

**ADDENDUM  
NO. 3**

**October 3, 2024**

**South Westnedge School Remodel & Site Improvements  
3333 South Westnedge Avenue  
Kalamazoo, MI 49008**

**TO: ALL BIDDERS OF RECORD**

This Addendum forms a part of and modifies the Bidding Requirements, Contract Forms, Contract Conditions, the Specifications and the Drawings dated September 6, 2024, by TowerPinkster. Acknowledge receipt of the Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of Pages ADD 3-3, and TowerPinkster Addendum No. 03 dated September 27, 2024, consisting of 5 pages.

**A. SPECIFICATION SECTION 00 00 20 TABLE OF CONTENTS**

1. Remove and replace with updated Table of Contents.

**B. SPECIFICATION SECTION 01 12 00 MULTIPLE CONTRACT SUMMARY**

**3.03 BID CATEGORIES**

**1. BID CATEGORY NO. 1 – SITEWORK**

Add the following Specification Sections:

- 33 01 00 Excavating, Trenching, & Backfilling For Utilities
- 33 21 50 Facility Water Distribution Piping
- 33 41 00 Storm Utility Drainage Piping

Add the following Clarification

1. Bid Cat 01 Sitework is responsible for the installation of the water main into the building, terminated with a riser flange in the riser room.

2. BID CATEGORY NO. 3 – CONCRETE

Add the following Specification Sections:

32 13 73 Concrete Paving Joint Sealants

3. BID CATEGORY NO. 7 – GENERAL TRADES

Add the following Specification Sections:

07 21 19 Foamed-In-Place Insulation

4. BID CATEGORY NO. 12 – FIRE SUPPRESSION

Add the following Clarifications

1. Bid Cat 01 Sitework is responsible for the installation of the water main into the building, terminated with a riser flange in the riser room.

5. BID CATEGORY NO. 13 – MECHANICAL & PLUMBING

Add the following Clarification

1. Bid Cat 13 Mechanical & Plumbing is responsible for layout, saw cutting, and removal of concrete as needed for installation of interior underground plumbing fixtures.  
Bid Cat 13 Mechanical & Plumbing is also responsible for excavation, backfill and compaction of installation of interior underground plumbing and fixtures; and disposal of concrete and excess soil from backfill into dumpers provided.
2. Stainless steel lavatory guards are the responsibility of Bid Cat 13 Mechanical & Plumbing.

6. BID CATEGORY NO. 14 – ELECTRICAL

Add the following Specification Sections:

26 05 00 Common Work Results For Electrical  
26 05 26 Grounding and Bonding For Electrical Systems  
26 05 29 Hangers and Supports For Electrical Systems  
26 05 33 Raceways and Boxes For Electrical Systems  
26 05 43 Underground Ducts and Raceways For Electrical Systems  
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26 05 53 Identification For Electrical Systems  
26 09 23 Lighting Control Devices  
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26 22 00 Low-Voltage Transformers  
26 24 16 Panelboards  
26 27 26 Wiring Devices

26 29 13 Enclosed Controllers  
26 29 23 Variable Frequency Moter Controllers  
26 32 13 Engine Generators  
26 36 00 Transfer Switches  
26 51 00 Interior Lighting  
26 56 00 Exterior Lighting  
28 31 00 Fire Detection And Alarm

C. **SPECIFICATION SECTION 00 43 50 SUBCONTRACTORS AND PRODUCTS LIST**

**1.01 Description**

1. Remove and replace with updated Sub and Products List.

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END OF SECTION 00 00 20

## **SECTION 01 12 00 - MULTIPLE CONTRACT SUMMARY**

### **PART 1 GENERAL**

#### **1.01 RELATED DOCUMENTS**

- A. Drawings and General Provisions of the Prime Contract, including amended General Conditions and other Division 1 Specification Sections, apply to Work of this Section.

#### **1.02 SUMMARY**

- A. The intent of this Section is to indicate the Work required by the Contractors and to provide information regarding the duties, responsibilities, and cooperation required by the Contractors, with similar requirements for the subcontractors and suppliers.
- B. Owners right to maintain current operations
- C. Occupancy requirements
- D. Work by Owner
- E. Permits, fees, and notices
- F. Labor and materials
- G. Verifications of existing dimensions
- H. Project security
- I. Coordination of work
- J. Time of commencement and completion
- K. Schedule of contract responsibilities

#### **1.03 WORK UNDER SEPARATE CONTRACTS**

- A. Prime Contracts are defined to include the following contracts described in the Schedule of Contract Responsibilities included hereinafter; and each is recognized to be a major part of the project, with Work to be performed concurrently and in close coordination with Work of other Prime Contracts.
- B. The "Contract Documents," as defined in the General Conditions, include "the Drawings." Although Drawings are grouped and identified by classification of the Work, Contractors shall be responsible for their Work as specified herein and as

indicated on the Drawings. Although the majority of the Drawings are "to scale," Contractors are directed to use indicated dimensions for determining material quantities and for other reasons. No additional monies will be allowed due to Contractors using "scaling instruments" to determine material quantities or for other reasons.

- C. Separate prime contracts will be awarded as per the "**Schedule of Contract Responsibilities**" (see Part 3 – Execution). Contractors shall include Work required by the Specifications and Drawings for each contract area defined in the Schedule.
- D. Work for the complete construction of the Project will be under multiple prime contracts with the Owner. The Construction Manager will manage the construction of the Project.
- E. Each Contractor shall be responsible for demolition and disposal of existing items relative to his Contract.

#### **1.04 ADMINISTRATIVE RESPONSIBILITIES OF PRIME CONTRACTORS AND CM**

- A. The Construction Manager shall be responsible for the maintenance of the Construction Schedule and management of every phase of the Work.
  - 1. Each Contractor shall read the Specifications and Drawings for other separate Contracts for fixed equipment and the like to be incorporated or attached or built in to the Work; and familiarize himself with the requirements and responsibilities of other Contracts to enable the required coordination and supervision.
  - 2. Each Contractor shall also familiarize himself with other items to be incorporated into the Work including equipment and Work by the Owner.
  - 3. Each Contractor shall cooperate with the Construction Manager in notifying him when the Work is at a stage to require the services of other Contractors and shall notify the Construction Manager in the event that such other Contractors do not carry out their responsibilities in connection with such notification.
- B. Contractors shall cooperate with and assist the Construction Manager in the preparation of construction progress and procedures, schedule of product deliveries, and their effect on the overall project progress and completion. Other Contractors shall cooperate in getting their Work and the Work of their subcontractors completed according to the schedule as prepared and maintained by the Construction Manager. Each Contractor shall immediately notify the Construction Manager of a delay in delivery of products or the scheduled date of completion that may affect the total progress of construction.
- C. The Owner will furnish the topographical survey, either as a part of these Drawings or separately, giving the general topographical lines existing at the site and the property lines.

