

ADDENDUM NO. 1

June 17, 2024

KPS Chime Elementary School Demolition
6750 Chime Street
Kalamazoo, MI 49009

TO: ALL BIDDERS OF RECORD

This Addendum forms a part of and modifies the Bidding Requirements, Contract Forms, Contract Conditions, the Specifications and the Drawings dated May 10, 2024, by TowerPinkster. Acknowledge receipt of the Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of Pages ADD 1-1 through 1-2 and TowerPinkster Addendum No. 1 dated June 17, 2024, consisting of 1 page and 1 drawing.

A. 01 12 00 MULTIPLE CONTRACT SUMMARY

3.03 BID CATEGORIES

A. BID CATEGORY NO. 1 – DEMOLITION

1. Add the following Specification Sections:

Section	00 63 24	BIM Digital Data Transfer Waiver
Section	00 63 25	Substitution During Construction Request Form
Section	01 21 00	Allowances
Section	01 40 00	Quality Requirements
Section	01 42 00	References
Section	01 51 50	Temporary Water
Section	01 51 60	Temporary Sanitary Facilities
Section	01 51 80	Temporary Fire Protection
Section	01 52 10	Construction Aids and Temporary Enclosures
Section	01 52 60	Rubbish Container

Section	01 53 10	Fences (Temporary Security)
Section	01 53 20	Tree and Plant Protection
Section	01 53 30	Barricades
Section	01 55 00	Access Roads and Parking Areas
Section	01 56 20	Dust Control
Section	01 56 80	Erosion Control
Section	01 72 00	Field Engineering

2. Add the following Clarifications:

1. Bid Category #1 – Demolition will provide complete Asbestosis abatement as required to facilitate building demolition. Refer to Section 00 20 00 Information Available to Bidders for information required regarding existing conditions and materials. Abatement removal and disposal shall be performed in compliance with required regulations.

ADDENDUM NO. 1

DATE OF ISSUANCE: June 17, 2024

PROJECT: Chime Elementary School Demolition
6750 Chime St
Kalamazoo, MI 49009

OWNER: Kalamazoo Public School

ARCHITECT'S PROJECT NO.: 23-634.00

ORIGINAL BID ISSUE DATE: May 10, 2024

SCOPE OF WORK

This Addendum includes changes to, or clarifications of, the original Bidding Documents and any previously issued addenda, and shall be included in the Bid. All of these Addendum items form a part of the Contract Documents. The Bidder shall acknowledge receipt of this Addendum in the appropriate space provided on the Bid Form. Failure to do so may result in disqualification of the Bid.

DOCUMENTS INCLUDED IN THIS ADDENDUM

This Addendum includes **1** page of text and the following documents:

- Bidding Documents: **None**
- Contract Conditions: **None**
- Specification Sections: **None**
- Drawings: **C100**

CHANGES TO DRAWINGS

ADD-1 Item No. D-1 - Civil Demolition Scope

Refer to Sheet(s): D100

Revised removal limits to no longer include pavement removal along Chime Street. Call outs to existing leaching changed from removed to be protected during the demolition phase. Included utility coordination call outs. Added note to "site removal notes". Included additional description to "building removal notes" & "septic tank removal notes".

END OF ADDENDUM.

B.M. #1 EL. 968.41
FINISH FLOOR OF EXISTING BUILDING JUST
INSIDE FRONT MAIN ENTRANCE.

B.M. #2 EL. 968.01
SET LAG BOLT ON WEST SIDE OF UTILITY
POLE NEAR THE NORTH END OF THE
SCHOOL BUILDING ON THE EAST SIDE OF
CHIME STREET AT HOUSE #3493.

VERTICAL DATA BASED ON THE FINISHED
FLOOR AT THE MAIN ENTRANCE, NOTED AS
BEING ON U.S.G.S. DATUM AND SHOWN ON
SURVEY BY INGERSOLL, WATSON &
McMACHEN DATED 11/06/90 AT 968.41'.

BUILDING REMOVAL NOTES

REMOVE EXISTING BUILDINGS IN THEIR ENTIRETY, INCLUDING BUT NOT LIMITED TO, ALL ABOVE AND BELOW GRADE FLOORS, BASEMENTS, MECHANICAL / BOILER ROOMS, COAL STORAGE ROOMS, WALLS, TUNNELS, FOUNDATIONS, FOOTINGS, STOPS, STAIRS, LANDINGS, AND RAMPS, UNLESS NOTED OTHERWISE ON THE PLANS.

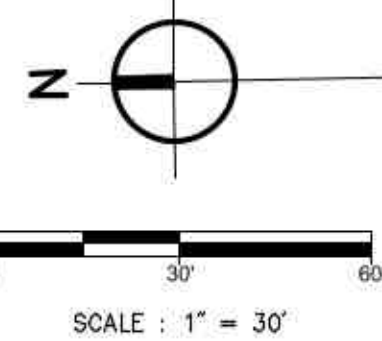
AFTER BUILDING REMOVAL, CONTRACTOR SHALL LEVEL EXISTING BUILDING FOOTPRINT AREA AND FILL ANY LOW SPOTS WITH MDOT CLUI SAND.

