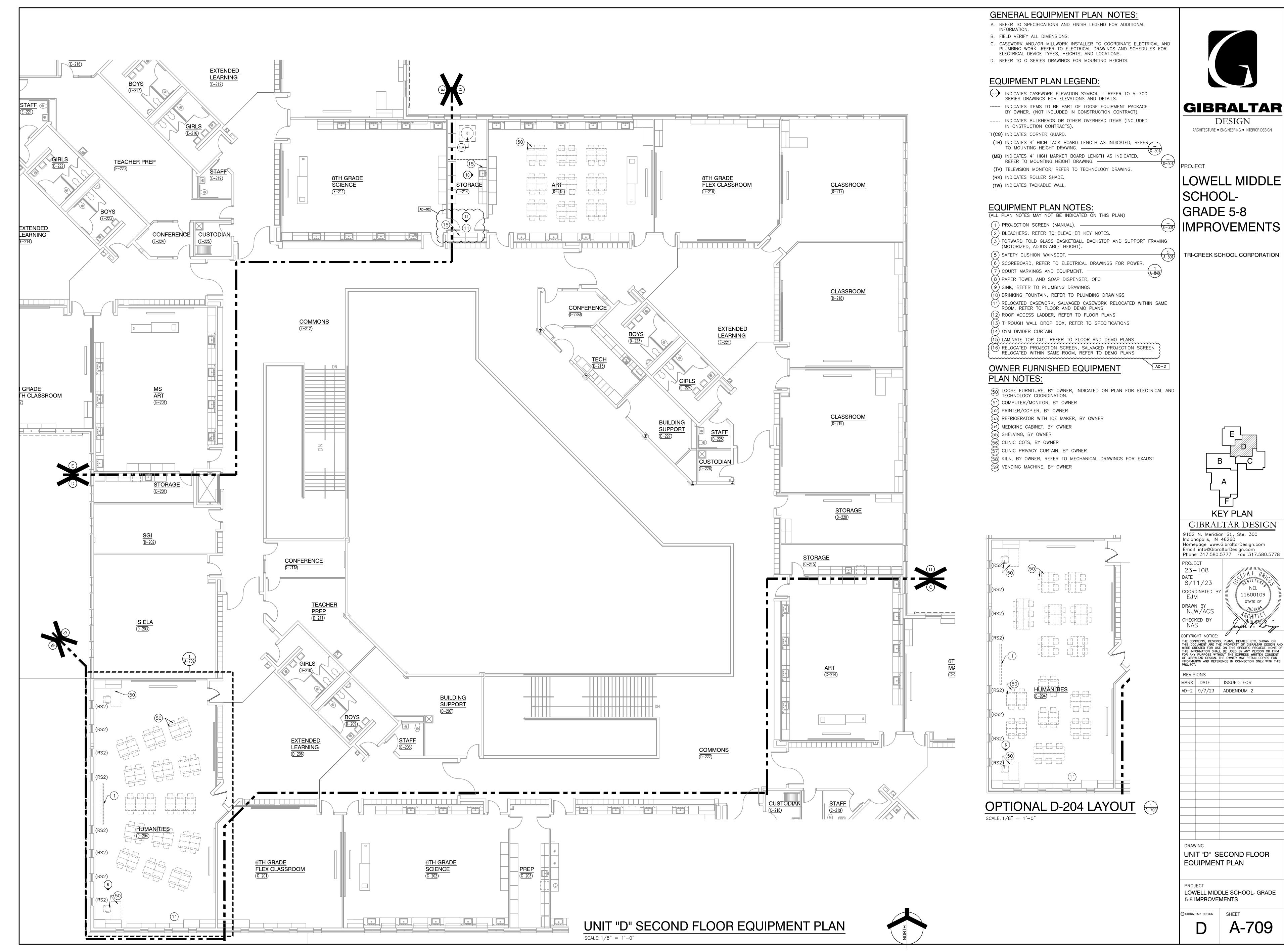
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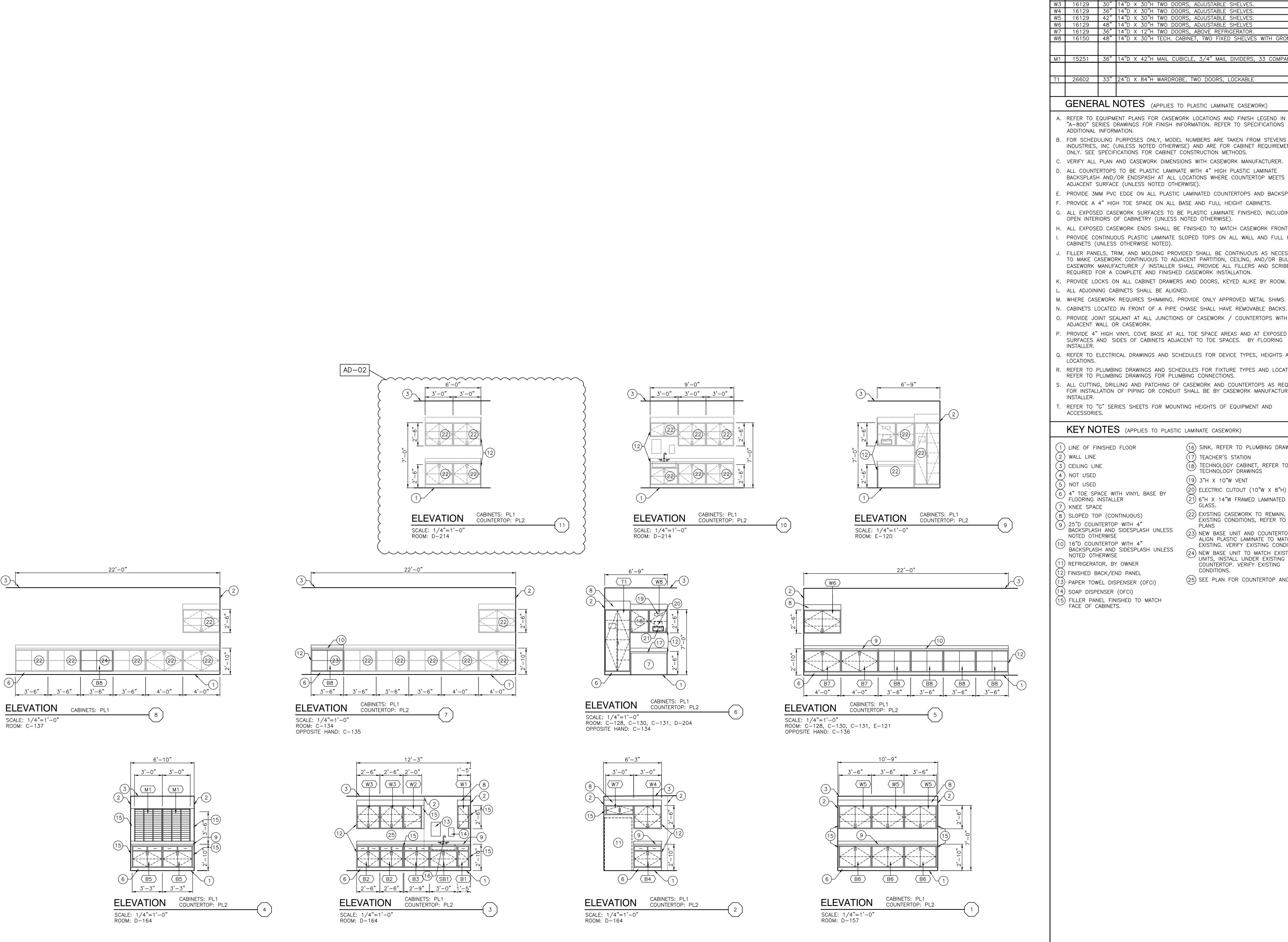
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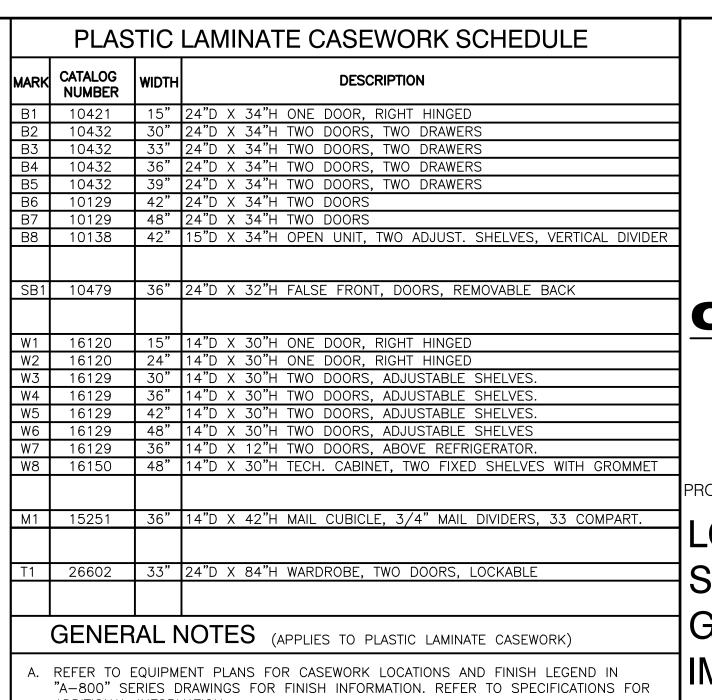
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UNIT "E" FIRST FLOOR **EQUIPMENT PLAN**

LOWELL MIDDLE SCHOOL- GRADE 5-8 IMPROVEMENTS







- ADDITIONAL INFORMATION.
- INDUSTRIES, INC (UNLESS NOTED OTHERWISE) AND ARE FOR CABINET REQUIREMENTS ONLY. SEE SPECIFICATIONS FOR CABINET CONSTRUCTION METHODS. C. VERIFY ALL PLAN AND CASEWORK DIMENSIONS WITH CASEWORK MANUFACTURER.
- BACKSPLASH AND/OR ENDSPASH AT ALL LOCATIONS WHERE COUNTERTOP MEETS ADJACENT SURFACE (UNLESS NOTED OTHERWISE). E. PROVIDE 3MM PVC EDGE ON ALL PLASTIC LAMINATED COUNTERTOPS AND BACKSPLASHES
- F. PROVIDE A 4" HIGH TOE SPACE ON ALL BASE AND FULL HEIGHT CABINETS. G. ALL EXPOSED CASEWORK SURFACES TO BE PLASTIC LAMINATE FINISHED, INCLUDING
- OPEN INTERIORS OF CABINETRY (UNLESS NOTED OTHERWISE). H. ALL EXPOSED CASEWORK ENDS SHALL BE FINISHED TO MATCH CASEWORK FRONTS.
- PROVIDE CONTINUOUS PLASTIC LAMINATE SLOPED TOPS ON ALL WALL AND FULL HEIGHT CABINETS (UNLESS OTHERWISE NOTED). J. FILLER PANELS, TRIM, AND MOLDING PROVIDED SHALL BE CONTINUOUS AS NECESSARY
- TO MAKE CASEWORK CONTINUOUS TO ADJACENT PARTITION, CEILING, AND/OR BULKHEAD. CASEWORK MANUFACTURER / INSTALLER SHALL PROVIDE ALL FILLERS AND SCRIBES AS REQUIRED FOR A COMPLETE AND FINISHED CASEWORK INSTALLATION.
- K. PROVIDE LOCKS ON ALL CABINET DRAWERS AND DOORS, KEYED ALIKE BY ROOM. L. ALL ADJOINING CABINETS SHALL BE ALIGNED.
- M. WHERE CASEWORK REQUIRES SHIMMING, PROVIDE ONLY APPROVED METAL SHIMS. N. CABINETS LOCATED IN FRONT OF A PIPE CHASE SHALL HAVE REMOVABLE BACKS.
- O. PROVIDE JOINT SEALANT AT ALL JUNCTIONS OF CASEWORK / COUNTERTOPS WITH ADJACENT WALL OR CASEWORK.
- P. PROVIDE 4" HIGH VINYL COVE BASE AT ALL TOE SPACE AREAS AND AT EXPOSED SURFACES AND SIDES OF CABINETS ADJACENT TO TOE SPACES. BY FLOORING
- Q. REFER TO ELECTRICAL DRAWINGS AND SCHEDULES FOR DEVICE TYPES, HEIGHTS AND
- R. REFER TO PLUMBING DRAWINGS AND SCHEDULES FOR FIXTURE TYPES AND LOCATIONS. REFER TO PLUMBING DRAWINGS FOR PLUMBING CONNECTIONS.
- S. ALL CUTTING, DRILLING AND PATCHING OF CASEWORK AND COUNTERTOPS AS REQUIRED FOR INSTALLATION OF PIPING OR CONDUIT SHALL BE BY CASEWORK MANUFACTURER /
- REFER TO "G" SERIES SHEETS FOR MOUNTING HEIGHTS OF EQUIPMENT AND ACCESSORIES.

KEY NOTES (APPLIES TO PLASTIC LAMINATE CASEWORK)

- (1) LINE OF FINISHED FLOOR 2) WALL LINE
- (3) CEILING LINE (4) NOT USED
- (5) NOT USED 6) 4" TOE SPACE WITH VINYL BASE BY FLOORING INSTALLER
- (7) KNEE SPACE (8) SLOPED TOP (CONTINUOUS)
- (9) 25"D COUNTERTOP WITH 4" BACKSPLASH AND SIDESPLASH UNLESS NOTED OTHERWISE
- (10) 16"D COUNTERTOP WITH 4" BACKSPLASH AND SIDESPLASH UNLESS NOTED OTHERWISE
- 11) REFRIGERATOR, BY OWNER
- 12) FINISHED BACK/END PANEL (13) PAPER TOWEL DISPENSER (OFCI)
- (14) SOAP DISPENSER (OFCI) 15) FILLER PANEL FINISHED TO MATCH FACE OF CABINETS.
- (16) SINK, REFER TO PLUMBING DRAWINGS (17) TEACHER'S STATION (18) TECHNOLOGY CABINET, REFER TO TECHNOLOGY DRAWINGS (19) 3"H X 10"W VENT
- (20) ELECTRIC CUTOUT (10"W X 8"H) (21) 6"H X 14"W FRAMED LAMINATED SAFETY (22) EXISTING CASEWORK TO REMAIN, VERIFY EXISTING CONDITIONS, REFER TO DEMO
- (23) NEW BASE UNIT AND COUNTERTOP, ALIGN PLASTIC LAMINATE TO MATCH EXISTING. VERIFY EXISTING CONDITIONS.
- (24) NEW BASE UNIT TO MATCH EXISTING UNITS, INSTALL UNDER EXISTING
 COUNTERTOP. VERIFY EXISTING

(25) SEE PLAN FOR COUNTERTOP ANGLE

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LOWELL MIDDLE SCHOOL-GRADE 5-8 IMPROVEMENTS

TRI-CREEK SCHOOL CORPORATION

KEY PLAN

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Phone 317.580.5777 Fax 317.580.5778

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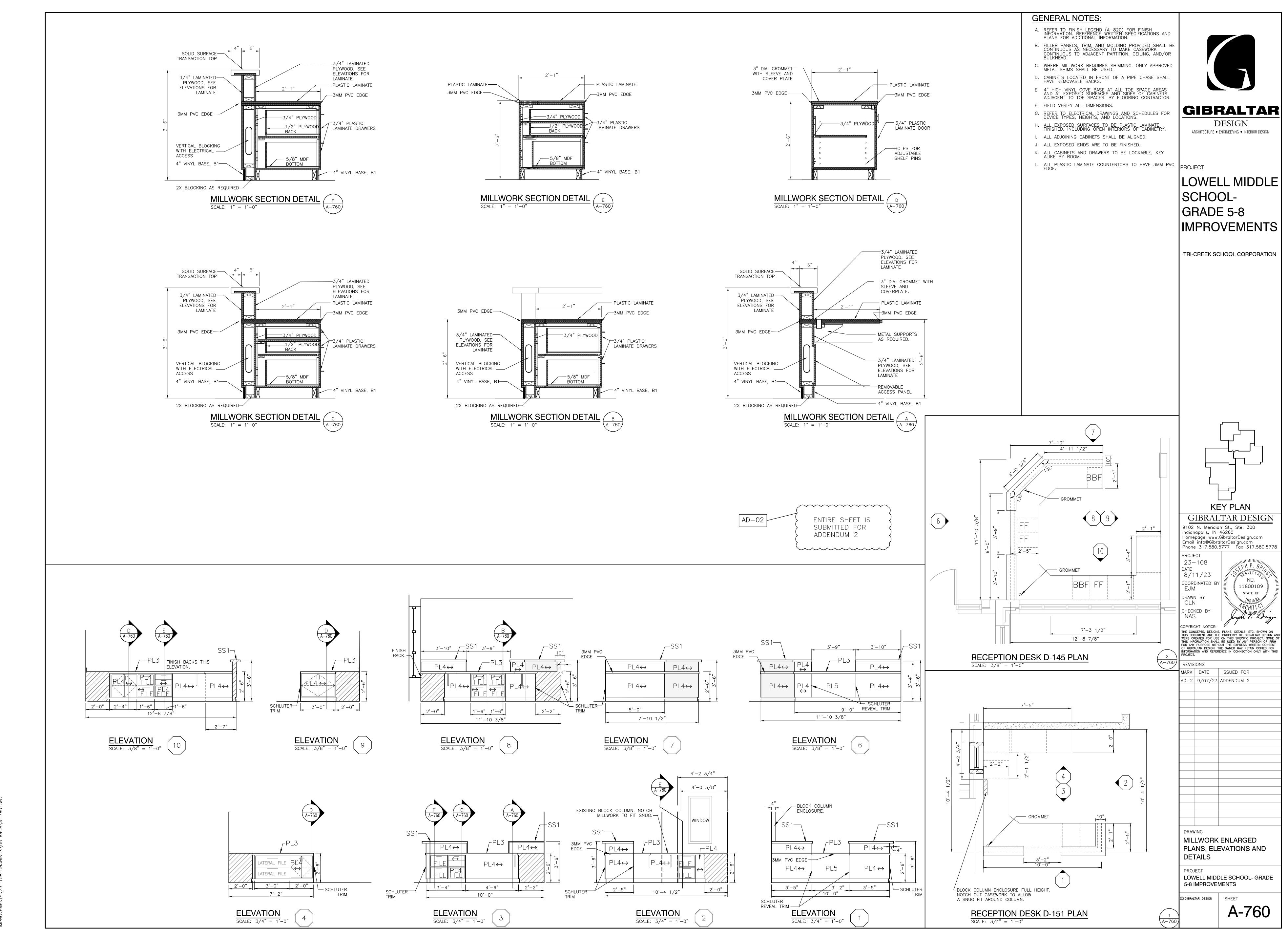
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CASEWORK SCHEDULE AND

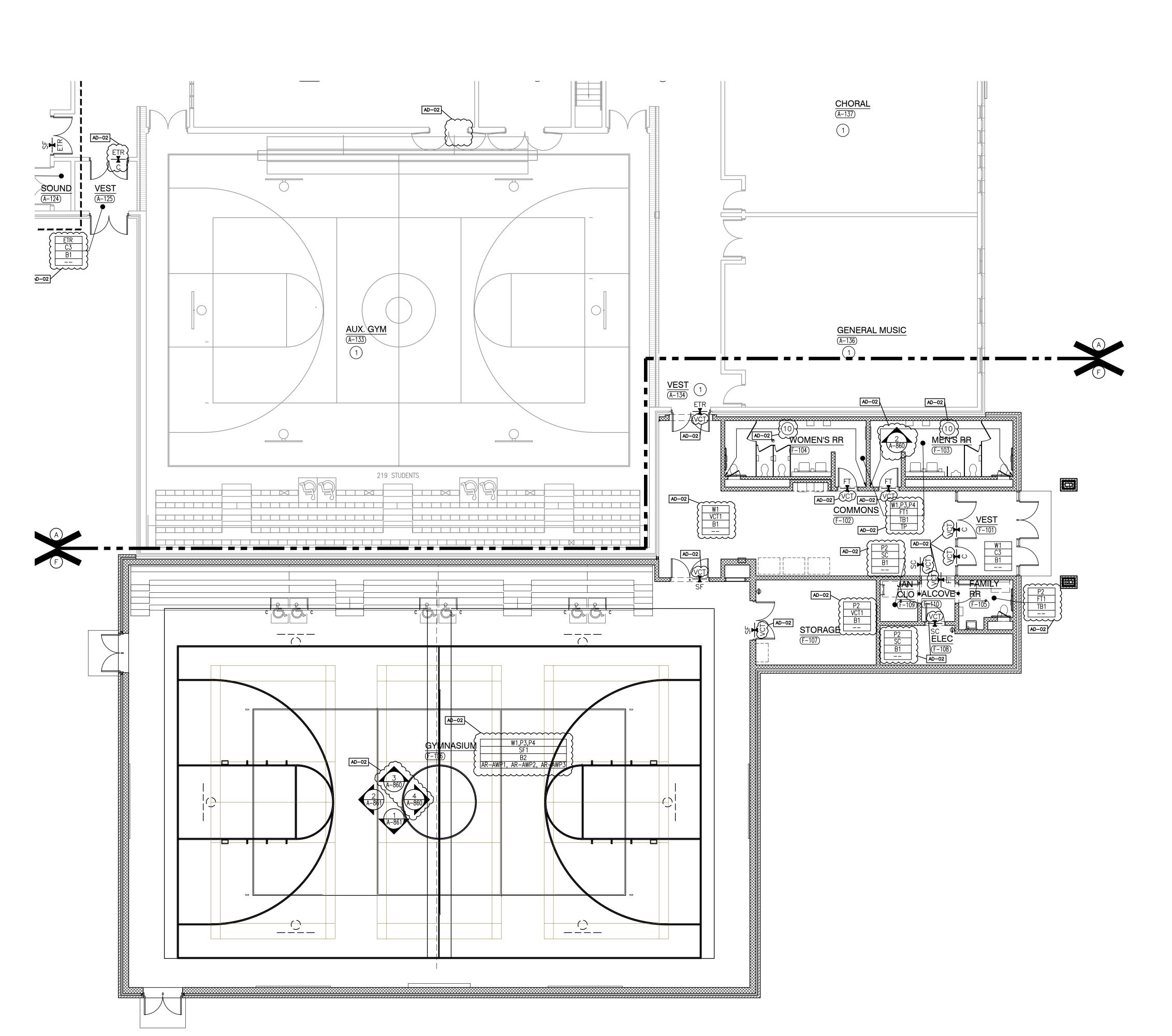
LOWELL MIDDLE SCHOOL- GRADE 5-8 IMPROVEMENTS

GIBRALTAR DESIGN SHEET

ELEVATIONS



Thursday, 9/7/2023 — 11:42 AM — LAST SAVED BY:ASCOI Y:\23—108 TRI—CREEK SC — LOWELL MS 5—8 IMPROVEMENTS\23—108 DRAWINGS\05 ARCH\A—760.DWG



GENERAL FINISH PLAN NOTES:

- REFERENCE FINISH LECEND FOR FINISH INFORMATION
- A. REFERENCE FINISH LEGEND FOR FINISH INFORMATION.