- D. Contractors required to make connections to existing utilities, especially sewerage where gravity flow occurs, shall verify grades and locations at points of such connections and shall notify the Construction Manager of circumstances which would adversely affect the proper flow or connection to such facilities.

#### **1.05 PRIME CONTRACTORS USE OF PREMISES**

- A. Use of the Site: Limit use of the premises to work in areas indicated. Confine operations to areas within contract limits indicated. Do not disturb portions of the site beyond the areas in which the Work is indicated.
  - 1. Owner Occupancy: Allow for Owner occupancy and use by the public.
  - 2. Driveways and Entrances: Keep driveways and entrances serving the premises clear and available to the Owner, the Owner's employees, and emergency vehicles at all times. Do not use these areas for parking or storage of materials. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on site.
- B. Use of the Existing Building: Maintain the existing building in a weathertight condition throughout the construction period. Repair damage caused by construction operations. Take all precautions necessary to protect the building and its occupants during the construction period.

#### **1.06 OWNERS RIGHT TO MAINTAIN OPERATIONS**

- A. During the course of this Project, normal and customary functions and operations must be maintained. The Contract Documents are intended to define a strict separation between the school activities of students and staff from the activities of the construction project.
- B. The Construction Manager, Architect, and Owner will not tolerate any visible or audible actions initiated or responded to by any employees of Contractors on this Project toward any students, teachers, or staff members at the school system. Violators shall be promptly removed from the site.
- C. The Owner intends to instruct students, teachers, and staff to refrain from communications with Contractor's personnel working on this Project. All communication with Owner and staff shall be through the Construction Manager.

- D. Contractors must expend their best effort toward protection of the health, safety, and welfare of occupants on the Owner's property during the course of Work on this Project.
- E. Contractors and Subcontractors shall be subject to such rules and regulations for the conduct of the Work as the Owner may establish. Employees shall be properly and completely clothed while working. Bare torsos, legs and feet will not be allowed. Possession or consumption of alcoholic beverages or drugs, tobacco or other noxious behavior on the site is strictly prohibited. Violators shall be promptly removed from the site. Smoking is not permitted on school property or within school buildings.

### **1.07 OCCUPANCY REQUIREMENTS**

- A. Full Owner Occupancy: The Owner will occupy the site and existing building during the entire construction period. Cooperate with the Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with the Owner's operations.
- B. Partial Owner Occupancy: The Owner reserves the right to occupy and to place and install equipment in completed areas of the building prior to Substantial Completion, provided such occupancy does not interfere with completion of the Work. Such placing of equipment and partial occupancy shall not constitute acceptance of the total Work.
  - 1. The Construction Manager will prepare a Certificate of Substantial Completion for each specific portion of the Work to be occupied prior to Owner occupancy.
  - 2. Party which obtained general building permit shall obtain a Certificate of Occupancy from local building officials prior to Owner occupancy.
  - 3. Prior to partial Owner occupancy, mechanical and electrical systems shall be fully operational. Required inspections and tests shall have been successfully completed. Upon occupancy, the Owner will operate and maintain mechanical and electrical systems serving occupied portions of the building.
  - 4. Upon occupancy, the Owner will assume responsibility for maintenance and custodial service for occupied portions of the building.

### **1.08 WORK BY OWNER**

- A. The Owner intends to complete the following items of Work outside the provisions of these Contract Documents. Contractors shall not restrict or interfere with the Owner's right to the Project to accomplish this Work.
  - 1. Equipment and furniture except as scheduled and specified under Divisions 11 and 12 and shown on the Drawings.
  - 2. Items which may be deleted from Contracts for Work as required by the Contract Documents.
  - 3. Existing school maintenance work.

4. The purchase and supplying of certain materials as noted in the Project Manual.
5. The Owner, under separate contract, shall provide removal of identified asbestos containing materials from the existing structure. The asbestos report is available through the Construction Manager upon request.
6. (List other items as may be applicable).

#### **1.09 PERMITS, FEES, AND NOTICES**

- A. The Construction Manager will secure the general building permit for the Owner. Each Contractor shall secure and pay for other permits, governmental fees, and licenses necessary for the proper execution and completion of the Contractors Work. Fees to relocate utilities on Owner's property shall be included in the bid of the Contractor doing the relocation.
  1. The Owner shall pay for the cost of the Building Permit.
  2. State filing fees for plan approval are the responsibility of the Owner and will be paid by the Owner.
- B. Utility Tie-Ins: Shall be arranged with local utility company and other involved parties for minimum interruption of service.
- C. Shutdowns of existing systems shall be limited to minimum time required and scheduled with other involved parties. Provide 2 days written notice of shutdown to Construction Manager and Owner.
- D. Inspections of installed work shall be performed by the governing authority as arranged for by the Contractor. Work shall not be covered until approved.
- E. Each Contractor shall give notices and comply with laws, ordinances, rules, regulations, and orders of public authorities bearing on the performance of his Work. If a Contractor observes that the Contract Documents are at variance therewith, he shall promptly notify the Construction Manager in writing, and necessary changes shall be adjusted by appropriate notification. If a Contractor performs Work knowing it to be contrary to such laws, ordinances, rules, and regulations, and without such notice to the Construction Manager, he shall assume full responsibility therefore and shall bear the costs attributable thereto.

#### **1.10 LABOR AND MATERIALS**

- A. Unless otherwise specifically noted, the Contractor shall provide and pay for labor, materials, equipment, tools, construction equipment and machinery, water, heat, utilities, transportation, and other facilities and services necessary for the proper execution and completion of his Work, whether temporary or permanent and whether or not incorporated or to be incorporated in the Work.