SEPTIC TANK REMOVAL NOTES

EXISTING SEPTIC TANK LOCATIONS ARE APPROXIMATE AND THE CONTRACTOR SHALL FIELD LOCATE EXISTING SEPTIC TANKS AND ASSOCIATED PIPING, EMPTY AND REMOVE IN ITS ENTIRETY. AFTER REMOVAL, THE TRENCH SHALL BE BACKFILLED PER THE HEALTH DEPARTMENT REQUIREMENTS.

REMOVAL LEGEND

- REMOVAL LIMITS
- MILL 1.5" HMA SURFACE
- REMOVE HMA SURFACE
- REMOVE CONCRETE SIDEWALK
- REMOVE CONCRETE PAVEMENT OR DRIVEWAY
- PROTECT UTILITY
- SILT FENCE
- REMOVE CURB, GUTTER OR CURB AND GUTTER
- TREE REMOVAL



SITE REMOVAL NOTES

- REMOVE EXISTING BUILDINGS IN THEIR ENTIRETY, INCLUDING BUT NOT LIMITED TO, ALL ABOVE AND BELOW GRADE FLOORS, BASEMENTS, MECHANICAL/BOILER ROOMS, COAL STORAGE ROOMS, WALLS, TUNNELS, FOUNDATIONS, FOOTINGS, STOPS, STAIRS, LANDINGS, AND RAMPS, UNLESS NOTED OTHERWISE ON THE PLANS.
- ALL EXISTING SITE FEATURES ABOVE OR BELOW THE GROUND SURFACE, INCLUDING BUT NOT LIMITED TO, FOUNDATIONS, PAVEMENT, SIGNAGE, UTILITIES, UTILITY STRUCTURES, LANDSCAPING AND FENCING WITHIN THE REMOVAL BOUNDARY ARE TO BE REMOVED ENTIRELY AND DISPOSED OF UNLESS OTHERWISE NOTED ON THE PLANS OR AS DIRECTED BY THE OWNER. COORDINATE WITH OWNER AND PROTECT ANY ITEMS THAT WILL BE SALVAGED AND RELOCATED.
- REMOVE ALL EXISTING SITE SIGNS WITHIN THE CONSTRUCTION LIMITS (TRAFFIC, PARKING & INFORMATIONAL, ETC.), UNLESS NOTED OTHERWISE ON THE DRAWINGS OR AS DIRECTED BY THE OWNER TO BE SALVAGED.
- CONTRACTOR TO PROVIDE MDOT CLUI SAND BACKFILL, COMPACTED IN 12-INCH LIFTS, FOR ALL REMOVED STRUCTURES, PIPES, TUNNELS, AND/OR BUILDING DEMOLITION THAT WOULD CAUSE THE GROUND SURFACE TO BE MORE THAN 4 INCHES DIFFERENT THAN THE SURROUNDING ELEVATION.
- SALVAGE EXISTING BUILDING IDENTIFICATION SIGN(S), FLAGPOLE, MONUMENT MARKERS & DUMPSTERS WITHIN THE CONSTRUCTION LIMITS FOR RELOCATION OR RETURN TO OWNER, UNLESS NOTED OTHERWISE ON THE DRAWINGS OR REMOVE AND DISPOSED IN ENTIRETY AS DIRECTED BY THE OWNER.
- COORDINATE SITE ELECTRICAL REMOVALS WITH UTILITY OWNER FOR ANY REMOVAL OR RELOCATION OF SITE ELECTRICAL ITEMS.
- REMOVE ALL UTILITY STRUCTURE MANHOLES & CATCH BASINS SHOWN TO BE REMOVED IN THEIR ENTIRETY, RAISE OR LOWER STRUCTURES TO REMAIN (WHETHER NOTED OR NOT) TO MATCH PROPOSED FINISH GRADES. THIS INCLUDES, BUT IS NOT LIMITED TO, SANITARY, STORM, WATER, ELECTRICAL, COMMUNICATIONS, GATE VALVE BOXES & HAND HOLES.
- PROTECT OR SALVAGE FOR RE-USE ALL EXISTING FIRE HYDRANTS & GATE VALVES TO BE REMOVED OR SALVAGED AND RELOCATED, AND CLASSIFIED IN GOOD WORKING CONDITION ACCORDING TO THE UTILITY OWNER, FOR RE-USE. FINAL APPROVAL OF THE RE-USE OF ANY SALVAGED FIRE HYDRANT OR GATE VALVE MUST BE GIVEN BY THE UTILITY OWNER.
- ANY CITY/MUNICIPAL/UTILITY OWNED UNDERGROUND SERVICES (GAS, WATER, SANITARY, ETC.) SHOWN TO BE REMOVED MUST BE DONE SO IN THEIR ENTIRETY & AS INDICATED ON THE DRAWINGS. CAP/BULKHEAD ALL REMAINING PORTIONS AT THE PROPERTY LINE PER CITY/MUNICIPAL/UTILITY COMPANY STANDARDS. THE CONTRACTOR MUST OBTAIN ALL REQUIRED PERMITS & PROVIDE ADVANCED NOTICE TO CITY/MUNICIPAL/UTILITY COMPANY PRIOR TO DISTURBANCE OF SAID UTILITY SERVICES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE & ISOLATE ANY UNDERGROUND LAWN/PLANTING BED IRRIGATION SYSTEMS PRIOR TO CONSTRUCTION TO PREVENT DAMAGE TO THE EXISTING IRRIGATION SYSTEMS THAT ARE TO REMAIN IN GROUND & OPERABLE. ANY LAWN OR PLANTING BED IRRIGATION SYSTEMS THAT ARE DAMAGED BY CONSTRUCTION MUST BE REPLACED WITH LIKE TO THE OWNER'S SATISFACTION & AT NO ADDITIONAL COST.