 B. REFERENCE EQUIPMENT PLANS, INTERIOR ELEVATIONS, REFLECTED CEILING
- PLANS AND WRITTEN SPECIFICATIONS FOR ADDITIONAL FINISH INFORMATION.

 C. PRIOR TO INSTALLATION OF NEW FINISHES CONTRACTOR SHALL INSPECT ALL SUBSTRATES. IF A SUBSTRATE IS DEEMED UNACCEPTABLE THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO RECTIFY THE SITUATION OR CONTACT THE ARCHITECT WITH THE CONCERN. PROCEEDING WITH THE INSTALLATION OF FINISHES WILL BE CONSTRUED THAT THE INSTALLER AND /OR FINISHER HAS ACCEPTED SAID SUBSTRATE. NO CHANGE ORDER WILL BE ISSUED TO RECTIFY CONCEALED, OR UNSATISFACTORY SUBSTRATE ONCE FINISH WORK HAS PROCEEDED.
- D. PREPARE ALL WALL CONSTRUCTION, NEW AND EXISTING, TO RECEIVE NEW FINISHES AS PER MANUFACTURE'S RECOMMENDED INSTALLATION METHODS AND MATERIALS FOR ALL FINISHES.
- E. ALL FLOORING IS TO BE LEVELED WITHIN 1/4" IN 10'-0" WITH LATEX MATERIAL. MOISTURE CONTENT IN AREA IS TO BE TESTED PRIOR TO INSTALLATION OF FLOORING MATERIAL. CONTRACTOR TO INSTALL FLOORING PER MANUFACTURER'S RECOMMENDED METHOD.
- F. FLOORING CONTRACTOR TO SUBMIT A SEAMING DIAGRAM FOR FLOORING MATERIAL INCLUDING NOTATION OF MATERIAL DIRECTION.
- G. ALL FLOORING TRANSITIONS SHALL COMPLY WITH ADA GUIDELINES.
 H. ALL EXPOSED METAL SURFACES, SUCH AS GRILLES, FIRE EXTINGUISHER CABINETS, ETC, THAT ARE NOTED TO BE PAINTED, SHALL BE PAINTED WITH
- OTHERWISE NOTED.

 I. CONTRACTOR TO PROVIDE AND INSTALL FLOORING TRANSITIONS AS INDICATED ON THE FLOOR PATTERN PLANS. WHERE NONE ARE NOTED, CONTRACTOR

ALKYD TYPE PAINT. COLOR TO BE COORDINATED WITH DESIGNER UNLESS

- ON THE FLOOR PATTERN PLANS. WHERE NONE ARE NOTED, CONTRACTOR SHALL VERIFY REQUIRED TYPE/COLOR WITH ARCHITECT.

 J. ALL FLOOR FINISH TRANSITIONS AT DOORS SHALL BE CENTERED UNDER
- K. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL NEW INTERIOR WALL AND CEILING FINISHES WILL BE CLASS B MINIMUM, WITH A FLAME SPREAD RATING OF 75 MAXIMUM, AND A SMOKE DEVELOPED INDEX OF 450 MAXIMUM, PER IBC SECTION 803.
- PAINT ALL SIDES OF NEW DOOR FRAMES TO MATCH EXISTING UNLESS NOTED OTHERWISE.
- M. EXPOSED SURFACES OF DUCTWORK TO BE PAINTED TO MATCH ADJACENT
- SURFACES UNLESS NOTED OTHERWISE.

 N. EXISTING BRICK TO REMAIN AND DO NOT PAINT.

FINISH SYMBOL LEGEND:

DOOR UNLESS NOTED UTHERWISE.

P1 — WALL FINISH

C1 — FLOOR FINISH

B1 — BASE FINISH

-- MISC FINISH INFORMATION

FLOOR TRANSITION STRIP AS REQUIRED

INDICATES DIRECTION OF MATERIAL GRAIN

FINISH PLAN NOTES:

(ALL PLAN NOTES MAY NOT BE INDICATED ON THIS PLAN)

1) NO NEW FINISHES THIS ROOM, EXCLUDING DOOR FRAMES CONNECTED TO OTHER ROOMS THAT RECEIVE NEW FINISHES.

2) PAINT WALL TO MATCH EXISTING; NEW WALL BASE.

(3) WALL TILE, WT1, WT3, UP TO 54" A.F.F., INSTALLED SUBWAY, WITH

SCHLUTER STRIP AT TOP OF TILE RUN; PAINT ABOVE TILE, UNLESS NOTED OTHERWISE, REFER TO ELEVATION 1/A-860.

4 WALL TILE, WT2, FULL HEIGHT, INSTALLED SUBWAY SCHLUTER STRIP AT

OUTSIDE CORNERS

5) WALL TILE, WT1, FULL HEIGHT, INSTALLED SUBWAY, SCHLUTER STRIP AT END OF TILE RUN ABOVE DOOR FRAME.

6) PAINT, P1 7) WALL COVERING WC2

WALLCOVERING, WC2

(8) UNDERSIDE OF BULKHEAD, PAINT, P1
9) PATCH AND REPAIR EXISTING FLOOR FINISH WHERE WALL IS REMOVED, REFER TO DEMO PLANS.

0) PAINT, P3, P4 STRIPES, REFER TO ELEVATION 2/A-860

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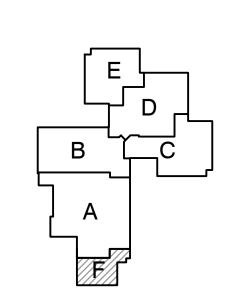
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LOWELL MIDDLE SCHOOL-GRADE 5-8 IMPROVEMENTS

TRI-CREEK SCHOOL CORPORATION



KEY PLAN
GIBRALTAR DESIGN

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Phone 317.580.5777 Fax 317.580.5778

PROJECT
23-108
DATE
8/11/23
COORDINATED BY
FIM

11600109

STATE OF

COORDINATED BY EJM

DRAWN BY

NJW/ACS

CHECKED BY

NAS

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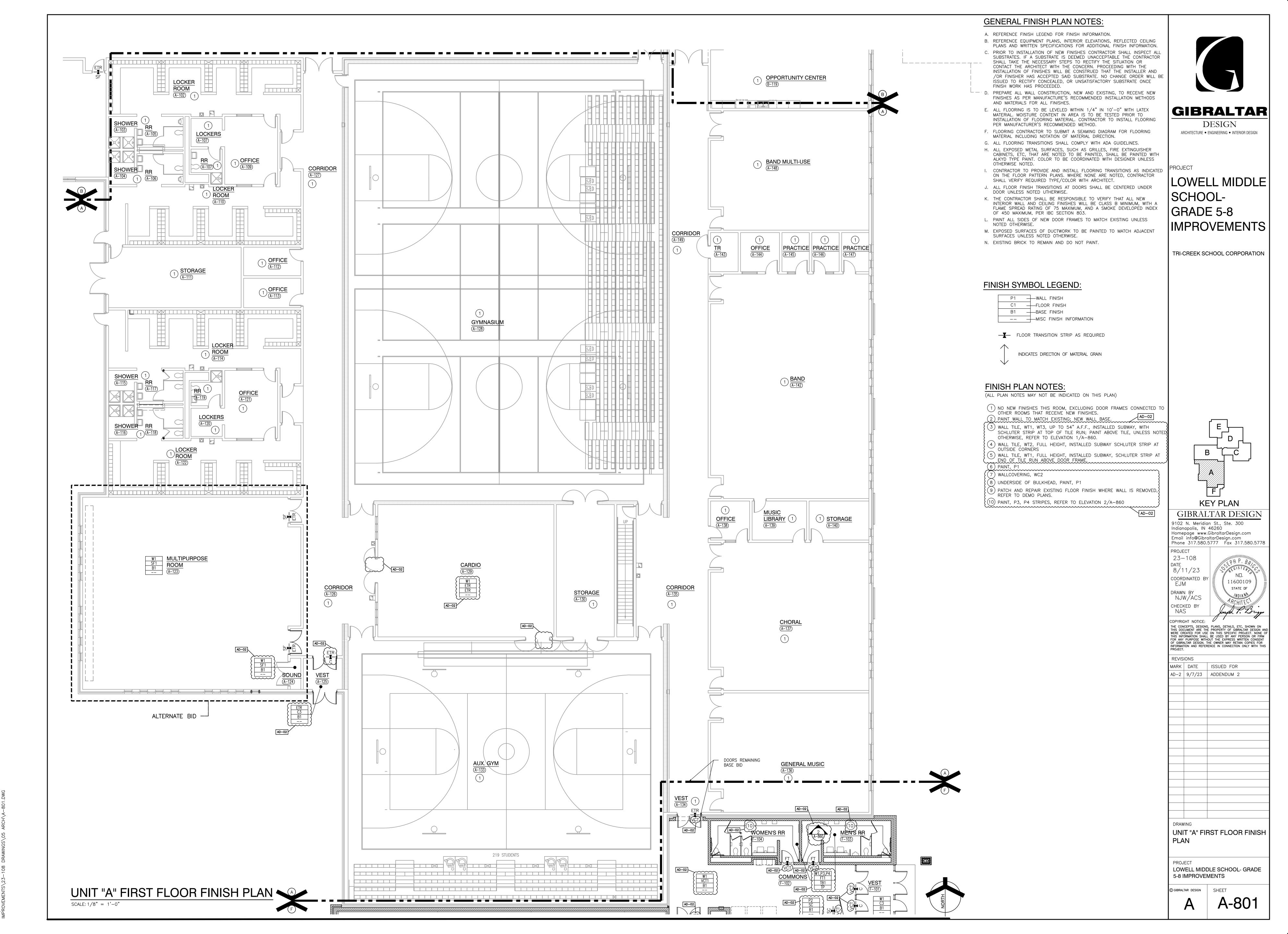
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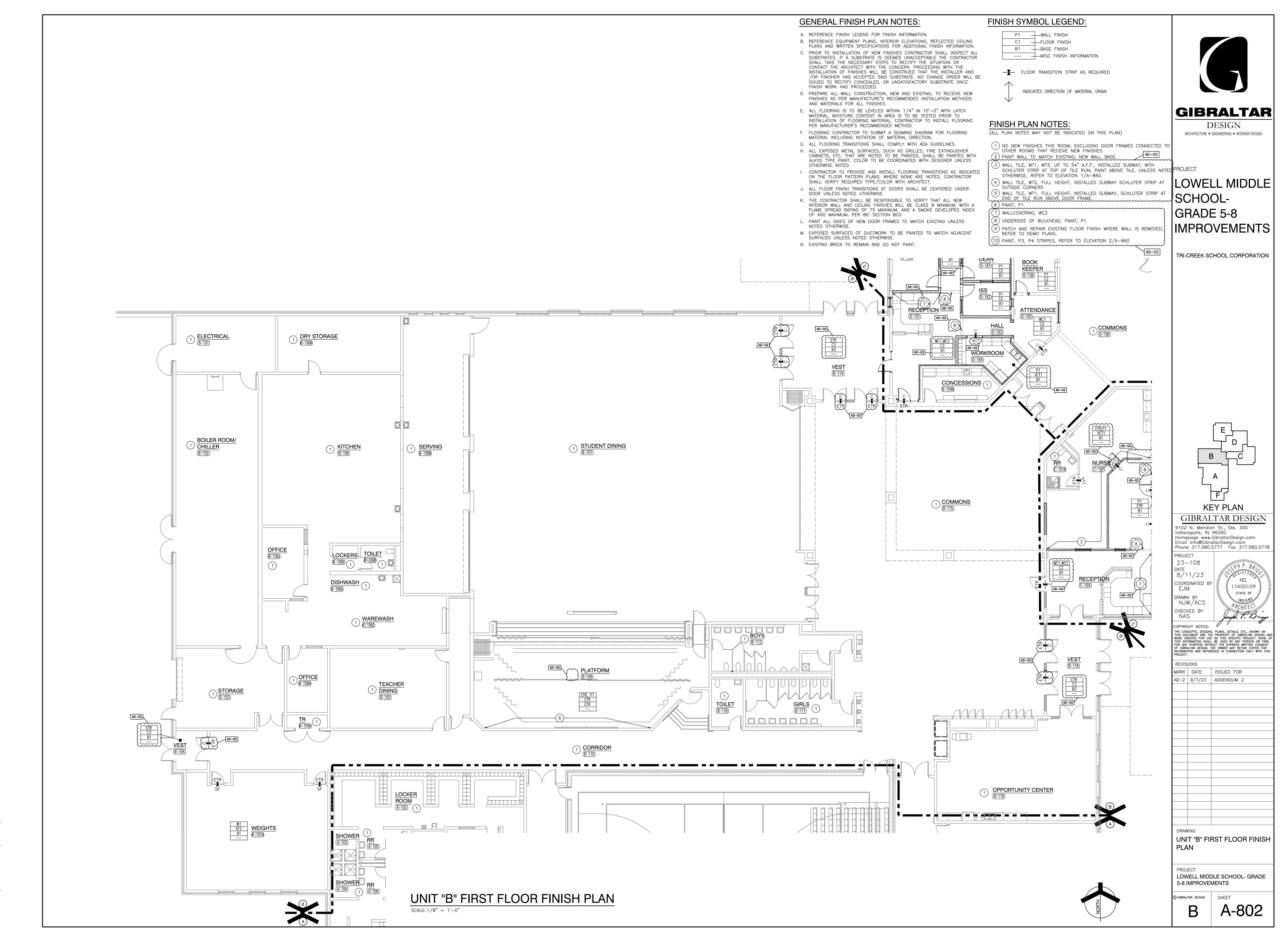
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UNIT "F" FIRST FLOOR FINISH

PROJECT
LOWELL MIDDLE SCHOOL- GRADE
5-8 IMPROVEMENTS

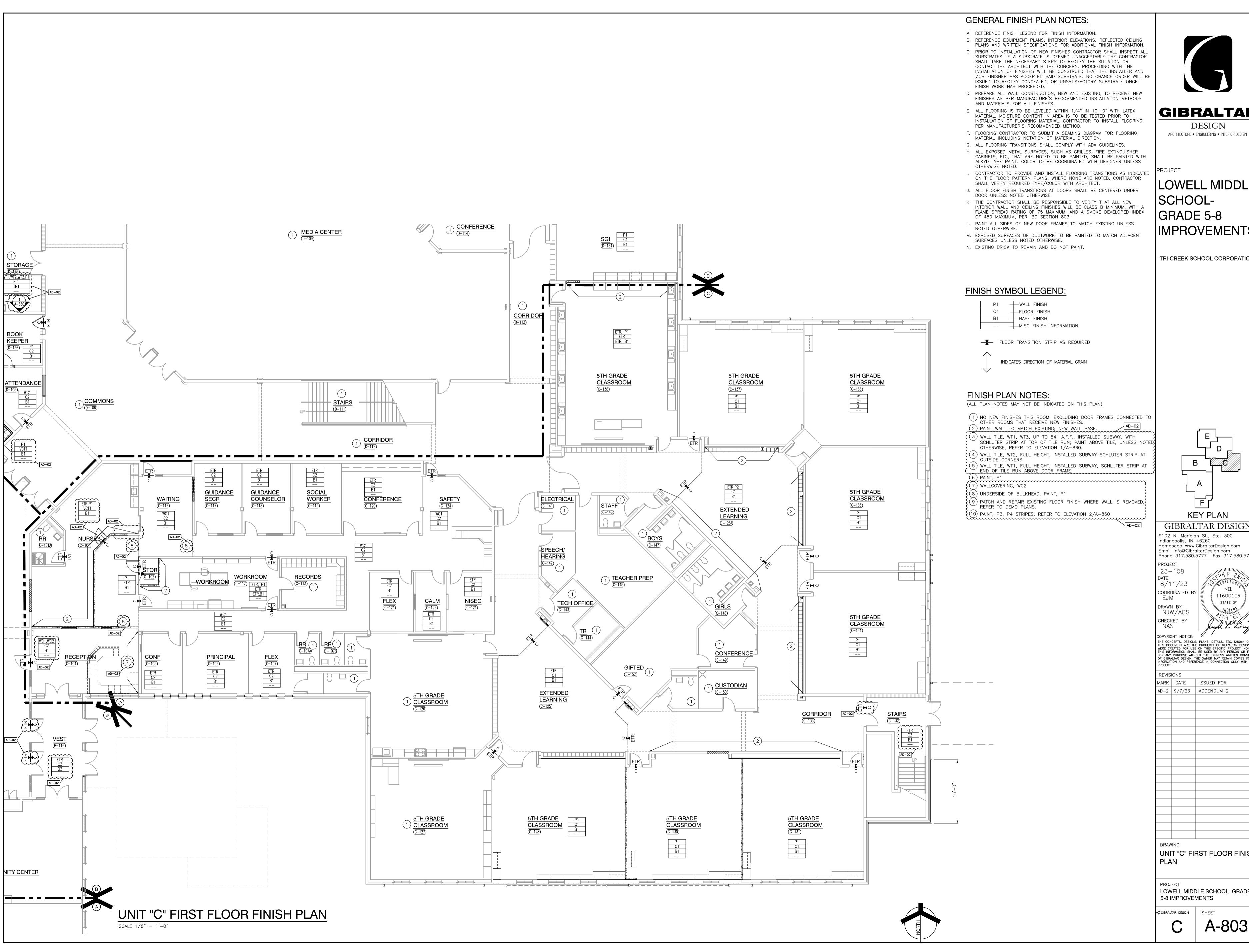
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LOWELL MIDDLE SCHOOL-GRADE 5-8 **IMPROVEMENTS**

TRI-CREEK SCHOOL CORPORATION

KEY PLAN GIBRALTAR DESIGN

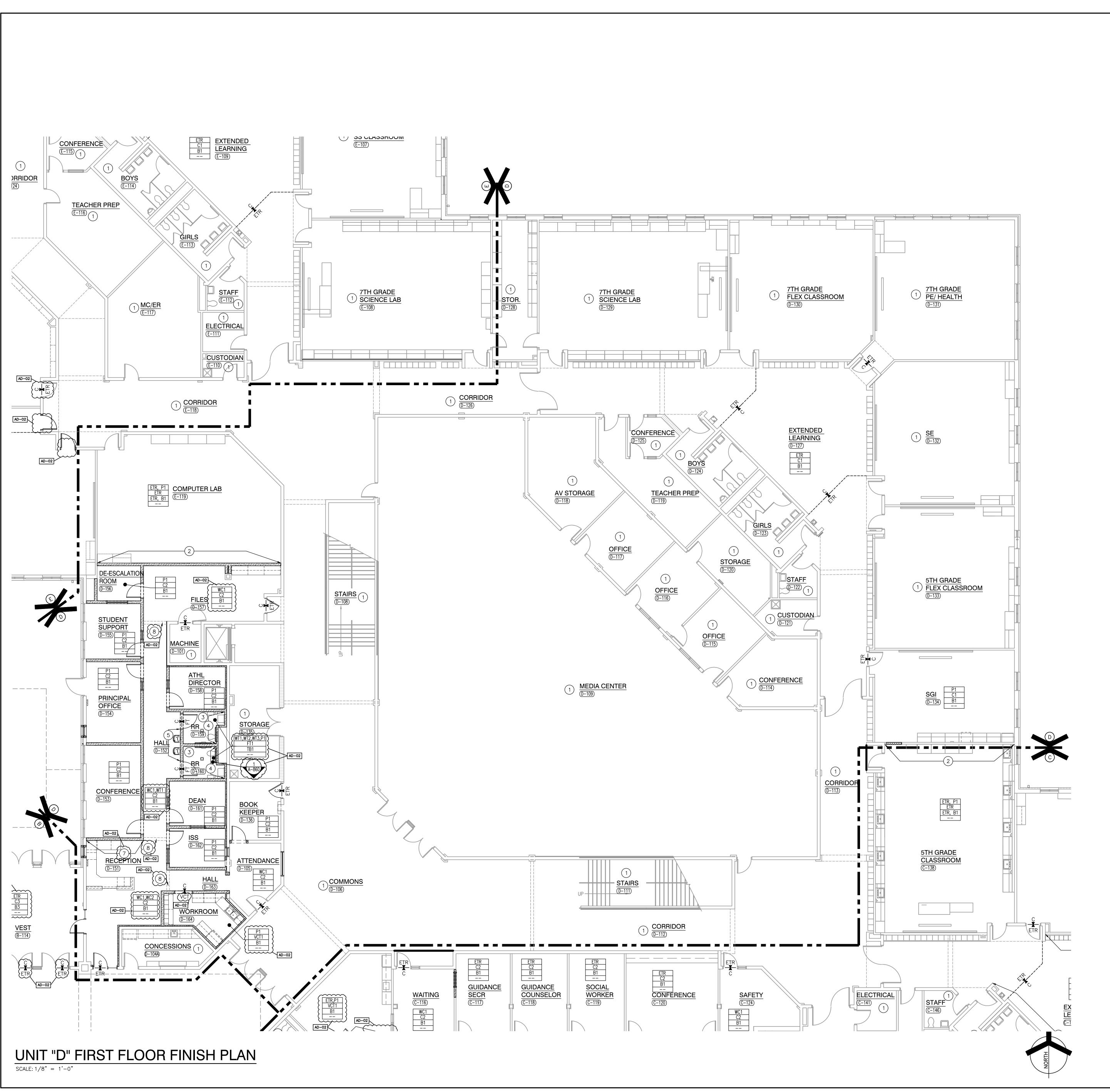
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UNIT "C" FIRST FLOOR FINISH

LOWELL MIDDLE SCHOOL- GRADE 5-8 IMPROVEMENTS



GENERAL FINISH PLAN NOTES:

- REFERENCE FINISH LECEND FOR FINISH INFORMATION
- A. REFERENCE FINISH LEGEND FOR FINISH INFORMATION.