- B. Each Contractor shall enforce strict discipline and good order among his employees or other persons carrying out Work of his Contract and shall not permit employment of unfit person or persons or anyone not skilled in the task assigned to them.
- C. Prime Contractors must furnish a letter to the Construction Manager, stating that Contractor shall not assign any of its employees, agents or other individuals to perform any services in the District's facilities or program sites if that individual:
  - 1. Is listed on the Michigan Sex Offender Registry, [www.mipsor.state.mi.us](http://www.mipsor.state.mi.us).
  - 2. Is listed on the Federal Sex Offender Registry [www.nsopw.gov](http://www.nsopw.gov).
  - 3. Has not passed a 5-50 drug screen, testing negative for the following drugs:
    - a. Amphetamines
    - b. Methamphetamines
    - c. Cocaine
    - d. Codeine
    - e. Methadone
    - f. Morphine
    - g. Phencyclidine (PCP)
    - h. Marijuana
- D. ID Stickers will be issued by The Skillman Corporation upon receipt of verification from the Contractor that the employee/subcontractor employee or independent contractor has a satisfactory record to work on the Project. Stickers will be numbered and numbers assigned to each worker to be worn on their hardhat. It is the Contractor's responsibility to maintain a record of contractor's name assigned each number and provide to The Construction Manager upon request.
- E. Consistent with Michigan law, possession or consumption of drugs on school property will promptly be reported to the local police. Consumption of alcoholic beverages or tobacco or other noxious behavior on school owned property is strictly prohibited. Violators shall be promptly removed from the site. Smoking is not permitted on school property or within school buildings.

### **1.11 CUTTING AND PATCHING**

- A. Refer to Section 01 73 10 – Cutting and Patching, for provisions on this subject.

### **1.12 VERIFICATIONS OF EXISTING DIMENSIONS**

- A. When verification of existing dimensions is required, the Contractor requiring said verification for the construction or fabrication of his material shall be the Contractor responsible for the procurement of the field information.



### **1.13 PROJECT SECURITY**

- A. Each Prime Contractor shall take all reasonable precautions to prevent injury, damage or loss to people and property in, on and adjacent to the project. This shall include not only their own work or property but that of other contractors and the Owner.
- B. If deemed necessary by The Construction Manager a project wide security program may be developed for the purpose of preventing damage or loss at the project site or property adjacent thereto. Once accepted by the Owner, contractors shall comply.

### **1.14 SCHEDULE OF CONTRACT RESPONSIBILITIES - SCOPE**

- A. Contractors shall submit their proposals based on the work included under each contract area as listed herein. Include Work necessary for a complete project, as shown on the Drawings and called for in the Specifications.
- B. Questions concerning the phasing or "Schedule of Contract Responsibilities" should be directed to the Construction Manager, who will be the interpreter and be responsible for this Schedule of Contract Responsibilities and Contract Breakdown, prior to submitting proposals and during construction.
- C. The requirements of Division 1 are a part of the Work of each and every contract area. The Contractor for any one contract area shall be familiar with the Work and requirements of all other contract areas.
- D. Certain Specification Sections describe Work to be performed under several contract areas. (Example: 06 10 00 - Rough Carpentry.) Provide Work of this nature as required for each contract area whether or not enumerated in the Schedule of Contract Responsibilities.
- E. The following contract areas are broken down by Specifications Section conforming basically to the CSI format.
- F. The Drawings and Specifications as furnished for each of the Contracts is for the convenience of the Contractor in preparing a proposal for this Project. However, each Contractor is responsible to review the complete set of Drawings and Specifications to assure that Work required to be installed to complete his phase of the Work is included in his proposal. This "Schedule of Contract Responsibilities" is a definition of the work as it is to be bid in separate contracts. Where a specific item of Work is not defined, but is normally inherent to a trade, or is included in the scope of the applicable technical revision, it will be the responsibility of that Contractor to include the Work in his proposal.

- G. This "Schedule of Contract Responsibilities" is to aid each Contractor in defining the Scope of Work to be included in his proposal. However, omissions from this "Schedule of Responsibilities" do not relieve the Contractor from including in his proposal that Work which will be required to complete his Contract. Each Contractor should read the "Schedule of Contract Responsibilities" completely to familiarize himself with the Work of other Contractors that may have Work in adjacent areas and to coordinate the interfacing problems that may occur as the work is assembled and constructed.
- H. Where specific Work is to be completed under a particular phase of the Project and the Work is wholly or partially completed by other trades because of the type of work involved or jurisdictional trade agreements, the Contractor will be responsible to subcontract the Work as necessary to complete the Work included in his Contract. No delay in the Work will be allowed due to the failure of the Contractor to subcontract related work required by jurisdictional trade agreements.

### **1.15 COORDINATION OF WORK**

- A. Each Contractor is responsible to coordinate his Work with the Work of other trades and other Contractors and requirements of the school system. The Contractor must make space allowances for Work of other Contractors, provide necessary openings where indicated or implied by the Drawings and Specifications. Each Contractor is responsible to protect his own Work.

### **1.16 TIME OF COMMENCEMENT AND COMPLETION**

- A. The Contractor shall commence work within ten (10) days after being notified in writing to proceed and shall complete the Work within the time limitations established in the Form of Agreement.
  - 1. It is anticipated that construction will start within **46** calendar days after receipt of bids.
  - 2. Construction shall be complete within **280** consecutive calendar days, or earlier, after Notice to Proceed.

### **PART 2 PRODUCTS (Not Used)**

### **PART 3 EXECUTION**

#### **3.01 SCHEDULE OF CONTRACT RESPONSIBILITIES**

### 3.02 GENERAL REQUIREMENTS

#### A. PROVIDED BY OWNER THROUGH THE CONSTRUCTION MANAGER

Section	01 32 00	Schedules and Reports
Section	01 45 00S	Masonry Inspection Report
Section	01 45 10	Testing Laboratory Services
Section	01 51 60	Temporary Sanitary Facilities
Section	01 52 60	Rubbish Container
Section	01 53 10	Fences (Temporary Security)
Section	01 57 60	Project Signs
Section	01 59 10	Project Office
Section	01 71 50	Final Cleaning
Section	06 10 00	Rough Carpentry
Section	23 08 00	Commissioning of HVAC

#### B. PROVIDED BY ALL CONTRACTORS AS APPLICABLE

Section	01 12 00	Multiple Contract Summary
Section	01 2 300	Alternates
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Section	01 54 60	Environment Protection
Section	01 54 80	Utility Protection
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Section	01 56 90	Housekeeping & Safety
Section	01 59 20	Offices and Sheds
Section	01 60 00	Product Requirements
Section	01 72 50	Work Layout
Section	01 73 10	Cutting and Patching
Section	01 77 00	Contract Closeout

**Autodesk Build** is replacing **PlanGrid**. **Autodesk Build** does not require users to purchase a license. **Contractors** will be invited to the project and required to use this tool. **Autodesk Build** will be used as the **Current Set** and **As-Built Record Drawings**. Additionally, it will be used to track **Issues** for **Safety, QA/QC, Non-Compliance Issues, Work Completion List** and **Punch List**.