- FIELD VERIFY THE PURPOSE & LOCATION OF UNDERGROUND ELECTRICAL, TELECOM & FIBER OPTIC UTILITIES & RELOCATE AS REQUIRED PRIOR TO COMMENCEMENT DEMOLITION SUCH THAT THE OWNER DOES NOT EXPERIENCE ANY "OUTAGES" OR "FAILURES" WITH THEIR INTERNAL ELECTRICAL, TELEPHONE, SECURITY OR COMPUTER SYSTEMS. REPAIR ANY CONTRACTOR-CAUSED DAMAGES AT NO COST TO THE OWNER. REFER TO THE ELECTRICAL SITE PLAN FOR COORDINATION.
- FILL ALL PIPES CALLED TO BE ABANDONED ON THE DRAWINGS WITH FLOWABLE FILL. MEASURE VOLUME OF FILL DURING TIME OF CONSTRUCTION & SUBMIT TO ENGINEERS FOR REVIEW.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES & FOR LOCATING THE DEPTH & PLACEMENT OF ANY AND ALL UTILITIES WITHIN THE CONSTRUCTION WORK LIMITS. PROCEED WITH CAUTION WHEN WORKING WITH & AROUND THESE UTILITIES. THE COST TO REPAIR DAMAGE TO ANY UTILITIES (SEWERS, WATER, GAS, ELECTRICAL, UNDERDRAIN SYSTEMS, & SPRINKLER SYSTEMS, ETC.), KNOWN OR OTHERWISE, WILL BE BORNE SOLELY BY THE CONTRACTOR. IT IS THE OWNER'S RESPONSIBILITY TO ACCEPT & APPROVE SAID REPAIRS OF THE DAMAGED UTILITY.
- REMOVAL OF ANY EXISTING CHAINLINK FENCE INCLUDES THE REMOVAL OF CONCRETE FOOTINGS WITH THE EMBEDDED POSTS. COORDINATE THE LIMITS OF EXISTING CHAINLINK FENCE REMOVALS WITH THE OWNER.
- RETAINING WALLS THAT ARE SHOWN TO BE SAWCUT & REMOVED MUST BE DONE SO ENTIRELY & INCLUDES ANY FOOTINGS & FOOTING DRAINS, UNLESS NOTED OTHERWISE SPECIFIED ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR ACCURATELY ESTIMATING THE EXTENT OF REMOVALS BELOW GRADE & IS RESPONSIBLE FOR PROTECTING ANY REMAINING PORTIONS OF THE RETAINING WALLS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- FULL DEPTH SAWCUT CONCRETE WALKS, PAVING AND CURB & GUTTER SHOWN TO BE REMOVED AT THE NEAREST EXISTING JOINT & REMOVE.
- CONTRACTOR TO COORDINATE WITH OWNER REGARDING THEIR NEED FOR EXCESS SOIL SPOILS ON SITE. IF THE OWNER DOES NOT WANT THE SOIL, THE CONTRACTOR IS TO REMOVE THE SOIL AND HAUL DISPOSE OF IT OFFSITE.
- REMOVE TREES AND STUMPS IN THEIR ENTIRETY AS IDENTIFIED ON THE DRAWINGS & WHEN FOUND IN THE FIELD & LOCATED WITHIN THE CONSTRUCTION AREA, OR AS DIRECTED BY THE OWNER.
- REMOVAL OF LANDSCAPE AREAS AROUND BUILDINGS & THE SITE THAT ARE CALLED OUT TO BE REMOVED INCLUDES THE REMOVAL OF EDGING OR FENCING AND ANY ASSOCIATED PLANTINGS. REFER TO LANDSCAPE PLANS & SPECIFICATIONS FOR CARE OF AND RELOCATION OF ANY PLANT MATERIAL.
- REMOVE ANY EXISTING AGGREGATE BASE OR DELETERIOUS MATERIALS BENEATH ALL PROPOSED LAWNS AND LANDSCAPE PLANTING AREAS.

ADD#1
ISSUED FOR:

06/17/2024
DATE

PROJECT TITLE
CHIME ELEMENTARY
SCHOOL DEMOLITION

OWNER
KALAMAZOO PUBLIC
SCHOOLS

Kalamazoo, Michigan

SHEET TITLE
DEMOLITION PLAN

DATE
MAY 10, 2024

SHEET NUMBER
C 100

18-502.00

Prein & Newhof
Engineers-Surveyors-Environmental-Laboratory
#2230345



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