 B. REFERENCE EQUIPMENT PLANS, INTERIOR ELEVATIONS, REFLECTED CEILING
- PLANS AND WRITTEN SPECIFICATIONS FOR ADDITIONAL FINISH INFORMATION.

 C. PRIOR TO INSTALLATION OF NEW FINISHES CONTRACTOR SHALL INSPECT ALL SUBSTRATES. IF A SUBSTRATE IS DEEMED UNACCEPTABLE THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO RECTIFY THE SITUATION OR CONTACT THE ARCHITECT WITH THE CONCERN. PROCEEDING WITH THE INSTALLATION OF FINISHES WILL BE CONSTRUED THAT THE INSTALLER AND /OR FINISHER HAS ACCEPTED SAID SUBSTRATE. NO CHANGE ORDER WILL BE ISSUED TO RECTIFY CONCEALED, OR UNSATISFACTORY SUBSTRATE ONCE FINISH WORK HAS PROCEEDED.
- D. PREPARE ALL WALL CONSTRUCTION, NEW AND EXISTING, TO RECEIVE NEW FINISHES AS PER MANUFACTURE'S RECOMMENDED INSTALLATION METHODS AND MATERIALS FOR ALL FINISHES.
- E. ALL FLOORING IS TO BE LEVELED WITHIN 1/4" IN 10'-0" WITH LATEX MATERIAL. MOISTURE CONTENT IN AREA IS TO BE TESTED PRIOR TO INSTALLATION OF FLOORING MATERIAL. CONTRACTOR TO INSTALL FLOORING
- PER MANUFACTURER'S RECOMMENDED METHOD.

 F. FLOORING CONTRACTOR TO SUBMIT A SEAMING DIAGRAM FOR FLOORING MATERIAL INCLUDING NOTATION OF MATERIAL DIRECTION.
- G. ALL FLOORING TRANSITIONS SHALL COMPLY WITH ADA GUIDELINES.
- H. ALL EXPOSED METAL SURFACES, SUCH AS GRILLES, FIRE EXTINGUISHER CABINETS, ETC, THAT ARE NOTED TO BE PAINTED, SHALL BE PAINTED WITH ALKYD TYPE PAINT. COLOR TO BE COORDINATED WITH DESIGNER UNLESS OTHERWISE NOTED.
- I. CONTRACTOR TO PROVIDE AND INSTALL FLOORING TRANSITIONS AS INDICATED ON THE FLOOR PATTERN PLANS. WHERE NONE ARE NOTED, CONTRACTOR SHALL VERIFY REQUIRED TYPE/COLOR WITH ARCHITECT.
- J. ALL FLOOR FINISH TRANSITIONS AT DOORS SHALL BE CENTERED UNDER DOOR UNLESS NOTED UTHERWISE.
- K. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL NEW INTERIOR WALL AND CEILING FINISHES WILL BE CLASS B MINIMUM, WITH A FLAME SPREAD RATING OF 75 MAXIMUM, AND A SMOKE DEVELOPED INDEX
- L. PAINT ALL SIDES OF NEW DOOR FRAMES TO MATCH EXISTING UNLESS NOTED OTHERWISE.
- M. EXPOSED SURFACES OF DUCTWORK TO BE PAINTED TO MATCH ADJACENT
- SURFACES UNLESS NOTED OTHERWISE.

 N. EXISTING BRICK TO REMAIN AND DO NOT PAINT.

OF 450 MAXIMUM, PER IBC SECTION 803.

FINISH SYMBOL LEGEND:

P1 — WALL FINISH

C1 — FLOOR FINISH

B1 — BASE FINISH

-- MISC FINISH INFORMATION

FLOOR TRANSITION STRIP AS REQUIRED

INDICATES DIRECTION OF MATERIAL GRAIN

FINISH PLAN NOTES:

(ALL PLAN NOTES MAY NOT BE INDICATED ON THIS PLAN)

1) NO NEW FINISHES THIS ROOM, EXCLUDING DOOR FRAMES CONNECTED TO OTHER ROOMS THAT RECEIVE NEW FINISHES.

2) PAINT WALL TO MATCH EXISTING; NEW WALL BASE.

3) WALL TILE, WT1, WT3, UP TO 54" A.F.F., INSTALLED SUBWAY, WITH SCHLUTER STRIP AT TOP OF TILE RUN; PAINT ABOVE TILE, UNLESS NOTED

OTHERWISE, REFER TO ELEVATION 1/A-860.

(4) WALL TILE, WT2, FULL HEIGHT, INSTALLED SUBWAY SCHLUTER STRIP AT

OUTSIDE CORNERS

5 WALL TILE, WT1, FULL HEIGHT, INSTALLED SUBWAY, SCHLUTER STRIP AT END OF TILE RUN ABOVE DOOR FRAME.

WALLCOVERING, WC2

6) PAINT, P1

8) UNDERSIDE OF BULKHEAD, PAINT, P1

9 PATCH AND REPAIR EXISTING FLOOR FINISH WHERE WALL IS REMOVED,

REFER TO DEMO PLANS.

(10) PAINT, P3, P4 STRIPES, REFER TO ELEVATION 2/A-860

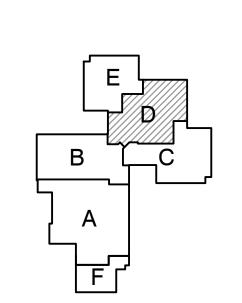
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LOWELL MIDDLE SCHOOL-GRADE 5-8 IMPROVEMENTS

TRI-CREEK SCHOOL CORPORATION



KEY PLAN
GIBRALTAR DESIGN

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Phone 317.580.5777 Fax 317.580.5778

PROJECT
23-108
DATE
8/11/23

11600109

8/11/23
COORDINATED BY EJM
DRAWN BY NJW/ACS

CHECKED BY
NAS

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AD-2 9/7/23 ADDENDUM 2

DRAWING

UNIT "D" FIRST FLOOR FINISH

PROJECT
LOWELL MIDDLE SCHOOL- GRADE
5-8 IMPROVEMENTS

) GIBRALTAR DESIGN

7TH GRADE 7TH GRADE 7TH GRADE ELA CLASSROOM ELA CLASSROOM MATH CLASSROOM 1 <u>SE</u> (E-104) 1 TH GRADE SS CLASSROOM CONFERENCE CORRIDOR BOYS (E-114) SCIENCE LAB CUSTODIAN HUMANITIES STAIRS (D-108) ______

GENERAL FINISH PLAN NOTES:

- A. REFERENCE FINISH LEGEND FOR FINISH INFORMATION. B. REFERENCE EQUIPMENT PLANS, INTERIOR ELEVATIONS, REFLECTED CEILING
- PLANS AND WRITTEN SPECIFICATIONS FOR ADDITIONAL FINISH INFORMATION. C. PRIOR TO INSTALLATION OF NEW FINISHES CONTRACTOR SHALL INSPECT ALL SUBSTRATES. IF A SUBSTRATE IS DEEMED UNACCEPTABLE THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO RECTIFY THE SITUATION OR CONTACT THE ARCHITECT WITH THE CONCERN. PROCEEDING WITH THE INSTALLATION OF FINISHES WILL BE CONSTRUED THAT THE INSTALLER AND OR FINISHER HAS ACCEPTED SAID SUBSTRATE. NO CHANGE ORDER WILL BE ISSUED TO RECTIFY CONCEALED, OR UNSATISFACTORY SUBSTRATE ONCE FINISH WORK HAS PROCEEDED.
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- PER MANUFACTURER'S RECOMMENDED METHOD. F. FLOORING CONTRACTOR TO SUBMIT A SEAMING DIAGRAM FOR FLOORING
- MATERIAL INCLUDING NOTATION OF MATERIAL DIRECTION. G. ALL FLOORING TRANSITIONS SHALL COMPLY WITH ADA GUIDELINES. H. ALL EXPOSED METAL SURFACES, SUCH AS GRILLES, FIRE EXTINGUISHER
- CABINETS, ETC, THAT ARE NOTED TO BE PAINTED, SHALL BE PAINTED WITH ALKYD TYPE PAINT. COLOR TO BE COORDINATED WITH DESIGNER UNLESS OTHERWISE NOTED.
- I. CONTRACTOR TO PROVIDE AND INSTALL FLOORING TRANSITIONS AS INDICATED ON THE FLOOR PATTERN PLANS. WHERE NONE ARE NOTED, CONTRACTOR SHALL VERIFY REQUIRED TYPE/COLOR WITH ARCHITECT.
- J. ALL FLOOR FINISH TRANSITIONS AT DOORS SHALL BE CENTERED UNDER DOOR UNLESS NOTED UTHERWISE.
- K. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL NEW INTERIOR WALL AND CEILING FINISHES WILL BE CLASS B MINIMUM, WITH A FLAME SPREAD RATING OF 75 MAXIMUM, AND A SMOKE DEVELOPED INDEX OF 450 MAXIMUM, PER IBC SECTION 803.
- L. PAINT ALL SIDES OF NEW DOOR FRAMES TO MATCH EXISTING UNLESS NOTED OTHERWISE.
- M. EXPOSED SURFACES OF DUCTWORK TO BE PAINTED TO MATCH ADJACENT SURFACES UNLESS NOTED OTHERWISE.
- N. EXISTING BRICK TO REMAIN AND DO NOT PAINT.

FINISH SYMBOL LEGEND:

P1 — WALL FINISH C1 —FLOOR FINISH B1 BASE FINISH -- MISC FINISH INFORMATION

FLOOR TRANSITION STRIP AS REQUIRED

INDICATES DIRECTION OF MATERIAL GRAIN

FINISH PLAN NOTES:

(ALL PLAN NOTES MAY NOT BE INDICATED ON THIS PLAN)

(1) NO NEW FINISHES THIS ROOM, EXCLUDING DOOR FRAMES CONNECTED TO OTHER ROOMS THAT RECEIVE NEW FINISHES. $^{
m 2})$ paint wall to match existing; new wall base.) WALL TILE, WT1, WT3, UP TO 54" A.F.F., INSTALLED SUBWAY, WITH SCHLUTER STRIP AT TOP OF TILE RUN; PAINT ABOVE TILE, UNLESS NOTED

OTHERWISE, REFER TO ELEVATION 1/A-860. WALL TILE, WT2, FULL HEIGHT, INSTALLED SUBWAY SCHLUTER STRIP AT OUTSIDE CORNERS

WALL TILE, WT1, FULL HEIGHT, INSTALLED SUBWAY, SCHLUTER STRIP AT END OF TILE RUN ABOVE DOOR FRAME.

) WALLCOVERING, WC2

6) PAINT, P1

8) UNDERSIDE OF BULKHEAD, PAINT, P1 9) PATCH AND REPAIR EXISTING FLOOR FINISH WHERE WALL IS REMOVED, REFER TO DEMO PLANS.

0) PAINT, P3, P4 STRIPES, REFER TO ELEVATION 2/A-860

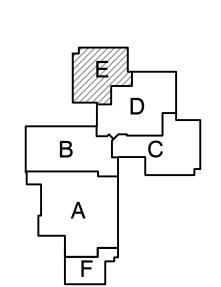
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ARCHITECTURE • ENGINEERING • INTERIOR DESIGN

LOWELL MIDDLE SCHOOL-GRADE 5-8 **IMPROVEMENTS**

TRI-CREEK SCHOOL CORPORATION



KEY PLAN GIBRALTAR DESIGN

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Email info@GibraltarDesign.com
Phone 317.580.5777 Fax 317.580.5778

PROJECT 23-108 8/11/23 COORDINATED B' 11600109 STATE OF DRAWN BY NJW/ACS

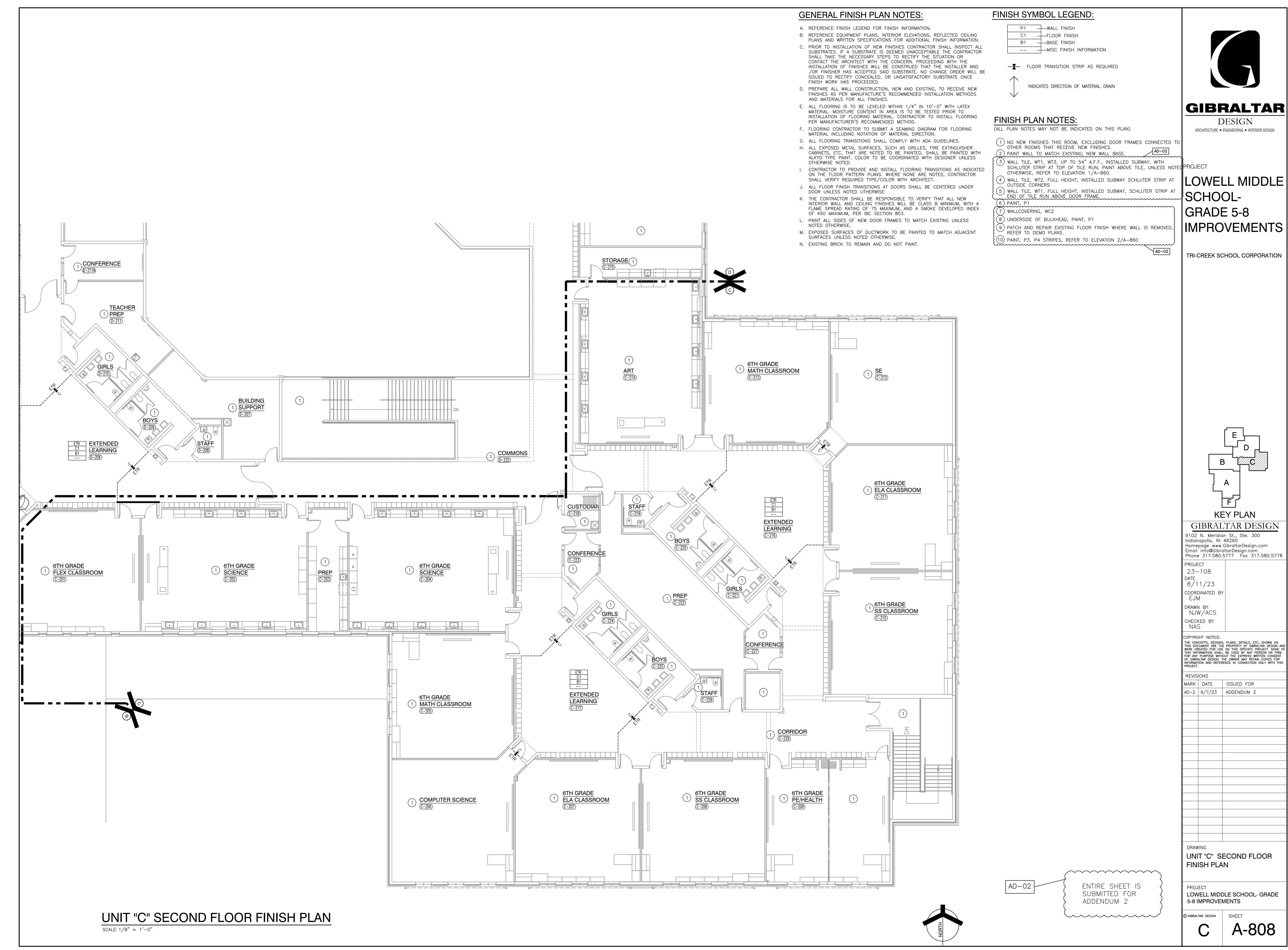
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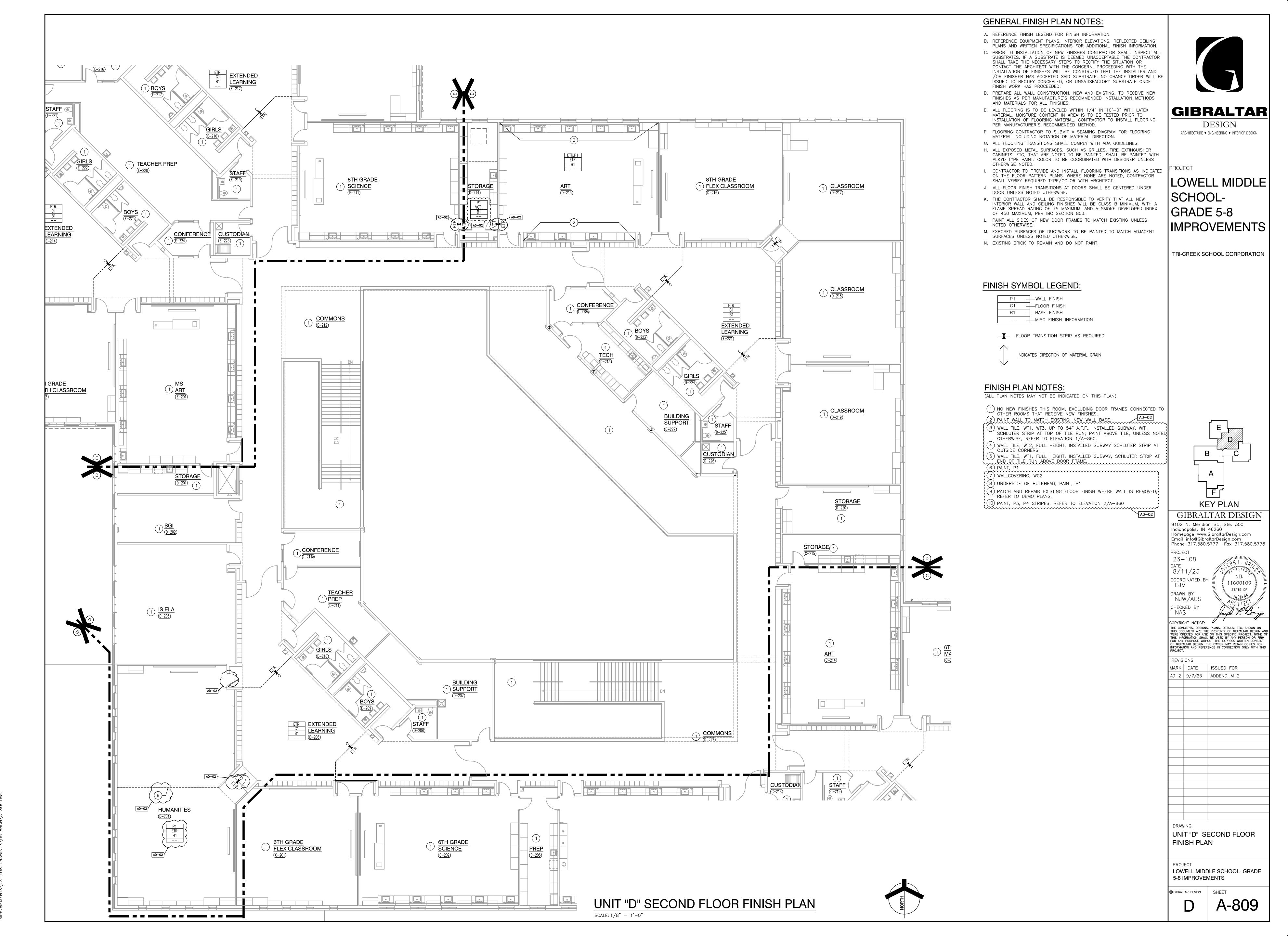
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MARK DATE ISSUED FOR AD-2 9/7/23 | ADDENDUM 2