C. **PROVIDED BY DESIGNATED CONTRACTORS**

Section	01 21 00	Allowances
Section	01 51 10	Temporary Electricity, Lighting & Warning Systems
Section	01 51 30	Temporary Heating, Ventilation and Cooling
Section	01 51 50	Temporary Water
Section	01 51 80	Temporary Fire Protection
Section	01 52 10	Construction Aids and Temporary Enclosures
Section	01 52 60	Rubbish Containers
Section	01 53 20	Tree and Plant Protection
Section	01 53 30	Barricades
Section	01 55 00	Access Roads and Parking Areas
Section	01 56 20	Dust Control
Section	01 56 80	Erosion Control
Section	01 72 00	Field Engineering

**3.03 BID CATEGORIES**

A. **BID CATEGORY NO. 1 – SITEWORK**

General Requirements in Paragraph 3.02.B above.

Section	01 21 00	Allowances
Section	01 53 20	Tree and Plant Protection
Section	01 53 30	Barricades
Section	01 55 00	Access Roads and Parking Areas
Section	01 56 20	Dust Control
Section	01 56 80	Erosion Control
Section	31 10 00	Site Clearing
Section	31 20 00	Earth Moving
Section	32 92 00	Turf and Grasses
Section	32 93 00	Plants
Section	33 01 00	Excavating, Trenching, & Backfilling For Utilities
Section	33 21 50	Facility Water Distribution Piping
Section	33 41 00	Storm Utility Drainage Piping

B. **BID CATEGORY NO. 2 – ASPHALT PAVING**

General Requirements in Paragraph 3.02.B above.

Section	01 21 00	Allowances
Section	32 12 16	Asphalt Paving

C. **BID CATEGORY NO. 3 – CONCRETE**

General Requirements in Paragraph 3.02.B above.

Section	01 21 00	Allowances
Section	03 30 00	Cast-In Place Concrete
Section	03 60 00	Post Installed Anchors
Section	07 21 00	Thermal Insulation
Section	07 92 00	Joint Sealants s
Section	32 13 13	Concrete Paving

**Section 31 13 73 Concrete Paving Joint Sealants**

**D. BID CATEGORY NO. 4 – MASONRY**

General Requirements in Paragraph 3.02.B above.

Section	01 21 00	Allowances
Section	04 20 00	Unit Masonry
Section	07 21 00	Thermal Insulation
Section	07 84 43	Joint Firestopping
Section	07 92 00	Joint Sealants

**E. BID CATEGORY NO. 5 – STRUCTURAL STEEL**

General requirements in Paragraph 3.02.B above.

Section	01 21 00	Allowances
Section	05 12 00	Structural Steel Framing
Section	05 21 00	Steel Joist Framing
Section	05 31 00	Steel Decking
Section	05 50 00	Metal Fabrications

**F. BID CATEGORY NO. 6 – ROOFING**

General Requirements in Paragraph 3.02.B above.

Section	01 21 00	Allowances
Section	07 21 00	Thermal Insulation
Section	07 24 13	Polymer-Based Exterior Insulation And Finish Systems (EIFS)
Section	07 25 00	Weather Barriers
Section	07 27 15	Non-bituminous Self-Adhering Sheet Air Barriers
Section	07 51 13	Bult-Up Asphalt Roofing
Section	07 62 00	Sheet Metal Flashing And Trim
Section	07 71 00	Roof Specialties
Section	07 71 29	Manufactured Roof Expansion Joints
Section	07 72 00	Roof Accessories

**G. BID CATEGORY NO. 7 – GENERAL TRADES**

General Requirements in Paragraph 3.02.B above.

Section	01 21 00	Allowances
Section	01 51 80	Temporary Fire Protection
Section	01 52 10	Construction Aids and Temporary Enclosures
Section	01 53 10	Fences (Temporary Security)
Section	01 72 00	Field Engineering
Section	02 41 16	Structure Demolition
Section	02 41 19	Selective Structure Demolition
Section	06 10 00	Rough Carpentry
Section	06 16 00	Sheathing
Section	06 61 16	Solid Surfacing Fabrications
Section	07 21 19	Foamed-In-Place Insulation
Section	07 42 13.13	Formed Metal Wall Panels
Section	07 84 43	Joint Firestopping

Section	07 92 00	Joint Sealants
Section	08 06 71	Door Hardware Schedule
Section	08 11 13	Hollow Metal Doors And Frames
Section	08 14 16	Flush Wood Doors
Section	08 31 13	Access Doors And Frames
Section	09 64 66	Wood Athletic Flooring
Section	10 11 00	Visual Display Units
Section	10 14 53	Traffic Signage
Section	10 21 13.19	Plastic Toilet Compartments
Section	10 28 00	Toilet, Bath, And Laundry Accessories
Section	10 44 13	Fire Protection Cabinets
Section	10 44 16	Fire Extinguishers
Section	12 24 13	Roller Window Shades
Section	14 42 00	Wheelchair Lifts

H. BID CATEGORY NO. 8 – CASEWORK

General Requirements in Paragraph 3.02.B above.

Section	01 21 00	Allowances
Section	07 92 00	Joint Sealants
Section	12 32 16	Manufactured Plastic-Laminate-Clad Case
Section	12 36 23.13	Plastic-Laminate-Clad Countertops

I. BID CATEGORY NO. 9 – METAL STUDS, DRYWALL, & ACOUSTICAL CEILINGS

General Requirements in Paragraph 3.02.B above.