UNIT "E" FIRST FLOOR FINISH

LOWELL MIDDLE SCHOOL- GRADE 5-8 IMPROVEMENTS





Thursday, 9/7/2023 — 2:56 PM — LAST SAVED BY:ASCOTT Y:\23—108 TRI—CREEK SC — LOWELL MS 5—8

GENERAL FINISH PLAN NOTES:

- A. REFERENCE FINISH LEGEND FOR FINISH INFORMATION. B. REFERENCE EQUIPMENT PLANS, INTERIOR ELEVATIONS, REFLECTED CEILING
- PLANS AND WRITTEN SPECIFICATIONS FOR ADDITIONAL FINISH INFORMATION. C. PRIOR TO INSTALLATION OF NEW FINISHES CONTRACTOR SHALL INSPECT ALL SUBSTRATES. IF A SUBSTRATE IS DEEMED UNACCEPTABLE THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO RECTIFY THE SITUATION OR CONTACT THE ARCHITECT WITH THE CONCERN. PROCEEDING WITH THE INSTALLATION OF FINISHES WILL BE CONSTRUED THAT THE INSTALLER AND OR FINISHER HAS ACCEPTED SAID SUBSTRATE. NO CHANGE ORDER WILL BE ISSUED TO RECTIFY CONCEALED, OR UNSATISFACTORY SUBSTRATE ONCE FINISH WORK HAS PROCEEDED.
- D. PREPARE ALL WALL CONSTRUCTION, NEW AND EXISTING, TO RECEIVE NEW FINISHES AS PER MANUFACTURE'S RECOMMENDED INSTALLATION METHODS AND MATERIALS FOR ALL FINISHES.
- E. ALL FLOORING IS TO BE LEVELED WITHIN 1/4" IN 10'-0" WITH LATEX MATERIAL. MOISTURE CONTENT IN AREA IS TO BE TESTED PRIOR TO INSTALLATION OF FLOORING MATERIAL. CONTRACTOR TO INSTALL FLOORING PER MANUFACTURER'S RECOMMENDED METHOD.
- F. FLOORING CONTRACTOR TO SUBMIT A SEAMING DIAGRAM FOR FLOORING MATERIAL INCLUDING NOTATION OF MATERIAL DIRECTION.
- G. ALL FLOORING TRANSITIONS SHALL COMPLY WITH ADA GUIDELINES. H. ALL EXPOSED METAL SURFACES, SUCH AS GRILLES, FIRE EXTINGUISHER CABINETS, ETC, THAT ARE NOTED TO BE PAINTED, SHALL BE PAINTED WITH ALKYD TYPE PAINT. COLOR TO BE COORDINATED WITH DESIGNER UNLESS
- OTHERWISE NOTED. I. CONTRACTOR TO PROVIDE AND INSTALL FLOORING TRANSITIONS AS INDICATED ON THE FLOOR PATTERN PLANS. WHERE NONE ARE NOTED, CONTRACTOR
- SHALL VERIFY REQUIRED TYPE/COLOR WITH ARCHITECT. J. ALL FLOOR FINISH TRANSITIONS AT DOORS SHALL BE CENTERED UNDER DOOR UNLESS NOTED UTHERWISE.
- K. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL NEW INTERIOR WALL AND CEILING FINISHES WILL BE CLASS B MINIMUM, WITH A FLAME SPREAD RATING OF 75 MAXIMUM, AND A SMOKE DEVELOPED INDEX OF 450 MAXIMUM, PER IBC SECTION 803.
- L. PAINT ALL SIDES OF NEW DOOR FRAMES TO MATCH EXISTING UNLESS
- M. EXPOSED SURFACES OF DUCTWORK TO BE PAINTED TO MATCH ADJACENT SURFACES UNLESS NOTED OTHERWISE.
- N. EXISTING BRICK TO REMAIN AND DO NOT PAINT.

FINISH SYMBOL LEGEND:

P1 — WALL FINISH C1 —FLOOR FINISH B1 —BASE FINISH -- MISC FINISH INFORMATION

FLOOR TRANSITION STRIP AS REQUIRED

INDICATES DIRECTION OF MATERIAL GRAIN

FINISH PLAN NOTES:

(ALL PLAN NOTES MAY NOT BE INDICATED ON THIS PLAN)

(1) NO NEW FINISHES THIS ROOM, EXCLUDING DOOR FRAMES CONNECTED TO OTHER ROOMS THAT RECEIVE NEW FINISHES. $^{
m 2})$ paint wall to match existing; new wall base.) WALL TILE, WT1, WT3, UP TO 54" A.F.F., INSTALLED SUBWAY, WITH SCHLUTER STRIP AT TOP OF TILE RUN; PAINT ABOVE TILE, UNLESS NOTED

OTHERWISE, REFER TO ELEVATION 1/A-860. WALL TILE, WT2, FULL HEIGHT, INSTALLED SUBWAY SCHLUTER STRIP AT OUTSIDE CORNERS

) WALL TILE, WT1, FULL HEIGHT, INSTALLED SUBWAY, SCHLUTER STRIP AT END OF TILE RUN ABOVE DOOR FRAME. 6) PAINT, P1

) WALLCOVERING, WC2

8) UNDERSIDE OF BULKHEAD, PAINT, P1

9) PATCH AND REPAIR EXISTING FLOOR FINISH WHERE WALL IS REMOVED, REFER TO DEMO PLANS.

0) PAINT, P3, P4 STRIPES, REFER TO ELEVATION 2/A-860

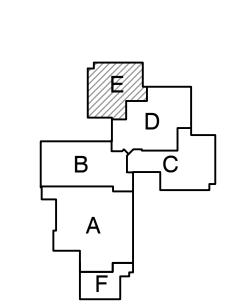
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DESIGN

LOWELL MIDDLE SCHOOL-GRADE 5-8 **IMPROVEMENTS**

TRI-CREEK SCHOOL CORPORATION



KEY PLAN GIBRALTAR DESIGN

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23-108 8/11/23

COORDINATED BY EJM DRAWN BY NJW/ACS CHECKED BY

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MARK DATE ISSUED FOR $AD-2 \mid 9/7/23 \mid ADDENDUM 2$

UNIT "E" SECOND FLOOR

FINISH PLAN

LOWELL MIDDLE SCHOOL- GRADE

ENTIRE SHEET IS SUBMITTED FOR ADDENDUM 2 5-8 IMPROVEMENTS

A-810

y, 9/7/2023 — 2:57 PM — LAST SAVED BY 108 TRI—CREEK SC — LOWELL MS 5—8 :MENTS\23—108 DRAWINGS\05 ARCH\A—810.

				FINISH LI	EGEND			
SURFACE	MARK	DESCRIPTION	MANUFACTURER	PATTERN/FINISH	NUMBER/COLOR	SIZE	COMMENTS	
ILING MATERIA	•					<u>'</u>		
	ACT1	ACOUSTICAL CEILING	ARMSTRONG	FINE FISSURED	1728 WHITE	24" X 24"	ANGLED TEGULAR	
	P5	PAINT	SHERWIN WILLIAMS		SW 7007 CEILING BRIGHT WHITE			
ALL BASE		ļ	1				<u> </u>	
ALL BAGE	B1	VINYL BASE	TARKETT		BURNT UMBER 63	4" COVE		
	B2	VINYL BASE	TARKETT		BURNT UMBER 63	6" MILLWORK REVEAL		
	B3	VINYL BASE	TARKETT		BURNT UMBER 63	6" COVE		
	TB1	PORCELAIN TILE BASE	AMERICAN OLEAN	UNGLAZED MOSAICS	WILLOW SPECKLE 0A94	5" BUILT UP COVE	<u> </u>	
		1	1			I		GIBRALTA
OOR MATERIAL	i	1	1			1		
	C1	CARPET TILE	TARKETT	GABARDINE 11511	BEDSTONE 77204	18" X 36"	VERTICAL ASHLAR	DESIGN
	C2	CARPET TILE WALK OFF CARPET TILE	TARKETT TARKETT	APPLAUSE III 02803 ABRASIVE ACTION II 02578	FIREWORKS 28515 WINTER GREY 19103	24" X 24" 24" X 24"	MONOLITHIC MONOLITHIC	ARCHITECTURE ● ENGINEERING ● INTERIOR DESIGN
		WALK OIT OAKET TILL	TANKETT	ADIVISIVE ACTION II 02070	WINTER ONET 19190		Welverine	
	VCT1	VINYL COMPOSITION TILE	TARKETT	VCT II	573 DESERT STORM	12" X 12"		
	20	SEALED COMODETE						
	SC	SEALED CONCRETE			 			PROJECT
	SF1	ROLLED RUBBER FLOOR		ADVANCE	L92 DARK MAPLE	10MM		LOWELL MIDDL
	SF2	ROLLED RUBBER FLOOR	MONDO	SPORT IMPACT	S136 BROWN			
	FT1	FLOOR TILE	AMERICAN OLEAN	UNGLAZED MOSAICS	WILLOW SPECKLE 0A94	2" X 2"		SCHOOL-
VALL MATERIAL	S							GRADE 5-8
VALL IVIA I ERIAL	. s _{P1}	PAINT	SHERWIN WILLAIMS		CUSTOM COLOR		SEE NOTE 1	IMPROVEMENT
	P2	PAINT	SHERWIN WILLIAMS		SW 7029 AGREEABLE GRAY		SEE 11915 1	
	P3	PAINT	SHERWIN WILLIAMS		CUSTOM COLOR RED		SEE NOTE 2	
	P4 P5	PAINT SEE CEILING MATERIALS	SHERWIN WILLIAMS		SW 6990 CAVIAR			TRI-CREEK SCHOOL CORPORATION
								THEOREM SCHOOL CORPORATION
	W1	WALLCOATING	SHERWIN WILLIAMS		SW 7029 AGREEABLE GRAY			
	WC1	WALL COVERING	MOMENTUM	ON STAGE	DUSK DUET AZ53584 SG			
	WC2	WALL COVERING	MOMENTUM				PRICE AS WC1	
	WT1	CERAMIC WALL TILE	AMERICAN OLEAN	COLOR STORY WALL	STADLE OOFF	3" X 6"		
	WT2	CERAMIC WALL TILE CERAMIC WALL TILE	AMERICAN OLEAN	COLOR STORY WALL COLOR STORY WALL	STABLE 0055 STORY GREY 0040	3" X 6"	<u> </u>	
	WT3	CERAMIC WALL TILE	AMERICAN OLEAN	COLOR STORY WALL	PASSION 0019	2" X 8"		
	AR-AWP1 AR-AWP2	ACOUSTICAL PANEL ACOUSTICAL PANEL		TECTUM TECTUM	CUSTOM COLOR RED SW 6990 CAVIAR		SEE NOTE 2	
	AR-AWP3	ACOUSTICAL PANEL		TECTUM	SW 7504 KEYSTONE GRAY			
ASEWORK AND	MILLWORK							
	PL1	PLASTIC LAMINATE	WILSONART	MATTE 60	TUNGSTEN EV 4814			
	PL2	PLASTIC LAMINATE	WILSONART	MATTE 60	BURNISSHED CHESTNUT 4796			
	PL3	PLASTIC LAMINATE	NEVAMAR	TEXTURED	WHITE ESSENSE ES7001			
	PL4 PL5	PLASTIC LAMINATE PLASTIC LAMINATE	WILSONART WILSONART	FINE VELVET TEXTURE 38 FINE VELVET TEXTURE 38	RIVER CHERRY 7937 OILED SOAPSTONE 4882			
	1 LU	1 D TO LAWINATE	TILOUIVINI	THE VEEVEL TEXTOINE SO	OILLD SOM STORE TOOK			
	SS1	SOLID SURFACE	CORIAN		NEUTRAL AGGREGATE			
MISCELL ANEQUI	<u> </u>							
MISCELLANEOUS	RS1	NOT USED	 	 		- -		
	RS2	WINDOW ROLLER SHADE	МЕСНО	BLACKOUT				
	CG	CORNER GUARD						
	TRIM1	METAL TRIM WOOD DOOR STAIN	SCHLUTER	RONDEC RED OAK CLEAR STAIN	SATIN ANODIZED ALUMINUM		 	
	В	BLEACHERS	HUSSEY SEATING	TED OAK OLLAK STAIN	TITANIUM 7540C		 	
	TP	TOILET PARTITIONS	HINY HIDERS	ORANGE PEEL TEXTURE	SANDSTONE			

NOTE 1: CUSTOM COLOR TO MATCH EXISTING

NOTE 2: CUSTOM COLOR TO MATCH EXISTING RED

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MARK DATE ISSUED FOR AD-2 9/7/23 ADDENDUM 2

DRAWING FINISH LEGEND

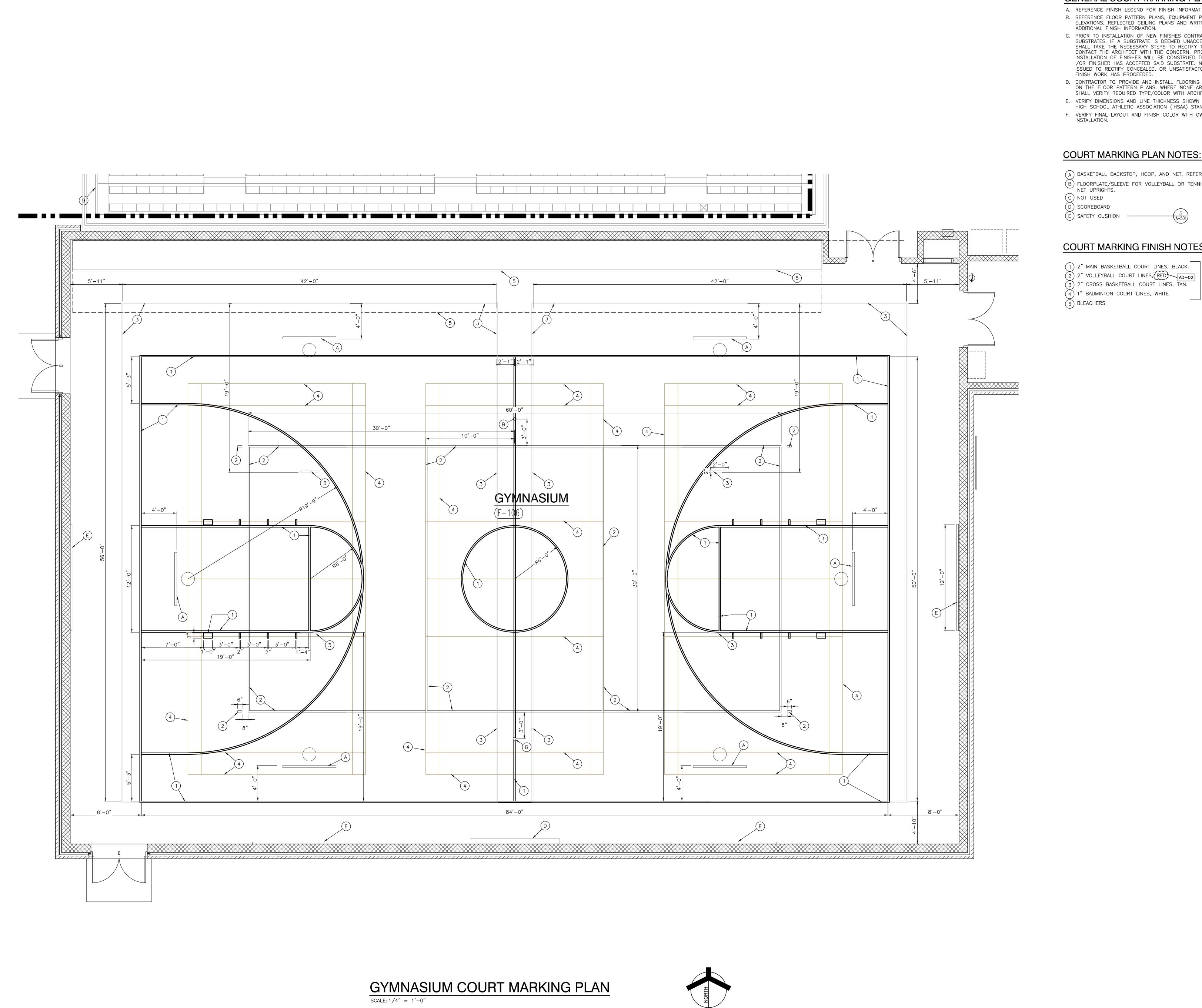
PROJECT
LOWELL MIDDLE SCHOOL- GRADE
5-8 IMPROVEMENTS

© GIBRALTAR DESIGN SHEET

A-820

Thursday, 9/7/2023 — 2:26 PM — LAST SAVED BY:ASCC Y:\23—108 TRI—CREEK SC — LOWELL MS 5—8 IMPROVEMENTS\23—108 DRAWINGS\05 ARCH\A—820.DWG

ENTIRE SHEET IS SUBMITTED FOR ADDENDUM 2



y, 9/7/2023 — 12:10 PM — LAST SAVED 108 TRI—CREEK SC — LOWELL MS 5—8 EMENTS\23—108 DRAWINGS\05 ARCH\A—84

GENERAL COURT MARKING PLAN NOTES:

- A. REFERENCE FINISH LEGEND FOR FINISH INFORMATION.
- B. REFERENCE FLOOR PATTERN PLANS, EQUIPMENT PLANS, INTERIOR ELEVATIONS, REFLECTED CEILING PLANS AND WRITTEN SPECIFICATIONS FOR ADDITIONAL FINISH INFORMATION.
- C. PRIOR TO INSTALLATION OF NEW FINISHES CONTRACTOR SHALL INSPECT ALL SUBSTRATES. IF A SUBSTRATE IS DEEMED UNACCEPTABLE THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO RECTIFY THE SITUATION OR CONTACT THE ARCHITECT WITH THE CONCERN. PROCEEDING WITH THE INSTALLATION OF FINISHES WILL BE CONSTRUED THAT THE INSTALLER AND OR FINISHER HAS ACCEPTED SAID SUBSTRATE. NO CHANGE ORDER WILL BE ISSUED TO RECTIFY CONCEALED, OR UNSATISFACTORY SUBSTRATE ONCE
- FINISH WORK HAS PROCEEDED. D. CONTRACTOR TO PROVIDE AND INSTALL FLOORING TRANSITIONS AS INDICATED ON THE FLOOR PATTERN PLANS. WHERE NONE ARE NOTED, CONTRACTOR SHALL VERIFY REQUIRED TYPE/COLOR WITH ARCHITECT.
- E. VERIFY DIMENSIONS AND LINE THICKNESS SHOWN WITH CURRENT INDIANA HIGH SCHOOL ATHLETIC ASSOCIATION (IHSAA) STANDARDS.
- F. VERIFY FINAL LAYOUT AND FINISH COLOR WITH OWNER PRIOR TO INSTALLATION.

(A) BASKETBALL BACKSTOP, HOOP, AND NET. REFER TO EQUIPMENT PLANS (B) FLOORPLATE/SLEEVE FOR VOLLEYBALL OR TENNIS NET UPRIGHTS.