Section	01 21 00	Allowances
Section	05 40 00	Cold-Formed Metal Framing
Section	07 21 00	Thermal Insulation
Section	07 84 43	Joint Firestopping
Section	07 92 00	Joint Sealants
Section	09 22 16	Non-Structural Metal Framing
Section	09 29 00	Gypsum board
Section	09 51 13	Acoustical Panel Ceilings

J. BID CATEGORY NO. 10 – ALUMINUM FRAMES & GLAZING

General Requirements in Paragraph 3.02.B above.

Section	01 21 00	Allowances
Section	07 92 00	Joint Sealants
Section	08 06 71	Door Hardware Schedule
Section	08 11 13	Hollow Metal Doors And Frames
Section	08 14 16	Flush Wood Doors
Section	08 31 13	Access Doors And Frames
Section	08 41 13	Aluminum-Framed Entrances And Storefronts
Section	08 51 13	Aluminum Windows
Section	08 71 00	Door Hardware
Section	08 80 00	Glazing
Section	08 88 13	Fire-Rated Glazing

K. BID CATEGORY NO. 11 – FLOORING

General Requirements in Paragraph 3.02.B above.

Section	01 21 00	Allowances
Section	07 92 00	Joint Sealants
Section	09 30 00	Tiling
Section	09 65 00	Resilient Flooring
Section	09 65 13	Resilient Base And Accessories
Section	09 68 13	Tile Carpeting

L. BID CATEGORY NO. 12 – FIRE SUPPRESSION

General Requirements in Paragraph 3.02.B above.

Section	01 21 00	Allowances
Section	07 84 13	Penetration Firestopping
Section	07 92 00	Joint Sealants
Section	21 05 00	Common Work Results For Fire Suppression
Section	21 10 00	Water-Based Fire-Suppression Systems

M. BID CATEGORY NO. 13 – MECHANICAL & PLUMBING

General Requirements in Paragraph 3.02.B above.

Section	01 21 00	Allowances
Section	01 51 30	Temporary Heating, Ventilation and Cooling
Section	01 51 50	Temporary Water
Section	07 84 13	Penetration Firestopping
Section	07 84 43	Joint Firestopping
Section	07 92 00	Joint Sealants
Section	08 91 19	Fixed Louvers
Section	22 05 00	Common Work Results For Plumbing
Section	22 05 19	Meters And Gages For Plumbing Piping
Section	22 05 23	General Duty Valves For Plumbing Piping
Section	22 05 29	Hangers And Supports For Plumbing Piping And Equipment
Section	22 05 53	Identification For Plumbing Piping And Equipment
Section	22 07 00	Plumbing Insulation
Section	22 11 16	Domestic Water Piping
Section	22 11 19	Domestic Water Piping Specialties
Section	22 13 16	Sanitary Waste And Vent Piping
Section	22 13 19	Sanitary Waste Piping Specialties
Section	22 14 13	Storm Drainage Piping
Section	22 14 23	Storm Drainage Piping Specialties
Section	22 40 00	Plumbing Fixtures
Section	23 05 00	Common Work Results For HVAC
Section	23 05 13	Common Motor Requirements For HVAC Equipment
Section	23 05 16	Expansion Fittings And Loops For HVAC Piping
Section	23 05 19	Meters And Gages For HVAC Piping
Section	23 05 23	General Duty Valves For HVAC Piping

Section	23 05 29	Hangers And Supports For HVAC Piping And Equipment
Section	23 05 53	Identification For HVAC Piping And Equipment
Section	23 05 93	Testing, Adjusting, And Balancing For HVAC
Section	23 07 00	HVAC Insulation
Section	23 09 00	Instrumentation And Control For HVAC
Section	23 11 23	Facility Natural Gas Piping
Section	23 21 13	Hydronic Piping
Section	23 21 23	Hydronic Pumps
Section	23 25 00	HVAC Water Treatment
Section	23 31 13	Metal Ducts
Section	23 31 15	HVAC Air-Distribution System Cleaning
Section	23 33 00	Air Duct Accessories
Section	23 34 23	HVAC Power Ventilators
Section	23 36 00	Air Terminal Units
Section	23 37 13	Diffusers, Registers, And Grilles
Section	23 37 23	HVAC Gravity Ventilators
Section	23 52 16	Condensing Boilers
Section	23 73 13	Modular Indoor Central-Station Air-Handling Units
Section	23 74 13	Packaged, Outdoor, Central-Station Air-Handling Units
Section	23 81 27	Cassette Air Conditioners
Section	23 82 33	Convectors
Section	23 82 39	Unit Heaters

N. BID CATEGORY NO. 14 – ELECTRICAL

General Requirements in Paragraph 3.02.B above.

Section	01 21 00	Allowances
Section	01 51 10	Temporary Electricity, Lighting and Warning Systems
Section	07 84 13	Penetration Firestopping
Section	07 84 43	Joint Firestopping
Section	07 92 00	Joint Sealants
Section	26 05 00	Common Work Results For Electrical
Section	26 05 19	Low-Voltage Electrical Power Conductors And Cables
Section	26 05 26	Grounding and Bonding For Electrical Systems
Section	26 05 29	Hangers and Supports For Electrical Systems
Section	26 05 33	Raceways and Boxes For Electrical Systems
Section	26 05 43	Underground Ducts and Raceways For Electrical Systems
Section	26 05 44	Sleeve and Sleeve Seals For Electrical Raceways and Cabling
Section	26 05 53	Identification For Electrical Systems
Section	26 09 23	Lighting Control Devices
Section	26 09 43	Network Lighting Controls
Section	26 22 00	Low-Voltage Transformers



Section	26 24 16	Panelboards
Section	26 27 26	Wiring Devices
Section	26 29 13	Enclosed Controllers
Section	26 29 23	Variable Frequency Motor Controllers
Section	26 32 13	Engine Generators
Section	26 36 00	Transfer Switches
Section	26 43 13	Surge Protection For Low-Voltage Electrical Power Circuits
Section	26 51 00	Interior Lighting
Section	26 56 00	Exterior Lighting
Section	27 05 00	Common Work Results For Communications
Section	27 05 10	Technology Responsibility Matrix
Section	27 05 26	Grounding And Bonding For Communications Systems
Section	27 05 28	Pathways For Communications Systems
Section	27 05 53	Identification For Communications Systems
Section	27 15 13	Communications Copper Horizontal Cabling
Section	27 17 00	Testing, ID And Admin Of Balanced Twisted Pair Infrastructure
Section	27 26 26	IP Address Request Form
Section	27 41 16	Integrated Audio Video Systems And Equipment
Section	27 51 16	Public Address Systems
Section	27 53 13.20	Clock Systems (PRIMEX)
Section	28 13 00	Access Control
Section	28 15 00	Access Control Hardware Devices
Section	28 15 23	Intercom Entry System
Section	28 20 00	Video Surveillance
Section	28 31 00	Fire Detection And Alarm