(E) SAFETY CUSHION

COURT MARKING FINISH NOTES:

(1) 2" MAIN BASKETBALL COURT LINES, BLACK. 2 2" VOLLEYBALL COURT LINES, (RED) AD-02 (3) 2" CROSS BASKETBALL COURT LINES, TAN. (4) 1" BADMINTON COURT LINES, WHITE

GRADE 5-8 IMPROVEMENTS

SCHOOL-

PROJECT

TRI-CREEK SCHOOL CORPORATION

GIBRALTAR

DESIGN

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LOWELL MIDDLE

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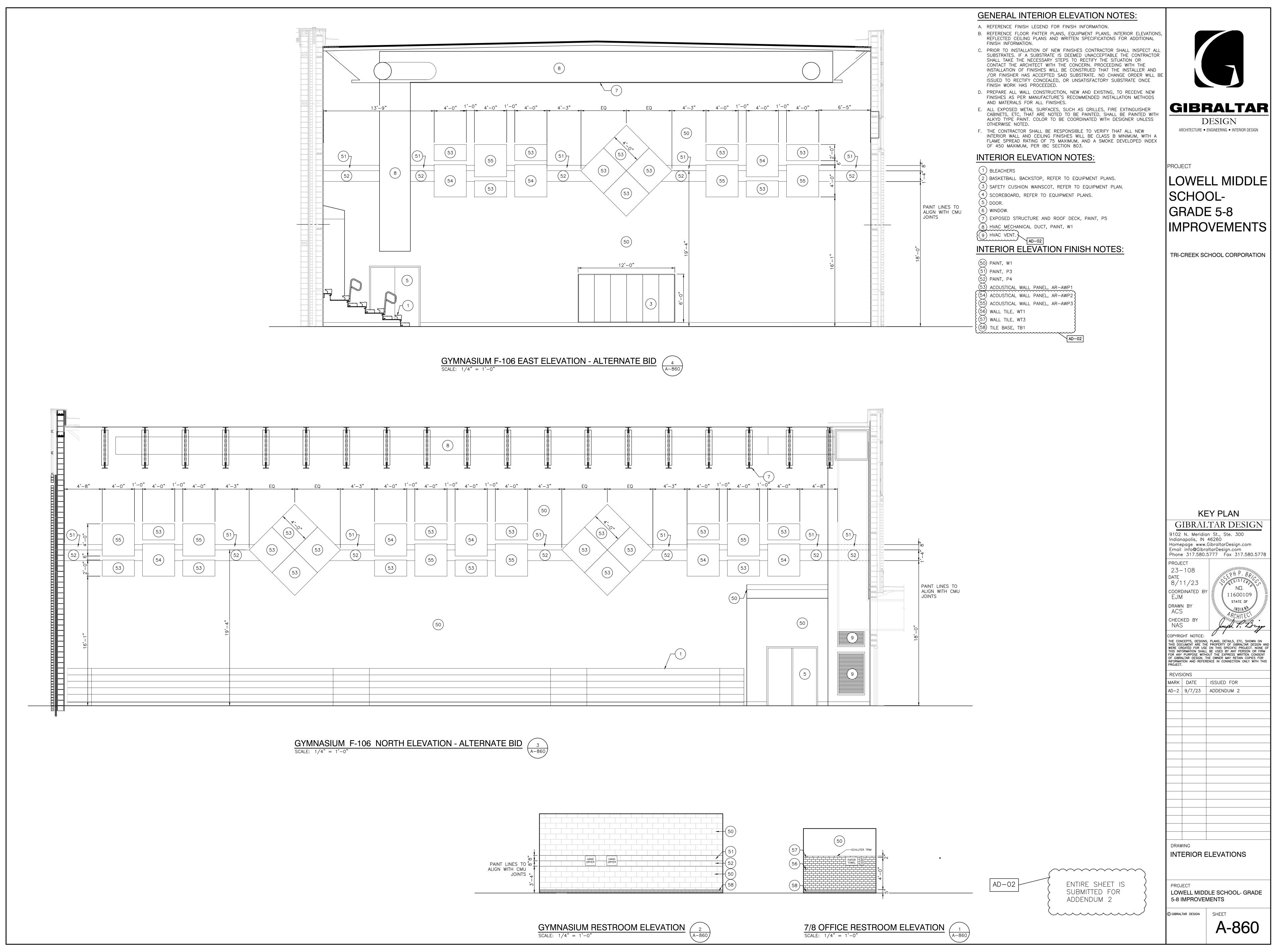
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 $AD-2 \mid 9/7/23 \mid ADDENDUM 2$

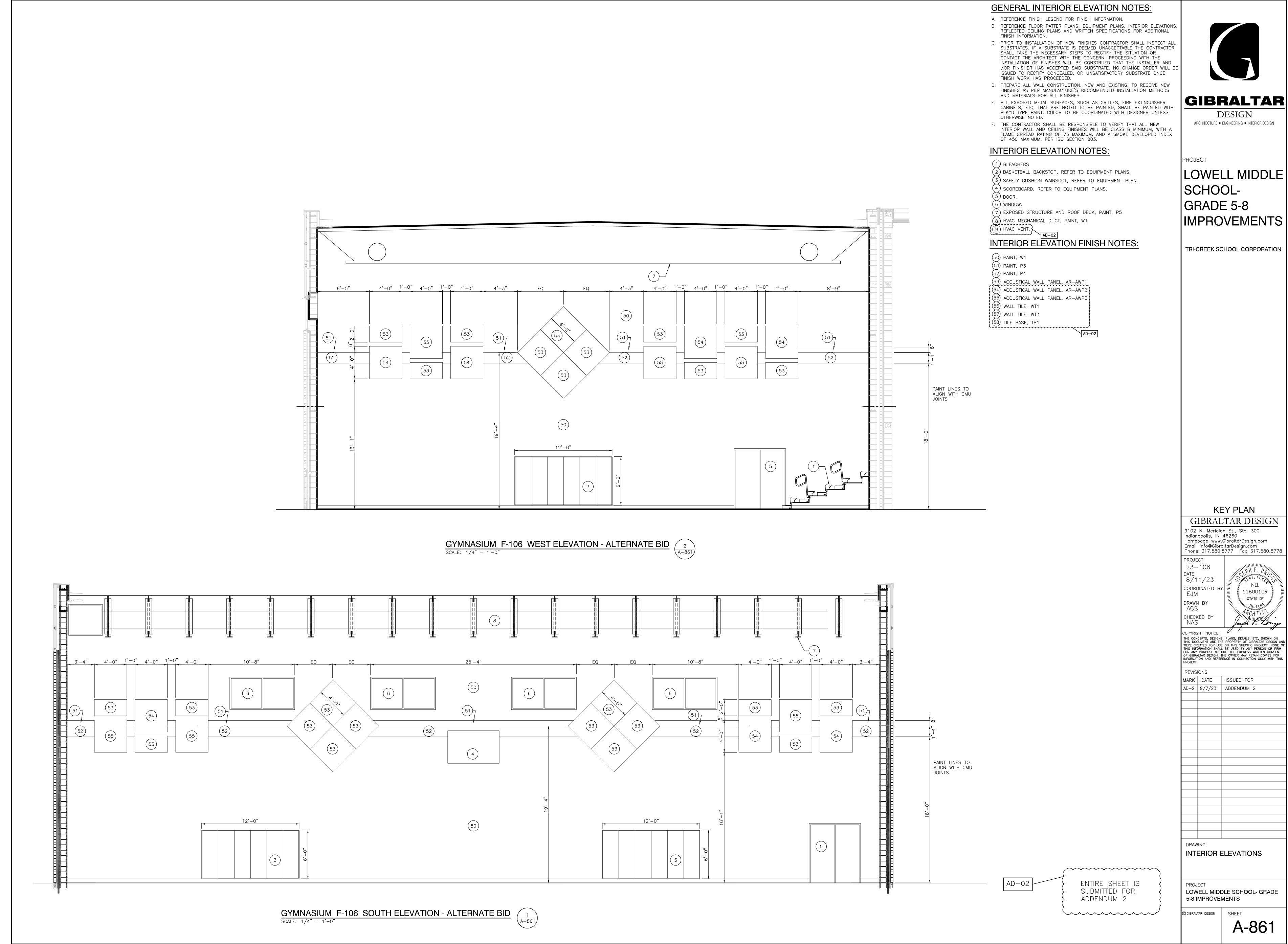
GYMNASIUM COURT MARKING PLAN

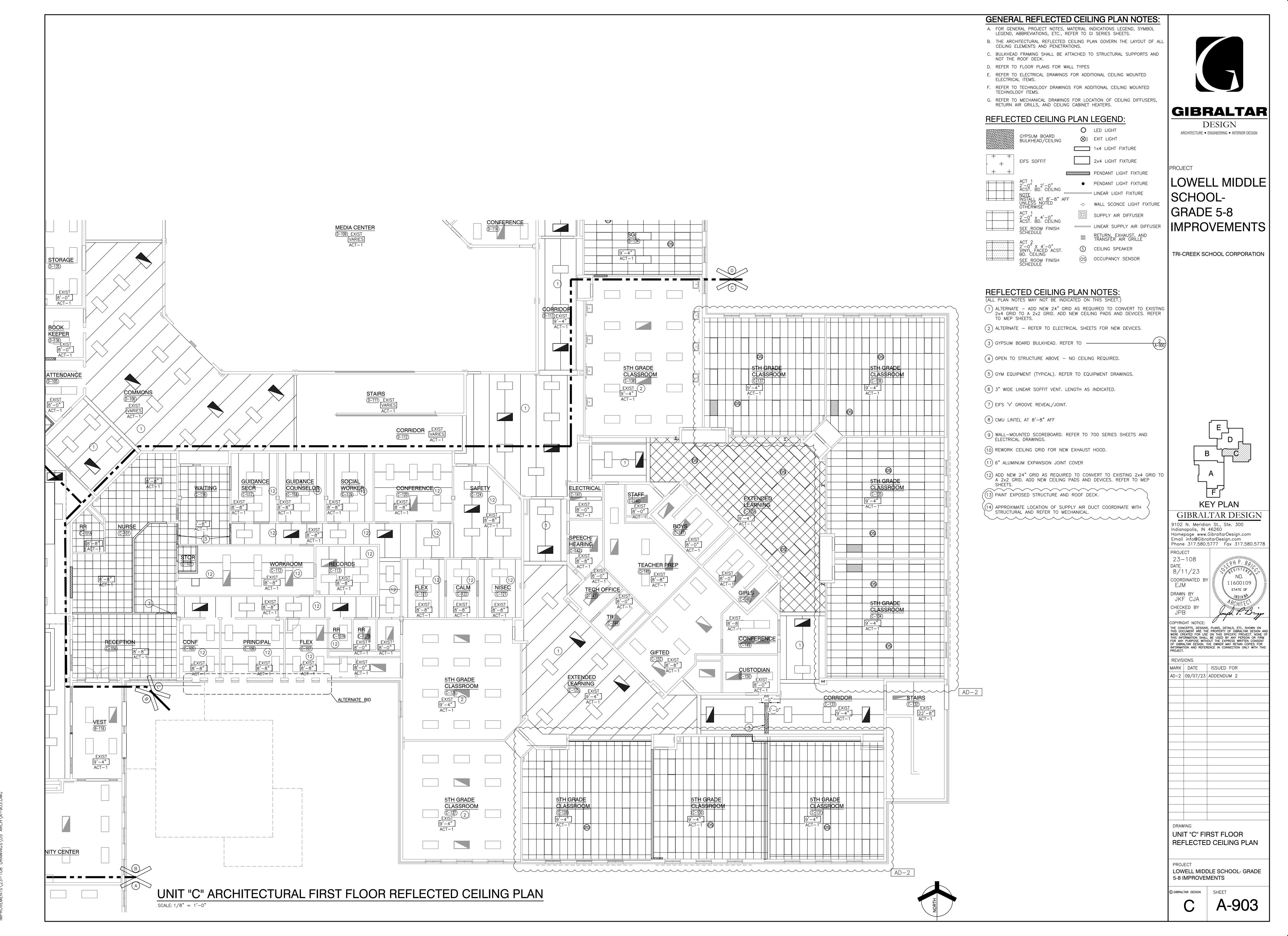
LOWELL MIDDLE SCHOOL- GRADE

5-8 IMPROVEMENTS

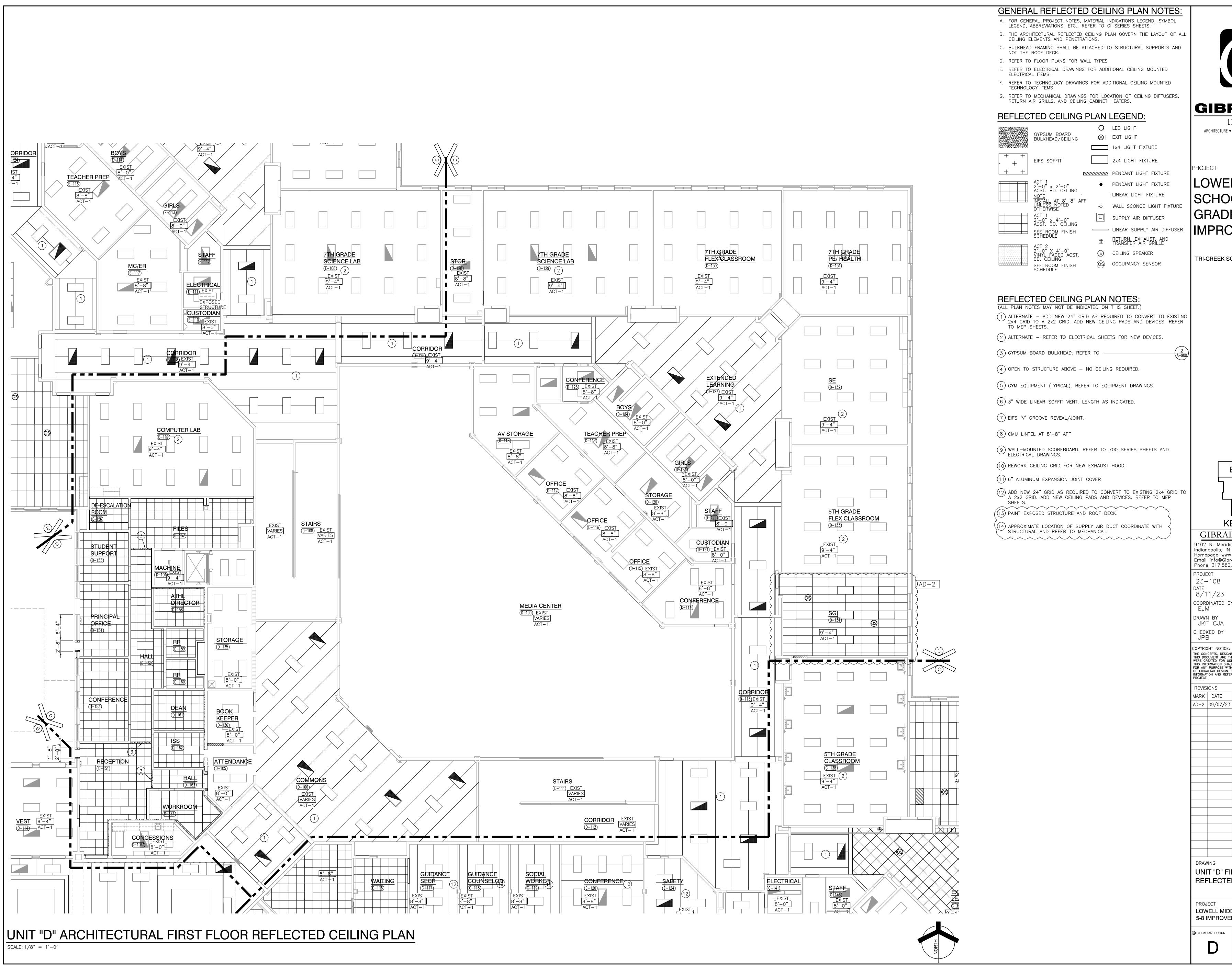


IMPROVEMENTS





Friday, 9/8/2023 — 2:04 AM — LAST SAVED BY:EMCCAULEY
Y:\23—108 TRI—CREEK SC — LOWELL MS 5—8

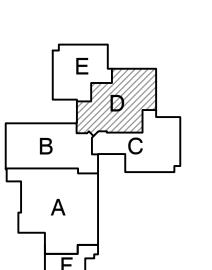


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LOWELL MIDDLE SCHOOL-GRADE 5-8 **IMPROVEMENTS**

TRI-CREEK SCHOOL CORPORATION



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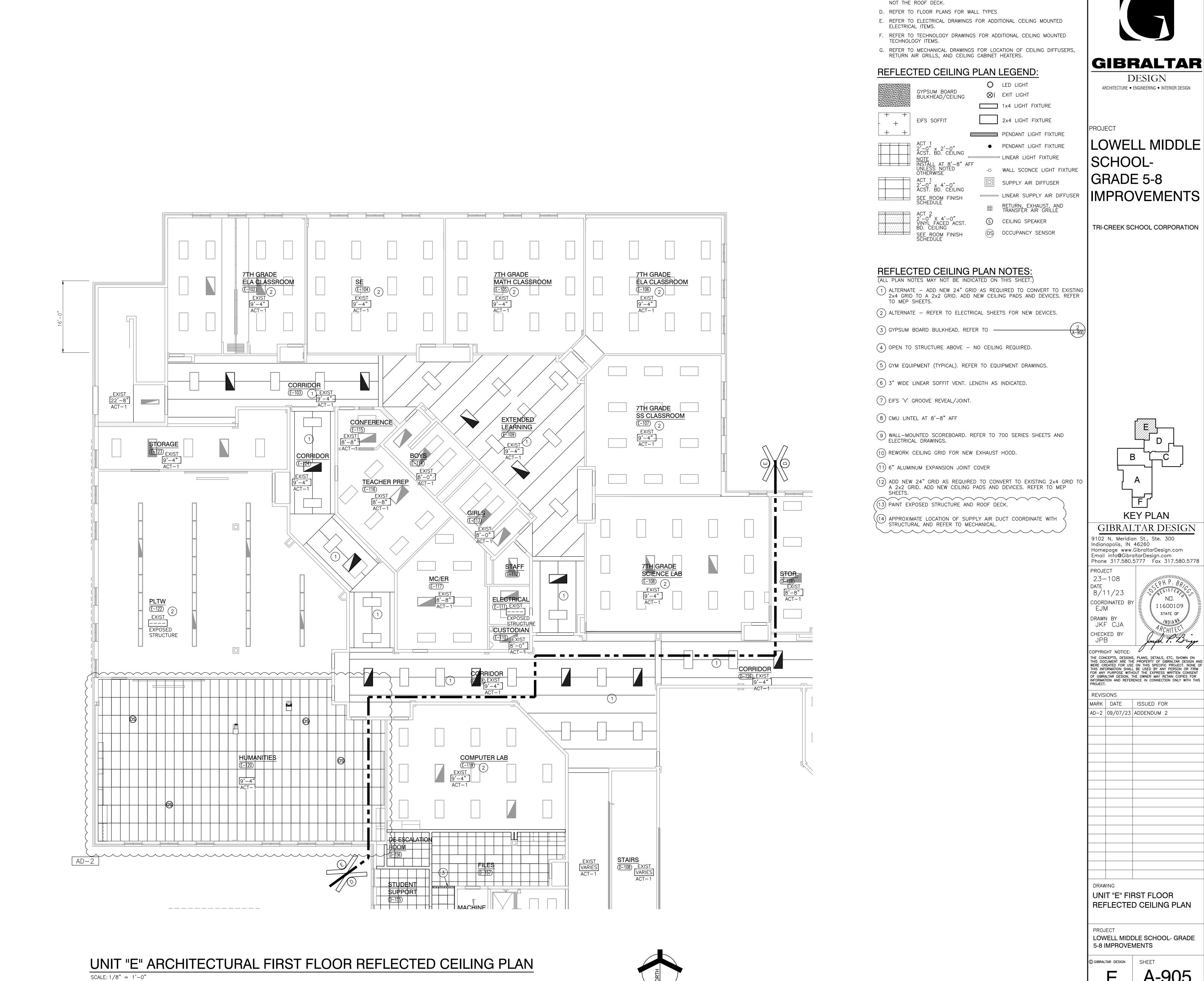
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MARK DATE ISSUED FOR AD-2 | 09/07/23 | ADDENDUM 2

UNIT "D" FIRST FLOOR REFLECTED CEILING PLAN

LOWELL MIDDLE SCHOOL- GRADE 5-8 IMPROVEMENTS



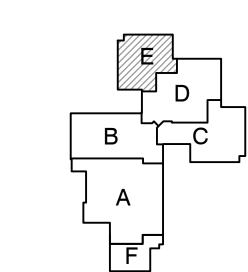
GENERAL REFLECTED CEILING PLAN NOTES:

A. FOR GENERAL PROJECT NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC., REFER TO GI SERIES SHEETS.

B. THE ARCHITECTURAL REFLECTED CEILING PLAN GOVERN THE LAYOUT OF ALL

CEILING ELEMENTS AND PENETRATIONS. C. BULKHEAD FRAMING SHALL BE ATTACHED TO STRUCTURAL SUPPORTS AND

NOT THE ROOF DECK.