END OF SECTION 01 12 00

## **SECTION 00 43 50 - SUBCONTRACTORS AND PRODUCTS LIST**

### **PART 1 - GENERAL**

#### **1.01 DESCRIPTION**

- A. The two (2) low responsive Bidders in each Bid Category shall furnish electronically, the following Subcontractors and Products List to the Construction Manager within **two (2) working days (48 hrs.)** of bid opening, **unless submitted with Bid.** The blanks appropriate to the Bid Category(ies) on which they bid shall be completed.
  - 1. The Owner and Architect shall have the right to select any material or equipment named in the Specifications for any particular item where the Bidder either fails to list same or lists more than one name for the item in question.
  - 2. It is intended that this list will show the manufacturer and supplier of major items of work that will be subcontracted and to whom.

#### **1.02 INSTRUCTIONS FOR SUBCONTRACTORS AND PRODUCTS LISTS**

- A. Each Bidder shall submit a copy of his list of subcontractors and manufacturers of products and equipment proposed for work indicated as required above.
- B. The list shall be submitted on forms provided and shall be completely executed. **"As Specified" or "With Equipment" type of terminology will not be accepted.**
- C. Under "Subcontractor", insert the name of the firm which the Bidder proposes to have perform the respective work. If work will be done by the Prime Bidder and no subcontract will be awarded, state "By Own Forces".
- D. Submission does not constitute acceptance for use of listed manufacturers' products. Materials and subcontractors are subject to the provisions of the General Conditions and "Standard of Product Acceptability" and must be formally reviewed and adjudged acceptable by the Architect/Engineer.
- E. Engineer, Architect and Owner reserve the right to reject submissions of materials, work, or subcontractors that do not, in their opinion, meet the requirements of Drawings, Specifications or job conditions.
- F. Materials and subcontractors used for work on the Project shall be in accordance with accepted material list.
  - 1. The list is intended to assure use of materials and vendors acceptably equivalent to those specified and is not a substitution sheet or complete listing of required materials or services.

2. Substitutions for listed items will not be allowed, except when termed acceptable, in writing by the Architect/Engineer, provided that substitution will result in a cost savings to the Owner , determined by the Owner to be a better product, or is made necessary due to unavailability of listed item. Unavailability shall be confirmed in writing by manufacturer named on accepted list.

**1.03 CIVIL AND ARCHITECTURAL WORK SUBCONTRACTORS AND PRODUCTS LIST**

BID CATEGORY NO. 01 – SITEWORK

NAME OF BIDDER \_\_\_\_\_

The undersigned hereby submits the following Subcontractors and Products List which becomes a part of the undersigned Contract proposal. Subcontractor purchased material, equipment, and labor shall be under the direct management and control of the Prime Contractor. If a dual listing of manufacturers and subcontractors is herein made, it is understood the Architect/Engineer (not the Contractor) will select the manufacturer or subcontractor of his choice.

CIVIL AND ARCHITECTURAL WORK

<u>Section</u>	<u>Description</u>	<u>Cost \$\$\$</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
01 21 00	Allowances			
01 53 20	Tree and Plant Protection			
01 53 30	Barricades			
01 55 00	Access Roads and Parking Areas			
01 56 20	Dust Control			
01 56 80	Erosion Control			
31 10 00	Site Clearing			
31 20 00	Earth Moving			
32 92 00	Turf and Grasses			
32 93 00	Plants			
33 01 00	Excavating, Trenching, & Backfilling For Utilities			

<u>Section</u>	<u>Description</u>	<u>Cost \$\$\$</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
33 21 50	Facility Water Distribution Piping			
33 41 00	Storm Utility Drainage Piping			

Name of Bidder:	Date:
Address:	
City/State/Zip:	
Telephone:	
By:	

**CIVIL AND ARCHITECTURAL WORK SUBCONTRACTORS AND PRODUCTS LIST**

BID CATEGORY NO. 03 – CONCRETE

NAME OF BIDDER \_\_\_\_\_

The undersigned hereby submits the following Subcontractors and Products List which becomes a part of the undersigned Contract proposal. Subcontractor purchased material, equipment, and labor shall be under the direct management and control of the Prime Contractor. If a dual listing of manufacturers and subcontractors is herein made, it is understood the Architect/Engineer (not the Contractor) will select the manufacturer or subcontractor of his choice.

CIVIL AND ARCHITECTURAL WORK

<u>Section</u>	<u>Description</u>	<u>Cost \$\$\$</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
01 21 00	Allowances			
03 30 00	Cast-In Place Concrete			
03 60 00	Post Installed Anchors			
07 21 00	Thermal Insulation			
07 92 00	Joint Sealants sf0			
31 13 73	Concrete Paving Joint Sealants			
32 13 13	Concrete Paving			

Name of Bidder:	Date:
Address:	
City/State/Zip:	
Telephone:	
By:	

**CIVIL AND ARCHITECTURAL WORK SUBCONTRACTORS AND PRODUCTS LIST**

BID CATEGORY NO. 07 – GENERAL TRADES

NAME OF BIDDER \_\_\_\_\_

The undersigned hereby submits the following Subcontractors and Products List which becomes a part of the undersigned Contract proposal. Subcontractor purchased material, equipment, and labor shall be under the direct management and control of the Prime Contractor. If a dual listing of manufacturers and subcontractors is herein made, it is understood the Architect/Engineer (not the Contractor) will select the manufacturer or subcontractor of his choice.