DESIGN

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23-108 8/11/23 COORDINATED B'

11600109 STATE OF JKF CJA CHECKED BY

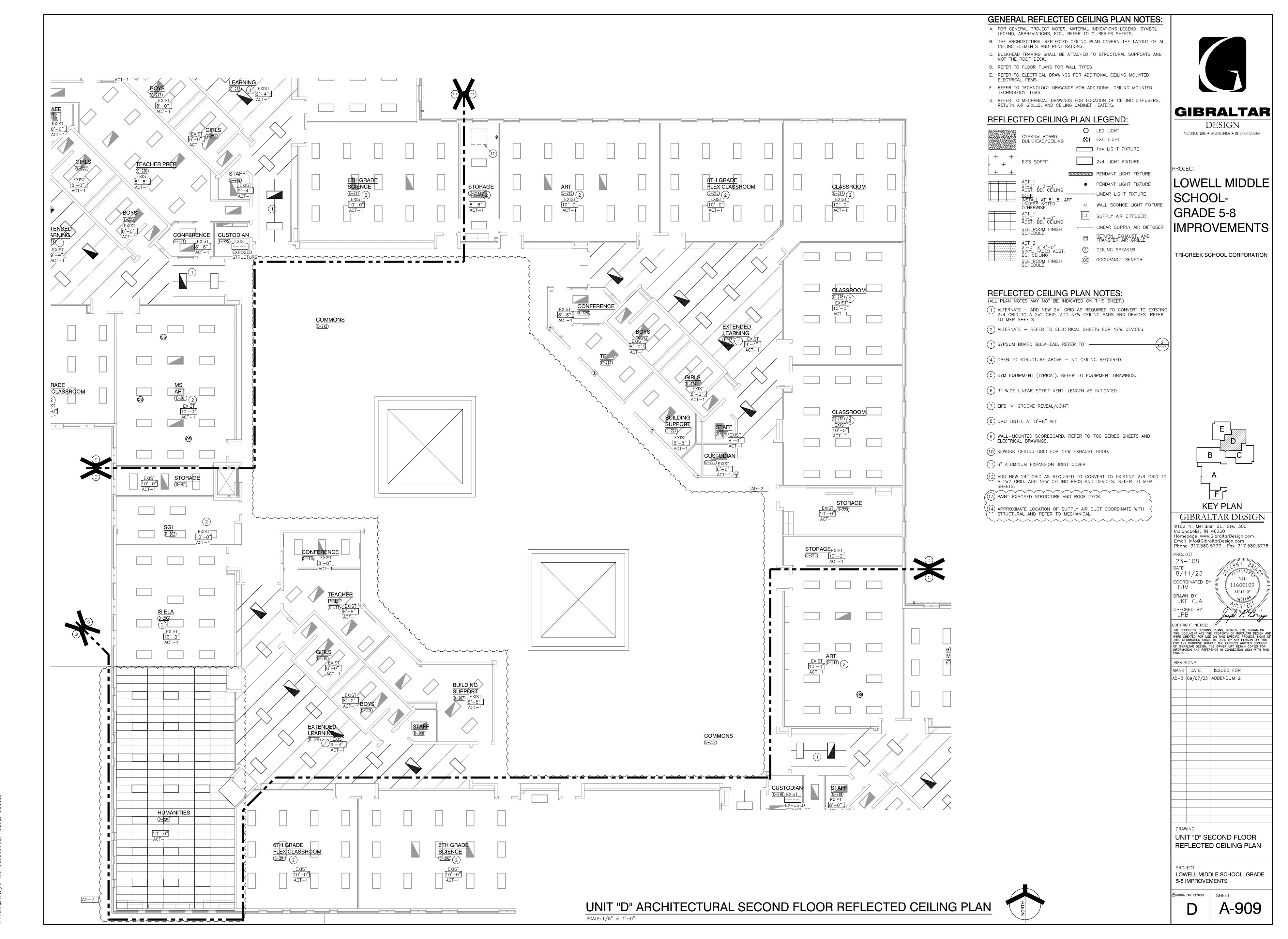
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PROJECT.	
REVIS	IONS
14 DI	DATE

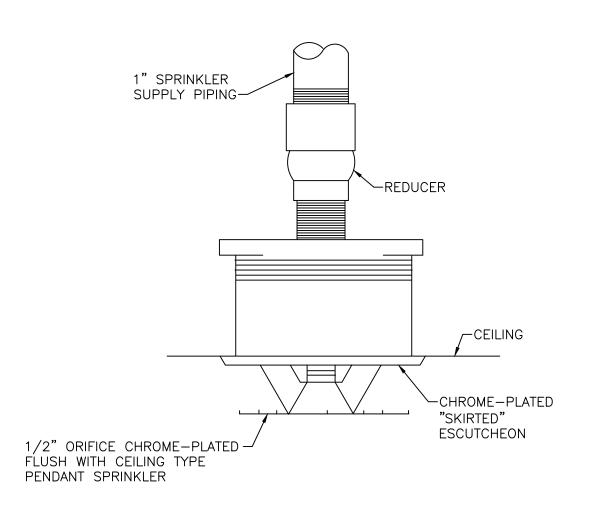
MARK DATE ISSUED FOR AD-2 09/07/23 ADDENDUM 2

UNIT "E" FIRST FLOOR REFLECTED CEILING PLAN

LOWELL MIDDLE SCHOOL- GRADE 5-8 IMPROVEMENTS



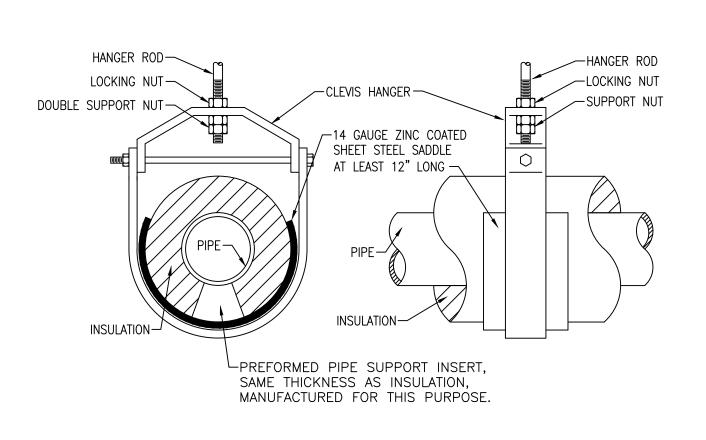
FINDAY, 9/0/2023 — 2:10 AM — LASI SAVED DI.EMC Y:\23-108 TRI-CREEK SC — LOWELL MS 5-8 MPROVEMENTS\23-108 DRAWINGS\05 ARCH\A-909 D



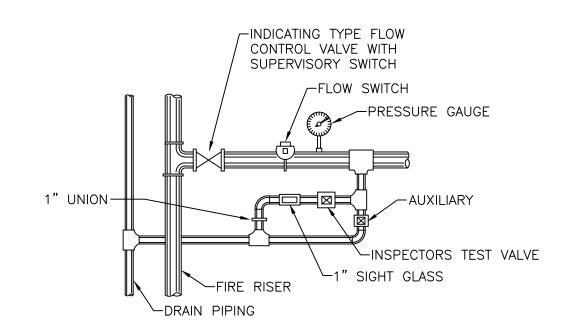
NOTES:

- 1. SPRINKLER TEMPERATURE RATINGS SHALL BE AS REQUIRED BY THE TYPE OF AREA IN WHICH THE SPRINKLER IS INSTALLED IN ACCORDANCE WITH NFPA 13.
- 2. FIRE SPRINKLERS IN FINISHED AREAS WITH CEILINGS SHALL BE CHROME PLATED SEMI-RECESSED TYPE.
- 3. FIRE SPRINKLERS IN UNFINISHED AREAS WITHOUT CEILINGS SHALL BE BRONZE
- 4. SEE SPECIFICATIONS FOR SPRINKLER HEAD TYPES TO BE USED ON PROJECT. COORDINATE WITH ARCHITECT.
- 5. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR CEILING TYPES AND

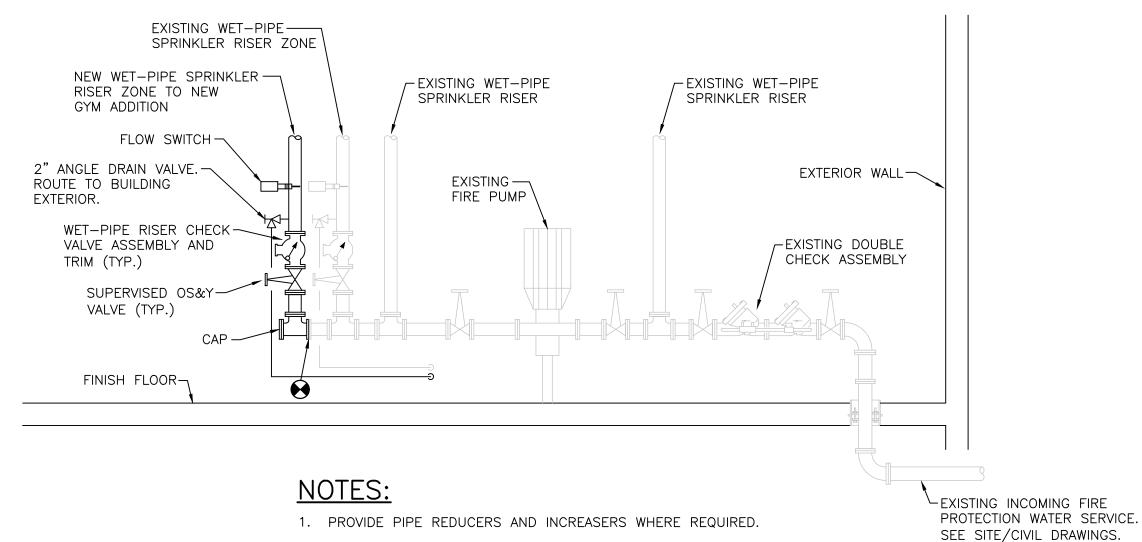




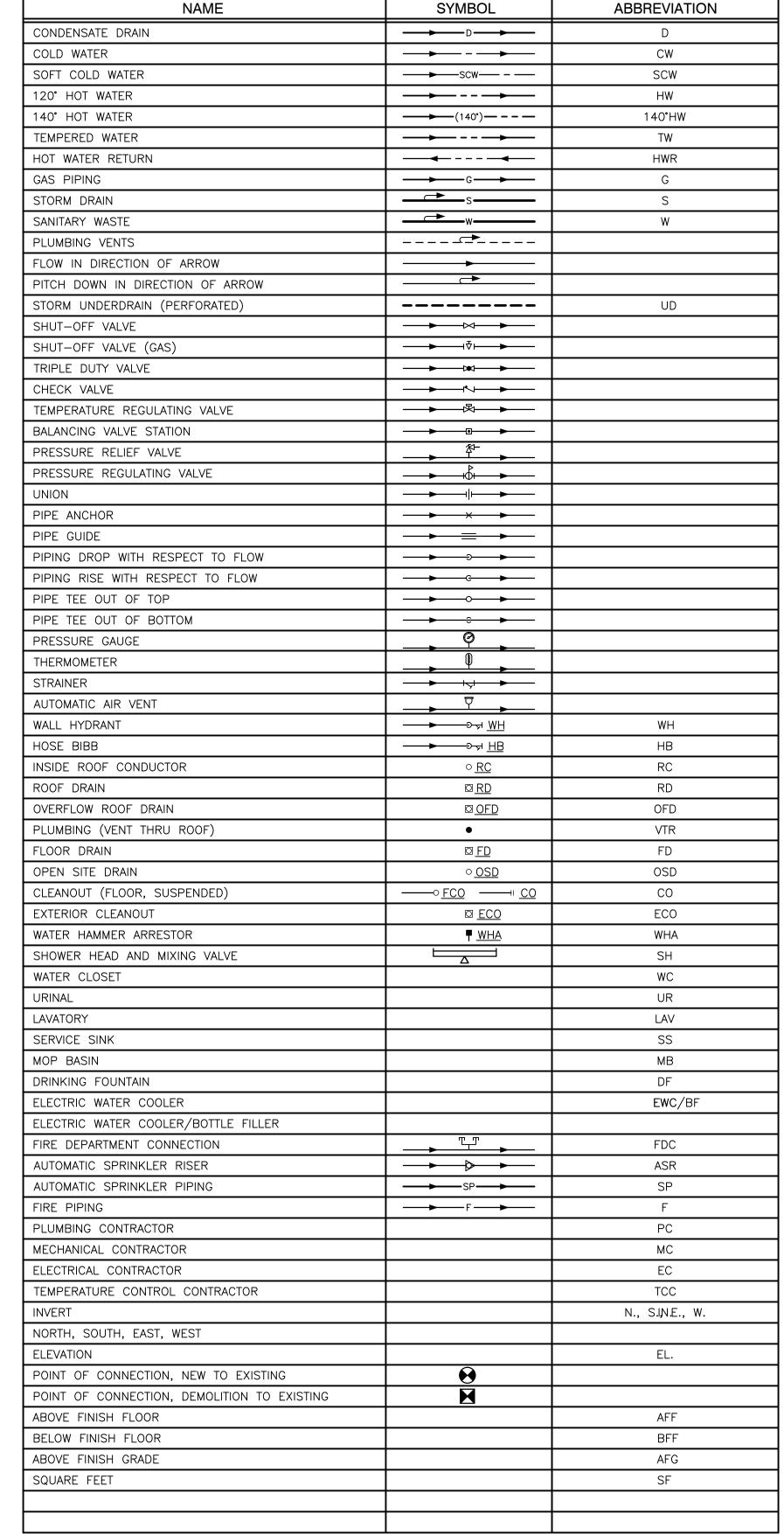
PIPE HANGER DETAIL





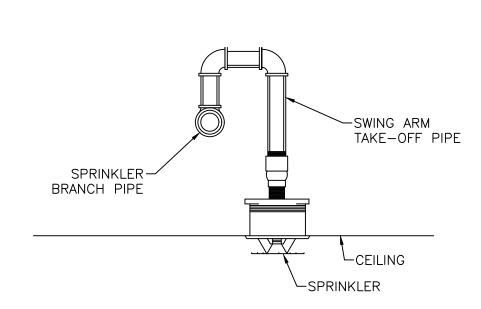






FIRE PROTECTION LEGEND

(NOT ALL SYMBOLS AND ABBREVIATIONS MAY APPLY FOR THIS PROJECT)



SPRINKLER BRANCH TAKE-OFF PIPING

GENERAL FIRE PROTECTION NOTES (APPLY TO ALL FIRE PROTECTION SHEETS)

- 1. FIRE PROTECTION CONTRACTOR IS RESPONSIBLE FOR ALL WORK SHOWN/INDICATED ON THESE SHEETS AND IN THE SPECIFICATIONS UNLESS OTHERWISE NOTED.
- 2. FIRE PROTECTION CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BID AND MODIFY WORK AS REQUIRED FOR ANY VARIATIONS OR DEVIATIONS FROM THOSE SHOWN ON THESE SHEETS.
- 3. ALL WALLS, LIGHTS, EQUIPMENT, PIPING, ETC. SHOWN WITH THIN DOTTED OR SOLID LINES IS EXISTING TO REMAIN CONDITIONS AND SHOULD BE USED FOR REFERENCE
- ONLY, AND MAY INDICATE NONEXISTENT OR INACCURATE CONDITIONS. 4. ALL EQUIPMENT AND PIPING SHOWN WITH THICK DASHED LINES IS EXISTING TO BE REMOVED OR RELOCATED.
- 5. ALL EQUIPMENT AND PIPING SHOWN WITH THICK SOLID LINES IS NEW WORK.
- 6. ALL BULKHEADS, CANOPIES AND ROOF OVERHANGS SHOWN WITH THIN DOTTED/DASHED LINES AND IS NOT OTHERWISE NOTED, INDICATE LOCATION
- PROVIDED BY OTHER CONTRACTORS. 7. REFER TO LIFE SAFETY, ARCHITECTURAL, ELECTRICAL, MECHANICAL, PLUMBING AND
- STRUCTURAL SHEETS TO COORDINATE ALL WORK BEFORE INSTALLATIONS. 8. ALL PIPING LOCATED IN PIPE CHASES SHALL BE PLACED AS CLOSE TO WALLS AS
- POSSIBLE TO ALLOW MAXIMUM ACCESS.

9. ALL PIPING ABOVE CEILING SHALL BE PLACED TO AVOID LIGHTING FIXTURES, DUCTWORK,

- MECHANICAL AND PLUMBING PIPING, DIFFUSERS, JOISTS, BEAMS, EQUIPMENT, ETC. 10. PROVIDE CEILING ACCESS PANELS FOR ACCESS TO SHUT-OFF VALVES, CONTROL
- VALVES, DRAIN VALVES, ETC. LOCATED ABOVE NON-ACCESSIBLE CEILINGS (INCLUDES ALL EXISTING ITEMS REQUIRING ACCESS WHERE NEW NON-ACCESSIBLE CEILINGS OCCUR). COORDINATE ALL ACCESS PANELS WITH THE ARCHITECT. 11. FIRE PROTECTION CONTRACTOR SHALL CORE DRILL HOLES THROUGH FLOORS, WALLS,
- DECKS, ETC. WHERE PASSAGE IS NOT AVAILABLE TO INSTALL NEW PIPING. PROVIDE PIPE SLEEVES AND PROPERLY SEAL ALL PIPE PENETRATIONS AS REQUIRED. REFER TO SPECIFICATIONS.
- 12. PROVIDE AND INSTALL A NEW AUTOMATIC WET-PIPE SPRINKLER SYSTEM FROM THE EXISTING FIRE PROTECTION SYSTEM AS REQUIRED TO PROVIDE COVERAGE TO THE NEW GYM ADDITION PER NFPA 13. MODIFY EXISTING SPRINKLER SYSTEM(S) AS REQUIRED IN REMODELED/RENOVATED AREAS SHOWN/INDICATED PER NFPA 13.
- 13. FIRE PROTECTION SYSTEM(S) SHALL BE HYDRAULICALLY DESIGNED INCLUDING INSIDE FIRE HOSE DEMAND.
- 14. THE DESIGN AND INSTALLATION OF THE FIRE PROTECTION SYSTEM(S) SHALL CONFORM TO NATIONAL FIRE PROTECTION ASSOCIATION CODES, STANDARDS AND RECOMMENDED PRACTICES. ALL APPLICABLE STATE AND LOCAL FIRE PREVENTION/PROTECTION BUREAU'S STATUES AND CODES, AND REQUIREMENTS OF OWNER'S INSURANCE UNDERWRITER. INCLUDE ALL PIPE AND FITTINGS, APPROVED WATERFLOW DETECTING ALARM DEVICES, PRESSURE GAUGES, SPRINKLER HEADS, INDICATING VALVES, FIRE DEPARTMENT CONNECTION, AND OTHER MATERIALS AND ACCESSORIES REQUIRED TO COMPLETE THE INSTALLATION.
- 15. FIRE PROTECTION CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN LAYOUT OF THE SPRINKLER SYSTEM(S) AS REQUIRED FOR THE NEW AND REMODELED AREAS, PER NFPA 13.
- 16. FIRE PROTECTION CONTRACTOR SHALL PERFORM THEIR OWN FLOW AND PRESSURE TEST ON THE CITY MAIN WATER LINE TO BASE THE DESIGN OF THE SPRINKLER SYSTEM(S) ON.
- 17. FIRE PROTECTION CONTRACTOR SHALL PROVIDE AND INSTALL VALVES IN ALL PIPING AS REQUIRED TO FACILITATE OPERATION OF VARIOUS SYSTEM(S) DURING CONSTRUCTION.
- 18. ALL ELECTRICAL AND MECHANICAL ROOMS SHALL BE SPRINKLED WITH AUTOMATIC SYSTEM(S) HAVING HIGH TEMPERATURE SPRINKLER HEADS.
- 19. INSTALL THE SPRINKLER ZONE INSPECTOR TEST DRAIN PIPING PARALLEL WITH THE FIRE SERVICE PIPING AND ROUTE TO OPEN SITE DRAINS OR EXTERIOR OF BUILDING.
- 20. PIPE ROUTING SHOWN IS PROVIDED AS A GUIDE FOR THE FIRE PROTECTION CONTRACTOR. THE SUCCESSFUL BIDDER SHALL DESIGN THE AUTOMATIC FIRE PROTECTION SYSTEM(S) IN ACCORDANCE WITH THE INSTRUCTIONS IN THE SPECIFICATIONS AND ON DRAWINGS, PER NFPA 13.
- 21. ZONES AND SQUARE FOOTAGES AS SHOWN ARE APPROXIMATE. FIRE PROTECTION CONTRACTOR SHALL VERIFY THE NUMBER OF ZONES REQUIRED AND THE SQUARE FOOTAGES FOR EACH ZONE.
- 22. REFER TO THE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 23. REFER TO ARCHITECTURAL PLANS FOR FIRE RATED WALLS AND EXISTING CEILING REMOVAL

NEW GYM ADDITION

EXISTING FIRST FLOOR

EXISTING MEZZANINES

TOTAL BUILDING

EXISTING SECOND FLOOR

GIBRALTAR

DESIGN ARCHITECTURE • ENGINEERING • INTERIOR DESIGN

LOWELL MIDDLE SCHOOL-IMPROVEMENTS

TRI-CREEK SCHOOL CORPORATION

KEY PLAN

GIBRALTAR DESIGN 9102 N. Meridian St., Ste. 300 Indianapolis, IN 46260 Homepage www.GibraltarDesign.com Email info@GibraltarDesign.com Phone 317.580.5777 Fax 317.580.5778

23-108 COORDINATED E DRAWN BY

11600109 STATE OF CHECKED BY

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MARK DATE ISSUED FOR AD.02 9.7.23 ADDENDUM #2

AD.02 HYDRANT FLOW CALCULATIONS

BUILDING SQUARE FOOTAGE

NEW AND EXISTING

CONSTRUCTION

9,322 SQ FT

133,525 SQ FT

59,053 SQ FT

5,901 SQ FT

207,801 SQ FT

DATE OF TEST: 9/1/2023 LOWELL MS NORTH SIDE LOCATION: STATIC PRESSURE: 55 PSI RESIDUAL PRESSURE: 47 PSI 1,118 GPM

FIRE PROTECTION CONTRACTOR SHALL PERFORM THEIR OWN FLOW AND PRESSURE TEST ON THE CITY'S WATER MAIN TO BASE THE DESIGN OF THE SPRINKLER SYSTEM(S).

DRAW	/ING		
GEI	NERAL I	FIRE P	ROTECTIO
NO	ΓES, LE	GEND,	DETAILS
ANI	O SCHE	DULES	}

PROJECT LOWELL MIDDLE SCHOOL- GRADE 5-8 IMPROVEMENTS

© GIBRALTAR DESIGN FP001

GENERAL NOTES: SEE SHEET P-001 FOR GENERAL PLUMBING NOTES, LEGEND AND SCHEDULES. 2. SEE SHEET P-501 FOR PLUMBING DETAILS. PLAN NOTES: (1) CONNECT NEW 3/4"CW PIPE TO EXISTING 3/4"CW PIPE. (2) 3/4"CW DROP IN CHASE. EX. 3"CW EX. 2"HW EX. 2"HWR _ΓEX. 3/4"CW (D-109) (D-135) $\int EX. 3/4"HW$ / EX. 3/4"HW($\sqrt{2}-134$) EX. 3"CW EX. 2"HW EX. 2"HWR (C-136)(C-137)(D-106) EX. 2 1/2"CW EX. 1"HW EX. 3/4"HWR EX. 2 1/2°CW EX. 1"HW EX. 3/4"HWR EX. 3"CW EX. 2"HW EX. 2"HWR — (C-118)(C-119)(C-120) C-125A) (C-135)+EX. 3/4"HWR EX. 3/4"CW EX. 3/4"HW EX. 3/4"HWR || EX. 2 1/2"CW EX. 1/2"CW EX. 1/2"HW EX. 3/4"HWR EX. 3"CW EX. 2"HW <u>(C-142)</u> EX. 2"HWR --EX. 1"HW EX. 1"HWR (C-145)EX. 3/4"CW EX. 2"CW-EX. 3/4"HW EX. 3/4"HWR (C-143) (C-121) (C-122)(C-134)____ ______ (C-149)C-107A C-107B ∠EX. 2 1/2°CW EX. 1"HW (C-106)EX. 1"HWR (C-150)EX. 2 1/2"CW EX. 3/4"HW EX. 3/4"HWR \sim $\frac{\text{C-126}}{\text{EX. } 3/4\text{"CW}}$ EX. 3/4"HWR rEX. 2 1/2"CW ←EX. 2"CW EX. 3/4"HW (C-133)(C-132)/ EX. 1"HW EX. 1"HWR EX. 3/4"HWR EX. 2"CW (B-116) +-----EX. 1"HW EX. 3/4"HWR EX. 1"CW-EX. 1 1/2"V __ EX. 1/2"CW EX. 1/2"HW EX. 3/4"HWR (C-131)(C-128) UNIT "C" FIRST FLOOR PLUMBING PLAN SCALE: 1/8" = 1'-0"

ROOM NAME NURSE RESTROOM ___ STORAGE ---RECEPTION CONFERENCE PRINCIPAL FLEX RESTROOM GIBRALTAR RESTROOM ___ DESIGN ___ ARCHITECTURE • ENGINEERING • INTERIOR DESIGN ___ ___ WORKROOM RECORDS ---___ WAITING LOWELL MIDDLE GUIDANCE SECRETARY UIDANCE COUNSELO SOCIAL WORKER SCHOOL-CONFERENCE FLEX

GRADE 5-8 IMPROVEMENTS -125 EXTENDED LEARNING -125A EXTENDED LEARNING TRI-CREEK SCHOOL CORPORATION -126 5TH GRADE CLRM

NISEC CALM

---SAFETY

-127 | 5TH GRADE CLRM -128 5TH GRADE CLRM

−134 5TH GRADE CLRM -135 STH GRADE CLRM -136 5TH GRADE CLRM

-138 5TH GRADE CLRM

C-142 SPEECH/HEARING

C-147

5TH GRADE CLRM

___ ---ELECTRICAL

TECH OFFICE TR TEACHER PREP

STAFF TOILET

BOYS GIRLS CONFERENCE

CUSTODIAN STAFF TOILET

GIFTED

-130 5TH GRADE CLRM -131 5TH GRADE CLRM STAIRS CORRIDOR

KEY PLAN GIBRALTAR DESIGN 9102 N. Meridian St., Ste. 300 Indianapolis, IN 46260 Homepage www.GibraltarDesign.com Email info@GibraltarDesign.com Phone 317.580.5777 Fax 317.580.5778

PROJECT 23-108 8/11/23 COORDINATED B' 11600109

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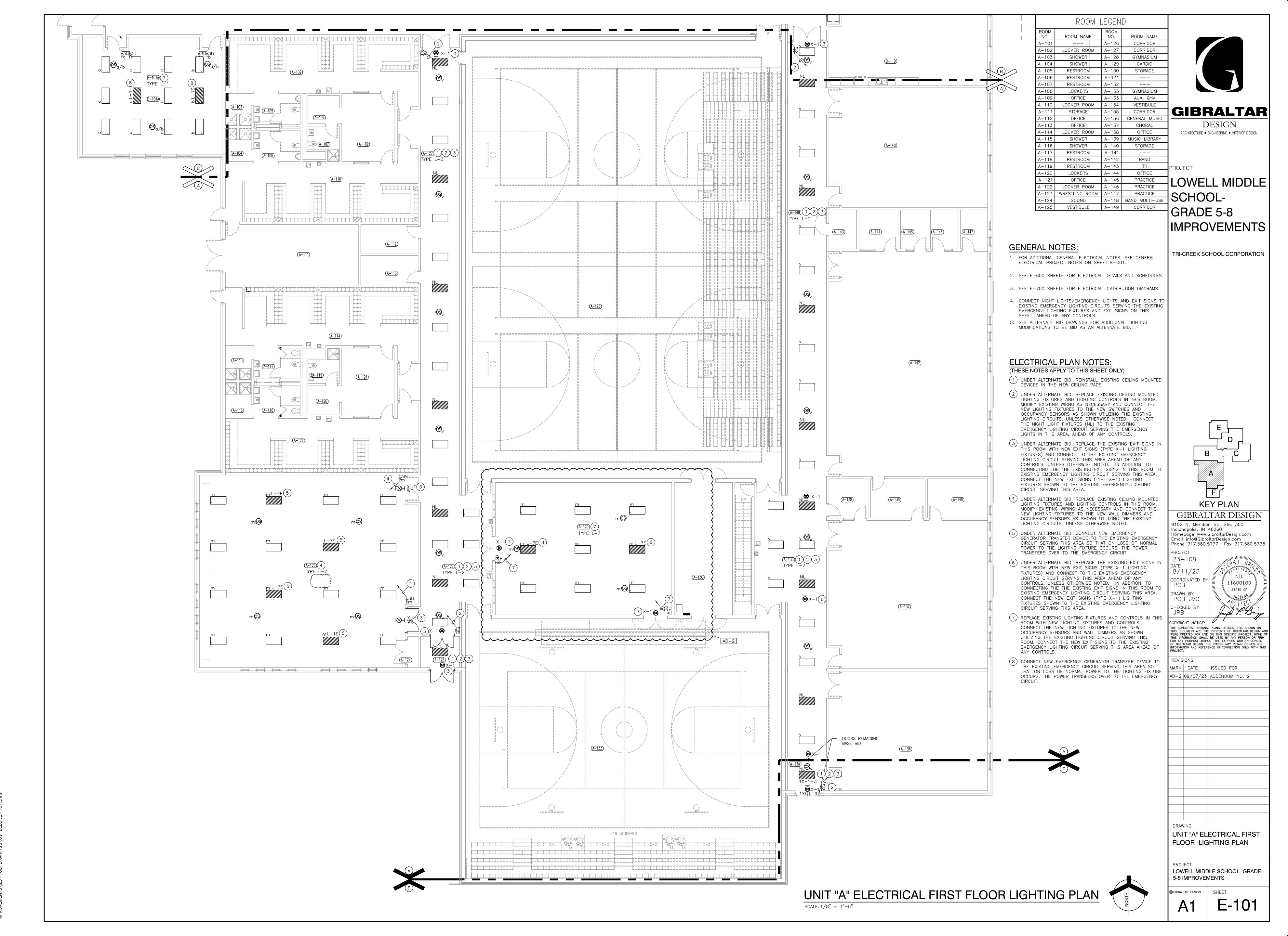
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MARK DATE ISSUED FOR AD.02 9.7.23 ADDENDUM #2

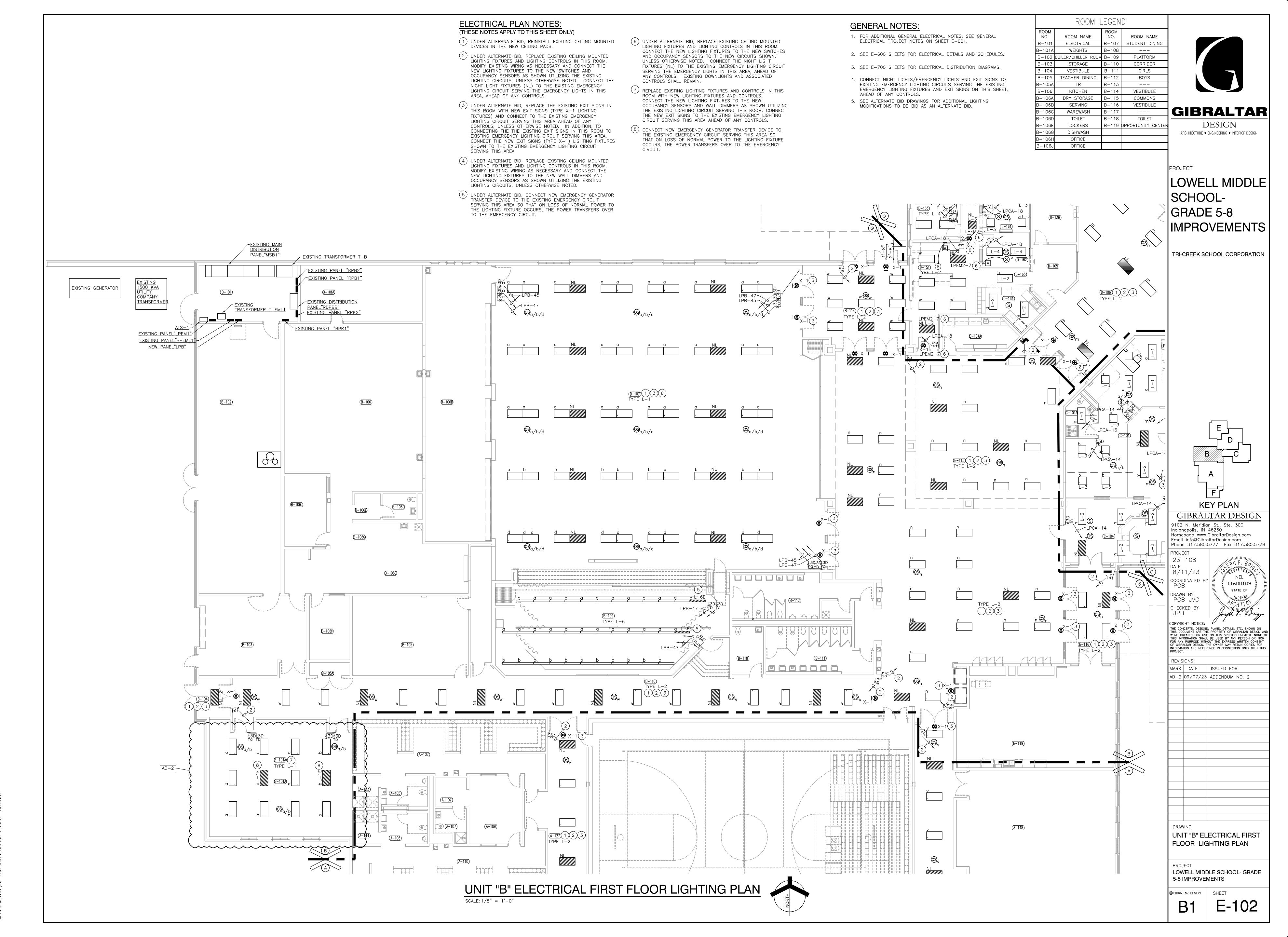
DRAWING UNIT "C" FIRST FLOOR PLUMBING PLAN

LOWELL MIDDLE SCHOOL- GRADE 5-8 IMPROVEMENTS

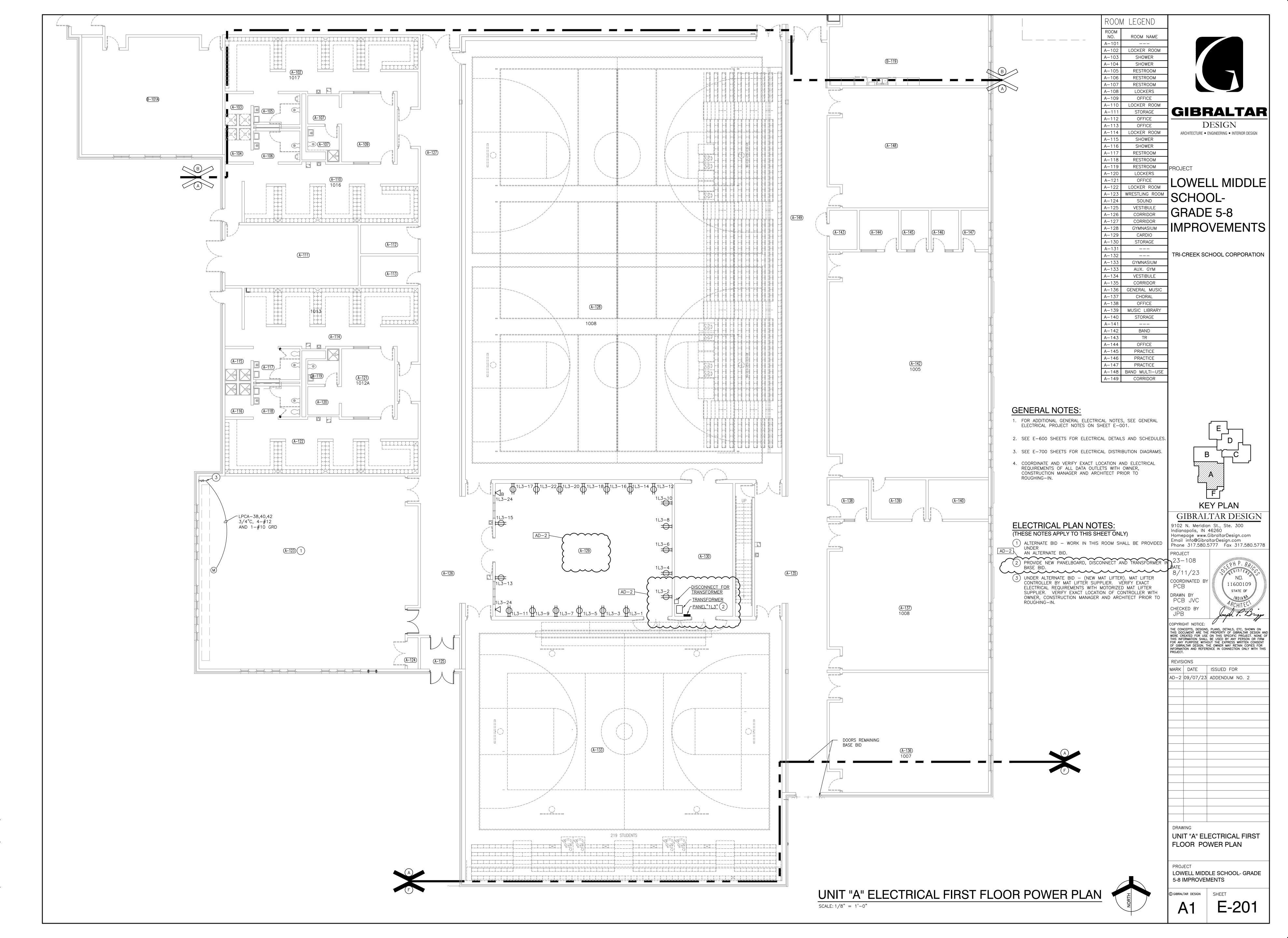
P-203



Thursday, 9/7/2023 — 12:49 PM — LAST SAVED BY:DBUR Y:\23—108 TRI—CREEK SC — LOWELL MS 5—8 MADDOVEMENTS\23 108 PDAMMINGS\00 FLES\F 101 PM/C



Thursday, 9/7/2023 - 12:50 PM - LAST SAVED BY:DE Y:\23-108 TRI-CREEK SC - LOWELL MS 5-8 IMPROVEMENTS\23-108 DRAWINGS\09 FIFC\F-102 DWG



Thursday, 9/7/2023 — 12:53 PM — LAST SAVED BY:PBROW Y:\23—108 TRI—CREEK SC — LOWELL MS 5—8 IMPROVEMENTS\23—108 DRAWINGS\09 ELEC\E—201.DWG

MARK & TYPE				REM/	RKS		20 0.5						DUL			
"1H1"						LIITS SH	ALL RE	CIRCUI	[BREA	KERS						
TYPE: SQ D NF OR AF	PRO	/ED EC	QUAL								MP INT	ERRUP	TING C	APACI	TY - T	YPE EDB.
277/480V, 3 PH, 4W										,					Ì	
225 AMP MAIN LUGS																
NEMA 1																
SURFACE MOUNTED																
DESCRIPTION		POLE		LTS	REC	EQUIP	10.10	В	С	HEAT	A/C	FUIR	POLE	IRIP	CIR	DESCRIPTION
F106 LIGHTS	1	1	20	2.00			2.00					-				F-102,103,104,105,
				2.00			2.00						1	20		106,107 LIGHTS
F106 LIGHTS	3	1	20	2.00				2.00					,		_	100,107 E101110
																RELAY RF-1
																CONTROL AND
				2.00				2.00					1	20	4	TIMECLOCK
BUILDING SECURITY	_	4	20	1.00					1.00							
LIGHTS (RELAY RF-1)	5	1	20	1.00					1.00				1	20	6	SPARE
SPARE	7	1	20										'	20	-	OI AILE
													1	20	8	SPARE
SPARE	9	1	20													
													1	20	10	SPARE
SPARE	11	1	20	3											40	OD A DE
SPARE	13	1	20										1	20	12	SPARE
SPARE	13	1	20										1	20	14	SPARE
SPARE	15	1	20													OI / II L
													1	20	16	SPARE
SPARE	17	1	20						100000000000000000000000000000000000000							
									TAAANAAAAAAAA				1	20	18	SPARE
SPARE	19	1	20	1									4	20	20	ODADE
SPARE	21	1	20									-	1	20	20	SPARE
OI AIL	21	'	20										1	20	22	SPARE
SPARE	23	1	20	3												
													1	20	24	SPARE
SPARE	25	1	20													
00405			-00										1	20	26	SPARE
SPARE	27	1	20										1	20	20	SPARE
SPARE	29	1	20										1	20	20	SFARE
0171112												1	1	20	30	SPARE
SPARE	31	1	20													
							20000M00000000000000000000000000000000						1	20	32	SPARE
SPARE	33	1	20													00.00
SPARE	35	1	20										1	20	34	SPARE
SPARE	33	1	20									-	1	20	36	SPARE
SPARE	37	1	20										'	20	- 50	OFFICE
																45 KVA
																TRANSFORMER
					2.94	8.52	11.46						3	80	38	(PANEL "1L1")
SPARE	39	1	20		2.24	0.00		40.50								
SPARE	41	1	20		2.94	9.62		12.56			-				40	
OI AIL	71		20		2.22	11.13			13.35						42	
TOTAL CONNE	CTFF	LOAF) (k\/A)	9.00	8.10	29.27	15.46	16.56	14.35			 				
I O IT IL OUTVILL		LUIT	(1. 4) ()	0.00	0.10	29.27	10.10	1		I	I	1	J			