CIVIL AND ARCHITECTURAL WORK

<u>Section</u>	<u>Description</u>	<u>Cost \$\$\$</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
01 21 00	Allowances			
01 51 80	Temporary Fire Protection			
01 52 10	Construction Aids and Temporary Enclosures			
01 72 00	Field Engineering			
02 41 16	Structure Demolition			
02 41 19	Selective Structure Demolition			
06 10 00	Rough Carpentry			
06 16 00	Sheathing			
06 61 16	Solid Surfacing Fabrications			
07 21 19	Foamed-In-Place Insulation			
07 42 13.13	Formed Metal Wall Panels			
07 84 43	Joint Firestopping			
07 92 00	Joint Sealants			
08 06 71	Door Hardware Schedule			

<u>Section</u>	<u>Description</u>	<u>Cost \$\$\$</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
08 11 13	Hollow Metal Doors And Frames			
08 14 16	Flush Wood Doors			
08 31 13	Access Doors And Frames			
09 64 66	Wood Athletic Flooring			
10 11 00	Visual Display Units			
10 14 53	Traffic Signage			
10 21 13.19	Plastic Toilet Compartments			
10 28 00	Toilet, Bath, And Laundry Accessories			
10 44 13	Fire Protection Cabinets			
10 44 16	Fire Extinguishers			
12 24 13	Roller Window Shades			
14 42 00	Wheelchair Lifts			

Name of Bidder:	Date:
Address:	
City/State/Zip:	
Telephone:	
By:	

## 1.05 ELECTRICAL WORK SUBCONTRACTORS AND PRODUCTS LIST

BID CATEGORY NO. 14 - ELECTRICAL

NAME OF BIDDER \_\_\_\_\_

The undersigned hereby submits the following Subcontractors and Products List which becomes a part of the undersigned Contract proposal. Subcontractor purchased material, equipment, and labor shall be under the direct management and control of the Prime Contractor. If dual listing of manufacturers or subcontractors is herein made, it is understood the Architect/Engineer (not the Contractor) will select the manufacturer or subcontractor of his choice.

### ELECTRICAL WORK

<u>Section</u>	<u>Description</u>	<u>Cost \$\$\$</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
01 21 00	Allowances			
01 51 10	Temporary Electricity, Lighting and Warning Systems			
07 84 13	Penetration Firestopping			
07 84 43	Joint Firestopping			
07 92 00	Joint Sealants sf0			
26 05 00	Common Work Results For Electrical			
26 05 19	Low-Voltage Electrical Power Conductors And Cables			
26 05 26	Grounding and Bonding For Electrical Systems			
26 05 29	Hangers and Supports For Electrical Systems			



26 05 33	Raceways and Boxes For Electrical Systems			
26 05 43	Underground Ducts and Raceways For Electrical Systems			
26 05 44	Sleeve and Sleeve Seals For Electrical Raceways and Cabling			
26 05 53	Identification For Electrical Systems			
26 09 23	Lighting Control Devices			
26 09 43	Network Lighting Controls			
26 22 00	Low-Voltage Transformers			
26 24 16	Panelboards			
26 27 26	Wiring Devices			
26 29 13	Enclosed Controllers			
26 29 23	Variable Frequency Motor Controllers			
26 32 13	Engine Generators			
26 36 00	Transfer Switches			
26 43 13	Surge Protection For Low-Voltage Electrical Power Circuits			
26 51 00	Interior Lighting			
26 56 00	Exterior Lighting			
27 05 00	Common Work Results For Communications			
27 05 10	Technology Responsibility Matrix			

27 05 26	Grounding And Bonding For Communications Systems			
27 05 28	Pathways For Communications Systems			
27 05 53	Identification For Communications Systems			
27 15 13	Communications Copper Horizontal Cabling			
27 17 00	Testing, Id And Admin Of Balanced Twisted Pair Infrastructure			
27 26 26	IP Address Request Form			
27 41 16	Integrated Audio Video Systems And Equipment			
27 51 16	Public Address Systems			
27 53 13.20	Clock Systems (PRIMEX)			
28 31 00	Fire Detection And Alarm			

Name of Bidder:	Date:
Address:	
City/State/Zip:	
Telephone:	
By:	

END OF SECTION 00 43 50

## ADDENDUM NO. 3

<b>DATE OF ISSUANCE:</b>	<b>September 27, 2024</b>
<b>PROJECT:</b>	<b>South Westnedge School Remodeling and Site Improvements 3333 S Westnedge Ave Kalamazoo, MI 49008</b>
<b>OWNER:</b>	<b>Kalamazoo Public Schools</b>
<b>ARCHITECT'S PROJECT NO.:</b>	<b>23-606.00</b>
<b>ORIGINAL BID ISSUE DATE:</b>	<b>September 6, 2024</b>

---

### SCOPE OF WORK

This Addendum includes changes to, or clarifications of, the original Bidding Documents and any previously issued addenda, and shall be included in the Bid. All of these Addendum items form a part of the Contract Documents. The Bidder shall acknowledge receipt of this Addendum in the appropriate space provided on the Bid Form. Failure to do so may result in disqualification of the Bid.

### DOCUMENTS INCLUDED IN THIS ADDENDUM

This Addendum includes 1 pages of text and the following documents:

- Bidding Documents: **NA**
- Contract Conditions: **NA**
- Specification Sections: **NA**
- Drawings: **REPRINT ONLY NO CHANGES MADE: C100, C200, C300, C400.**

### CHANGES TO PREVIOUSLY ISSUED ADDENDA

The previous addendum issued by TowerPinkster noted as Addendum #1, that Addendum in fact was Addendum #2 as issued and clarified by the Skillman Corporation.

### CHANGES TO DRAWINGS

#### **ADD-3 Item No. D-1 - Reprint of Drawing Sheet for Improved Clarity**

Refer to Reissued Sheet(s): C100, C200, C300, & C400

The drawings are being reissued due to print legibility; no changes have been made to the sheets. The new prints are much more legible.