MARK & TYPE		_		ELL I												
'1L1" - SECTION 1						UITS SH	ALL BE	CIRCUI	T BREA	KERS.						
TYPE: SQ D NQ OR A	PPRO	VED E	QUAL								MP INT	ERRUP	ING C	APACI	TY - T	YPE QOB-VH.
120/208V, 3 PH, 4W				TWO S	ECTION	PANEL	- BOTH	SECTIO	ONS SAI	ME HEIG	SHT - SE	CTION	1 OF 2			
150 AMP MAIN BREAI	KER															
NEMA 1 SURFACE MOUNTED																
DESCRIPTION	CIP	POLE	TRIP	LTS	REC	EQUIP	A	В	С	HEAT	A/C	FUTR	DOLE	TRIP	CIP	DESCRIPTION
F-101.102 RECPS	1	1	20	LIS	0.36	EQUIF	0.36	В		ПЕАТ	A/C	FUIK	FOLE	IIXIF	CIN	DESCRIPTION
-101,102112010	-	1	20		0.72		0.72						1	20	2	F-106 RECPS
F-102 RECPS	3	1	20	0	0.36			0.36								
					0.72			0.72					1	20	4	F-106 RECPS
F-103,104 RECPS	5	1	20		0.36				0.36							
						4.50			4.50					00		F-106 RECP
F-101A,105 RECP	7	1	20		0.36	1.50	0.36		1.50				1	20	6	(SCOREBOARD)
101A, 105 RECP	- /	1	20		0.30		0.30		.				1	20	8	SPARE
F-102 RECPS (WC)	9	1	20		0.36			0.36								OT THE
(,													1	20	10	SPARE
ROOF RECPS	11	1	20		0.36				0.36							
													1	20	12	SPARE
CARD READERS	13	1	20	8		0.50	0.50									E 407 DEOD (COUND
						1.50	1.50						1	20	14	F-107 RECP (SOUND SYSTEM EQUIP.)
AUTOMATIC DOOR						1.50	1.30						1	20	14	STSTEM EQUIF.)
OPERATORS	15	1	20			0.50		0.50								
																F-103 ELECTRIC HAND
						1.50		1.50					1	20	16	DRYER
REF-MS1 (1/10 HP)																
CUH-B	17	1	20	8		0.17			0.17							E 400 EL ECTRIC LIANE
						1.50			1.50				1	20	18	F-103 ELECTRIC HAND DRYER
SPARE	19	1	20			1.50			1.30				1	20	10	DITTER
51 7 H L	10	,							 							F-104 ELECTRIC HAND
						1.50	1.50						1	20	20	DRYER
F-102 RECP																
(VENDING)	21	1	20		1.50			1.50								- 404
						1.50		1.50					4	20	22	F-104 ELECTRIC HAND DRYER
F-102 RECP						1.50		1.50		-			1	20	22	DRIER
(VENDING)	23	1	20		1.50				1.50							
, ,													1	20	24	SPARE
-102 RECP																
(VENDING)	25	1	20		1.50		1.50									
20.405													1	20	26	SPARE
SPARE	27	1	20										1	20	20	SPARE
SPARE	29	1	20										1	20	20	SPAINL
51 7 (I CL	20	'	20										1	20	30	SPARE
SPARE	31	1	20													
													1	20	32	SPARE
SPARE	33	1	20												<u> </u>	
SPARE	25	- 1	20										1	20	34	SPARE
SPARE	35	1	20							-			1	20	36	SPARE
SPARE	37	1	20										'		50	J. 711.L
							1						1	20	38	SPARE
SPARE	39	1	20													
													1	20	40	SPARE
SPARE	41	1	20													CDARE
TOTAL COLUM	IECTES	1 0 4 5	11.3.44		0.40	20.07	11 10	10.50	12.25	 			1	20	42	SPARE
TOTAL CONN TOTAL DI					8.10 8.10	29.27	11.46	12.56	13.35	 						
TOTAL DI	LIVIAINL	LOAL	(KVA)		0.10	25.21										

			OVV			LL O	CHO	OL F	AINL L	DOA	עאו	CHE	DUL			
MARK & TYPE				REM/												
"1L1" - SECTION 2		V== =				UITS SH					NAD INT			4 D 4 O	D/ 7	DVDE OOD VIII
TYPE: SQ D NQ OR AF	PRO	VED E	QUAL			PANEL									IY - I	YPE QOB-VH.
120/208V, 3 PH, 4W 225 AMP MAIN LUGS				10003	ECHON	PANEL	- BOIN	SECTIO	INO OAI	VIE HEIC	יוחנ - טנ	CHON	2 OF 2		-	
NEMA 1															-	
SURFACE MOUNTED																
DESCRIPTION	CIR	POLE	TRIP	LTS	REC	EQUIP	Α	В	С	HEAT	A/C	FUTR	POLE	TRIP	CIR	DESCRIPTION
SPARE	43	1	20	2.0	1,20	240	, ,			1 12/11	7.00		. 522		5,,,	DECCIAII IICIA
													1	20	44	SPARE
SPARE	45	1	20													
													1	20	46	SPARE
SPARE	47	1	20													
													1	20	48	SPARE
SPARE	49	1	20													
00405		4								<u> </u>			1	20	50	SPARE
SPARE	51	1	20							 			1	20	F2	SPARE
SPARE	53	1	20							 			-	20	32	SPARE
OT TINE	33		20										1	20	54	SPARE
SPARE	55	1	20												-	S. 7
													1	20	56	SPARE
SPARE	57	1	20													
													1	20	58	SPARE
SPARE	59	1	20													
													1	20	60	SPARE
SPARE	61	1	20							<u> </u>						00.00
SPARE		- 4	20										1	20	62	SPARE
SPARE	63	1	20							-			1	20	64	SPARE
SPARE	65	1	20							 			1	20	04	SPARE
OI TINE			20										1	20	66	SPARE
MOTORIZED																
BACKBOARD (3/4 HP)	67	1	30			1.59	1.59			1						
													1	20	68	SPARE
MOTORIZED																
BACKBOARD (3/4 HP)	69	1	30			1.59		1.59								
													1	20	70	SPARE
MOTORIZED	74		20			1.50			4.50							
BACKBOARD (3/4 HP)	/ 1	1	30			1.59			1.59							MOTORIZED ROLL
						1.84			1.84				1	30	72	CURTAIN (1 HP)
ACCU-TCM1	73	2	30			1.15	1.15									00111711117
A RELIEVE WAS TRANSPORTED TO																MOTORIZED
													1	30	74	BACKBOARD (3/4)
	75					1.15		1.15								
										1						MOTORIZED
ACCU-TCM2	77	2	30			1.15			1.15				1	30	76	BACKBOARD (3/4
ACCU-TCIVIZ	11		30			1.15			1.15							MOTORIZED
													1	30	78	BACKBOARD (3/4)
	79		egthanking			1.15	1.15								10	Briorib or the (or th
																MOTORIZED
						1.13	1.13			l			3	30	80	BLEACHERS
HOT WATER HEATER								nonvideooilii								
DWH-1 (4.5 KW)	81	2	30			2.25		2.25								
						1.13		1.13							82	
	83					2.25			2.25	<u> </u>					<u> </u>	!
						1.13			1.13	l	I				84	

MARK & TYPE				REM/	ARKS											
"1XH1"				BRANC	CH CIRC	UITS SHA	ALL BE	CIRCUI"	T BREA	KERS.						
TYPE: SQ D NF OR AF	PROV	ED EQ	UAL	CIRCUI	TBREA	KERS SI	HALL H	AVE MIN	MUMIN	18,000 A	MP INT	ERRUP	TING C	APACI	TY - T	YPE EDB.
277/480V, 3 PH, 4W																
100 AMP MAIN LUGS																
NEMA 1																
SURFACE MOUNTED																
DESCRIPTION	CIR	POLE	TRIP	LTS	REC	EQUIP	Α	В	С	HEAT	A/C	FUTR	POLE	TRIP	CIR	DESCRIPTIO
F-101,102,103,104,																
105,106,107,108			11													
LIGHTS	1	1	20											- 00		00405
SPARE	3	1	20		-								1	20	2	SPARE
SPARE	3	1	20										1	20	4	SPARE
SPARE	5	1	20										1	20	7	OFAIL
OI / IIIL													1	20	6	SPARE
SPARE	7	1	20				•									
													1	20	8	SPARE
SPARE	9	1	20													
													1	20	10	SPARE
SPARE	11	1	20													
													1	20	12	SPARE
SPACE	13	1	20												44	004.05
SPACE	15	1	20										1		14	SPACE
SPACE	13	1	20										1		16	SPACE
SPACE	17	1	20		-								1		10	OPAGE
OI / IOL	17	'	20										1		18	SPACE
TOTAL CONN	ECTE		(k\/A)	1	 	 							<u> </u>			
TOTAL CONN						 						-			-	

MARK & TYPE				REM/	ARKS											
"LP-EM1"				EXISTIN	NG EAT	ON PAN	ELBOAF	RD								
TYPE: EXISTING EAT	ON			PROVI	DE A 3F	-60 AMI	P CIRCU	IT BREA	KER (C	CIRCUIT	15,17,1	9) IN TH	REE (3) EXIS	TING	1P-SPACES .
277/480V, 3 PH, 4W						17 AND										
200 AMP MAIN LUGS																
NEMA 1				FED FF	ROM AT	S-1										
SURFACE MOUNTED				ELECT	RICAL F	ROOM B	-101									
DESCRIPTION	CIR	POLE	TRIP	LTS	REC	EQUIP	Α	В	С	HEAT	A/C	FUTR	POLE	TRIP	CIR	DESCRIPTION
PANEL "LP-EM2"	1	3	100													
													3	60	2	
	3															
															4	
	5															
															6	
XFMR T-BE																
(PANEL "RP-EML1")	7	3	30													
																UNIT B EMERGENC
													1	20	8	LIGHTS
	9		/													
																UNIT B EMERGENC
													1	20	10	AND EXIT LIGHTS
	11															
																UNIT A EMERGENC
													1	20	12	AND EXIT LIGHTS
OUTDOOR LIGHTING	13	1	20													
																UNIT A EMERGENO
													1	20	14	LIGHTS
PANEL "1XH1"	15	3	30													
								000000000000000000000000000000000000000					1	20	16	
	17															
													1	20	18	SPACE
	19															
													1	20	20	SPACE
				3												
				<u> </u>												
				8	-											
				<u> </u>	-	-						-				
				-	-							-				
TOTAL 6 2												_	_			
TOTAL CONNE																
TOTAL DE	MANE	LOAD	(kVA)]									

		L	.OW	ELL	MIDE	DLE S	CHO	OL P	ANE	_BOA	RD S	SCHE	DUL	E.			
MARK & TYPE				REMA	REMARKS												
'1L2"				BRANCH CIRCUITS SHALL BE CIRCUIT BREAKERS. CIRCUIT BREAKERS SHALL HAVE MINIMUM 22,000 AMP INTERRUPTING CAPACITY - TYPE QOB-VH.												VDE 000 V/V	
TYPE: SQD NQOR AF 120/208V, 3PH, 4W 225 AMP MAIN LUGS NEMA 1	PRO	VED E	QUAL	CIRCUI	TBREA	KERS S	HALL H	AVE MII	NIMUM 2	22,000 A	MP INT	ERRUPT	ING C	APACI	Y - T	YPE QOB-VH.	
SURFACE MOUNTED																	
DESCRIPTION	CIR	POLE	TRIP	LTS	REC	EQUIP	Α	В	С	HEAT	A/C	FUTR	POLE	TRIP	CIR	DESCRIPTION	
D-5 RECPS	1	1	20		1.08		1.08										
0 150 BEODS	3	1	20	-	0.54 1.08		0.54	1.08					1	20	2	D-159,160 RECPS	
D-158 RECPS	3	1	20		0.36			0.36					1	20	4	D-152 RECPS (WC)	
				3	0.00			0.00					,	20	-	B 102 (KES)	
D-152,157,156, RECPS	5	1	20		0.72				0.72								
167 DEODS					1.08				1.08				1	20	6	D-161 RECPS	
D-157 RECPS (COPIER)	7	1	20		1.08		1.08										
COPIEK)		1	20		1.08		1.08						1	20	8	D-162 RECPS	
D-157 RECPS	9	1	20		1.08		00	1.08					<u> </u>				
					0.36			0.36					1	20	10	D-164 RECP	
D-157 RECPS	11	1	20		1.08				1.08								
					1.08				1.08				1	20	12	D-164 RECP (REFRIGERATOR)	
D-155 RECPS	13	1	20		1.08		1.08		1.00				1	20	12	(KEFKIGEKATOK)	
													1	20	14	D-164 RECP	
D-154 RECPS	15	1	20		0.54			0.54									
													1	20	16	D-151,164 RECPS	
D-154 RECPS	17	1	20		0.90				0.90					20	40	D 454 DEODO	
D-164 RECP	19	1	20		1.08 0.18		0.18		1.08				1	20	18	D-151 RECPS	
	13	'	20		0.10		0.54						1	20	20	D-151 RECPS	
SPARE	21	1	20														
					1.08			1.08					1	20	22	D-153 RECPS	
	23	1	20	,													
SPARE SPARE SPARE SPARE SPARE	25	1	20		0.54				0.54				1	20	24	D-153 RECPS	
	23	-	20			1.00	1.00						1	20	26	VAV-1,2,3,4,5	
	27	1	20	1												,,_,,,,	
						1.00		1.00					1	20	28	CARD READERS	
	29	1	20	9													
	31	1	20			1.00			1.00				1	20	30	AUTOMATIC DOORS	
	31	'	20										1	20	32	SPARE	
	33	1	20	1													
SPARE													1	20	34	SPARE	
	35	1	20														
SPARE	37	1	20	-									1	20	36	SPARE	
PLANE	31	1	20										1	20	38	SPARE	
SPARE	39	1	20										<u> </u>			- : :	
																D-11 208V RECP	
20405						1.00		1.00					2	20	40	(COPIER)	
SPARE TOTAL CONNE	41	1	20		-	1.00			1.00			-			42		
															1 4/		

		L	.OW	ELL l	MIDE	LE S	CHO	OL F	ANE	LBOA	RD S	SCHE	DUL	E		
MARK & TYPE				REMA	RKS											
"1L3"				BRANC	H CIRC	UITS SH	ALL BE	CIRCUI	TBREA	KERS.						
TYPE: SQ D NQ OR A	PPRO	VED E	QUAL	CIRCUIT	T BREA	KERS S	HALL H	AVE MI	NIMUM 2	22,000 A	MP INT	ERRUPT	ING CA	APACI	TY - T	YPE QOB-VH.
120/208V, 3 PH, 4W																
100 AMP MAIN BREAK	ER															
NEMA 1																
SURFACE MOUNTED	OID	DOL E	TDID	1.70	550	EOLUB				LIEAT	1.10	ELITE	DO! E	TOID	LOUD	DESCRIPTION
DESCRIPTION		POLE		LTS		EQUIP		В	С	HEAT	A/C	FUTR	POLE	TRIP	CIR	DESCRIPTION
A-129 RECP	1	1	20		1.50		1.50									4 400 DEOD
A-129 RECP	3	1	20		1.50		1.50	1.50					1	20		A-129 RECP
A-129 REOP	3	1	20		1.50			1.50					1	20	1	A-129 RECP
A-129 RECP	5	1	20		1.50			1.30	1.50				'	20	7	A-123 KEGI
77 120 17201		,			1.50				1.50				1	20	6	A-129 RECP
A-129 RECP	7	1	20		1.50		1.50									
					1.50		1.50						1	20	8	A-129 RECP
A-129 RECP	9	1	20		1.50			1.50								
					1.50			1.50					1	20	10	A-129 RECP
A-129 RECP	11	1	20		1.50				1.50							
					1.50				1.50				1	20	12	A-129 RECP
A-129 RECP	13	1	20		1.50		1.50									
A 400 DEOD	45		20		1.50		1.50	4 50					1	20	14	A-129 RECP
A-129 RECP	15	1	20		1.50 1.50			1.50 1.50					1	20	16	A-129 RECP
A-129 RECP	17	1	20		1.50			1.30	1.50	-			1	20	10	A-129 RECF
7. 120 N.E.O.	- ''	'	20		1.50				1.50				1	20	18	A-129 RECP
SPARE	19	1	20													
90 190 000					1.50		1.50						1	20	20	A-129 RECP
SPARE	21	1	20													
					1.50			1.50					1	20	22	A-129 RECP
SPARE	23	1	20													
			-		0.72				0.72				1	20	24	A-129 RECPS
SPARE	25	1	20													00.05
CDADE	27	1	20										1	20	26	SPARE
SPARE	27	1	20										1	20	28	SPARE
SPARE	29	1	20										1	20	20	OFAIL
O1 / II /	20	<u>'</u>	20										1	20	30	SPARE
TOTAL CONNE	CTF	LOAF	(kVA)		30.72		10.50	10.50	9.72				-		-	
TOTAL DE					20.36	\vdash										
10 1/12 DE			()													

GIBRALTAR DESIGN ARCHITECTURE • ENGINEERING • INTERIOR DESIGN
LOWELL MIDDLE SCHOOL- GRADE 5-8 IMPROVEMENTS
TRI-CREEK SCHOOL CORPORATION
KEY PLAN GIBRALTAR DESIGN
9102 N. Meridian St., Ste. 300 Indianapolis, IN 46260 Homepage www.GibraltarDesign.com Email info@GibraltarDesign.com Phone 317.580.5777 Fax 317.580.5778
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KEY PLAN GIBRALTAR DESIGN 9102 N. Meridian St., Ste. 300 Indianapolis, In 46260 Homepage www.GibraltarDesign.com Email info@GibraltarDesign.com Phone 317.580.5777 Fax 317.580.5778 PROJECT 23-108 DATE 8/11/23 COORDINATED BY PCB

Thursday, 9/7/2023 — 12:54 PM — LAST SAVED BY:PB Y:\23—108 TRI—CREEK SC — LOWELL MS 5—8 IMPROVEMENTS\23—108 DRAWINGS\09 ELEC\E—602.DWG

ELECTRICAL SCHEDULES

PROJECT
LOWELL MIDDLE SCHOOL- GRADE
5-8 IMPROVEMENTS

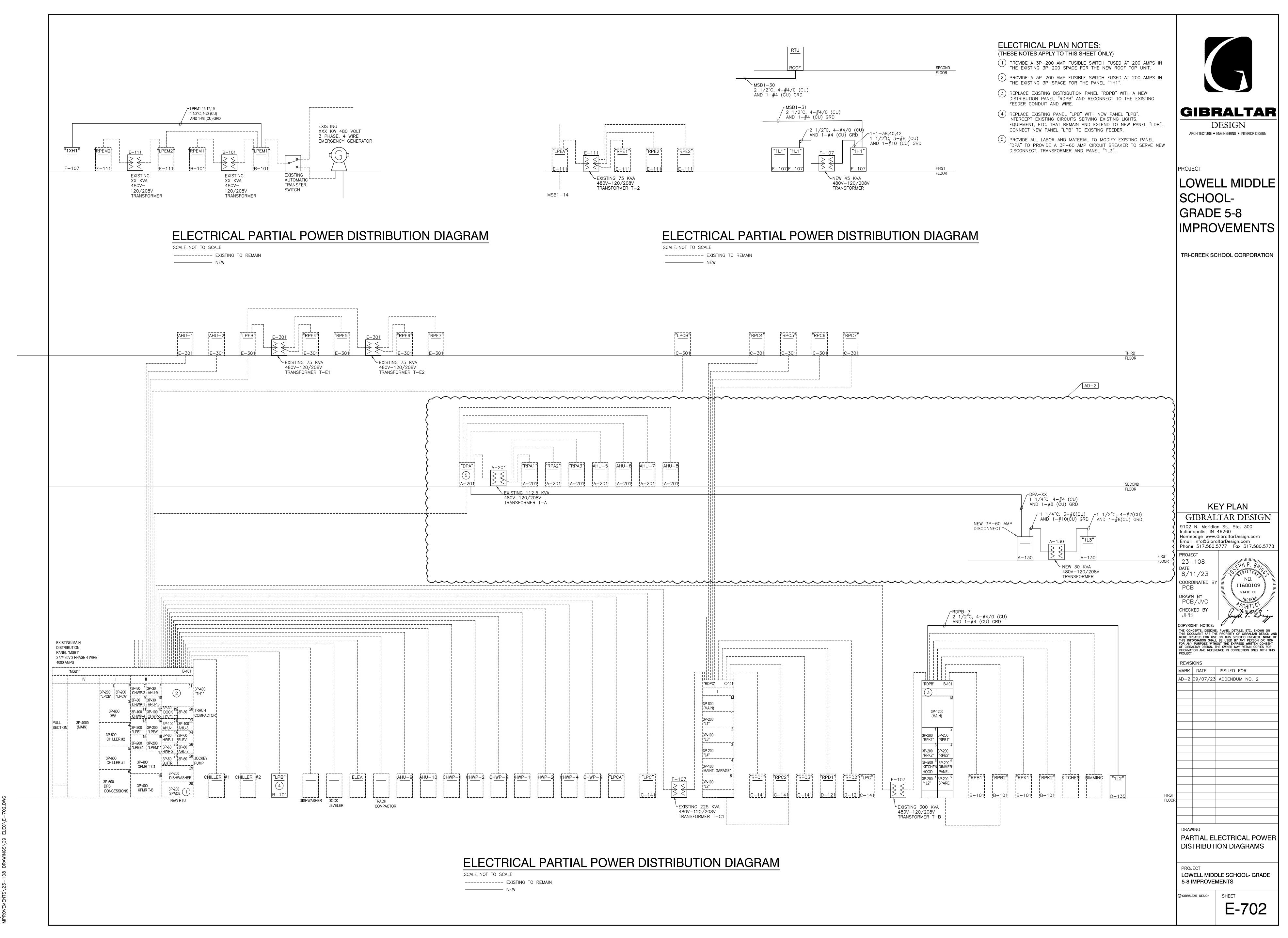
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MARK DATE ISSUED FOR AD-2 09/07/23 ADDENDUM NO. 2

E-602



Thursday, 9/7/2023 — 12:57 PM — LAST SAVED BY:P Y:\23—108 TRI—CREEK SC — LOWELL MS 5—8