### **END OF ADDENDUM.**



**Vriesman & Korhorn**  
 Byron Center, MI (616) 277-2185  
 Kalamazoo, MI (269) 697-7120  
 www.VKcivil.com  
 JOB NO. 1314



*Colin Finch*

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ADDENDUM No. 3 SEPTEMBER 27, 2024  
 ADDENDUM No. 1 SEPTEMBER 20, 2024  
 ISSUED FOR DATE

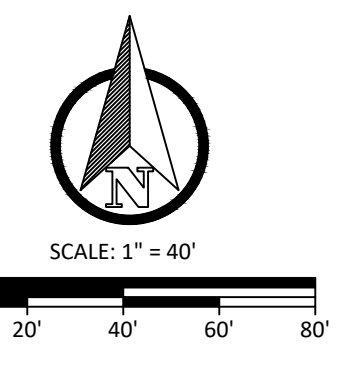
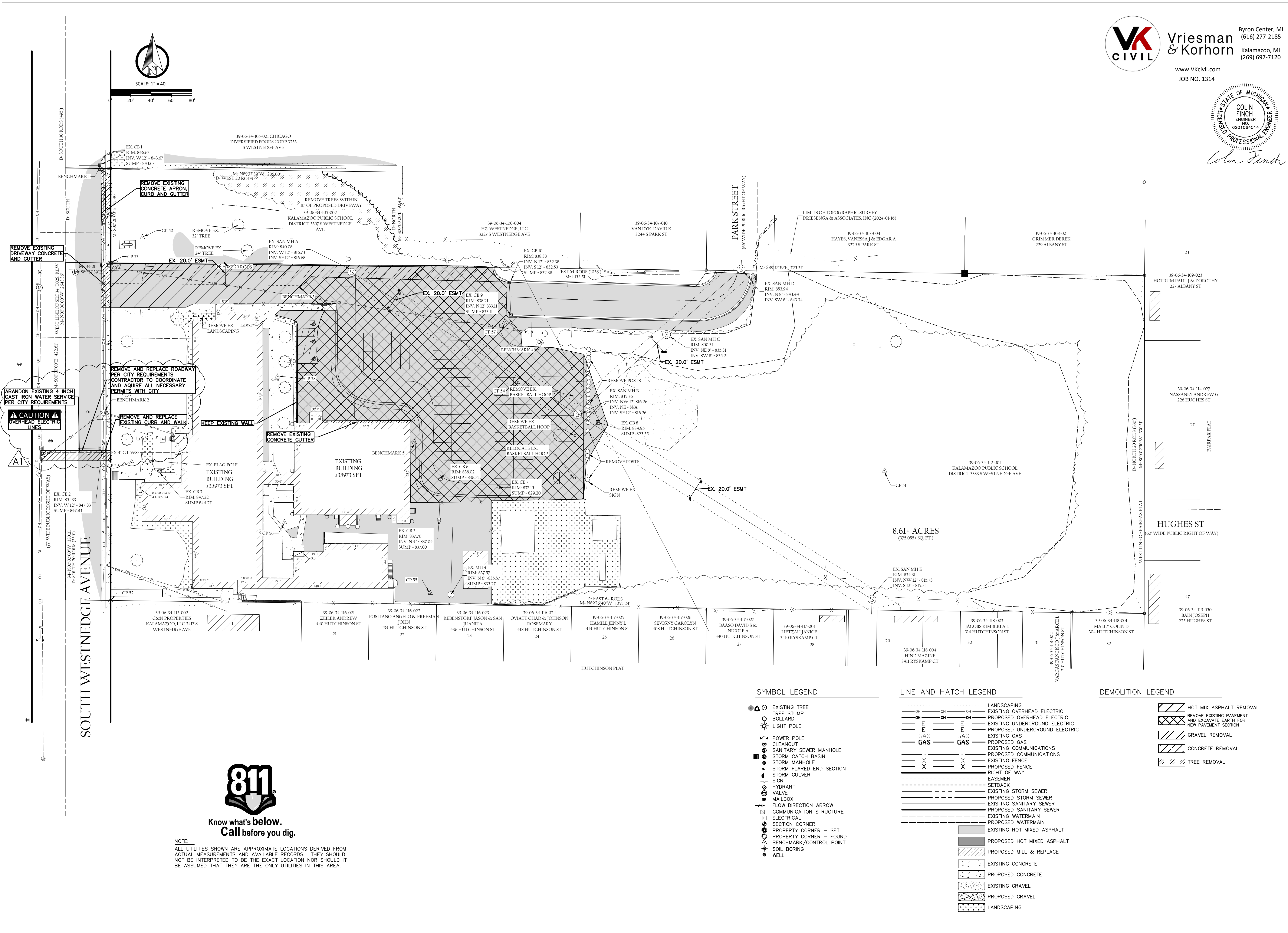
PROJECT TITLE  
**SOUTH WESTNEDGE SCHOOL REMODELING AND SITE IMPROVEMENTS**

OWNER  
**KALAMAZOO PUBLIC SCHOOLS**  
 Kalamazoo, Michigan

SHEET TITLE  
**EXISTING TOPO / DEMOLITION PLAN**

DATE  
 September 6, 2024

SHEET NUMBER  
**C100**  
 023606.000



NOTE:  
 ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE THE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

**SYMBOL LEGEND**

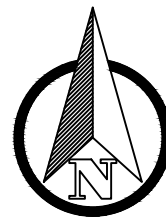
- EXISTING TREE
- TREE STUMP
- BOLLARD
- LIGHT POLE
- ⚡ POWER POLE
- ⊕ CLEANOUT
- ⊕ SANITARY SEWER MANHOLE
- ⊕ STORM CATCH BASIN
- ⊕ STORM MANHOLE
- ⊕ STORM FLARED END SECTION
- ⊕ STORM CULVERT
- ⊕ SIGN
- ⊕ HYDRANT
- ⊕ VALVE
- ⊕ MAILBOX
- ➔ FLOW DIRECTION ARROW
- ⊕ COMMUNICATION STRUCTURE
- ⊕ ELECTRICAL
- ⊕ SECTION CORNER
- ⊕ PROPERTY CORNER - SET
- ⊕ PROPERTY CORNER - FOUND
- ⊕ BENCHMARK/CONTROL POINT
- ⊕ SOIL BORING
- ⊕ WELL

**LINE AND HATCH LEGEND**

- LANDSCAPING
- EXISTING OVERHEAD ELECTRIC
- PROPOSED OVERHEAD ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND ELECTRIC
- EXISTING GAS
- PROPOSED GAS
- EXISTING COMMUNICATIONS
- PROPOSED COMMUNICATIONS
- EXISTING FENCE
- PROPOSED FENCE
- RIGHT OF WAY
- EASEMENT
- SETBACK
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING WATERMAIN
- PROPOSED WATERMAIN
- EXISTING HOT MIXED ASPHALT
- PROPOSED HOT MIXED ASPHALT
- PROPOSED MILL & REPLACE
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING GRAVEL
- PROPOSED GRAVEL
- LANDSCAPING

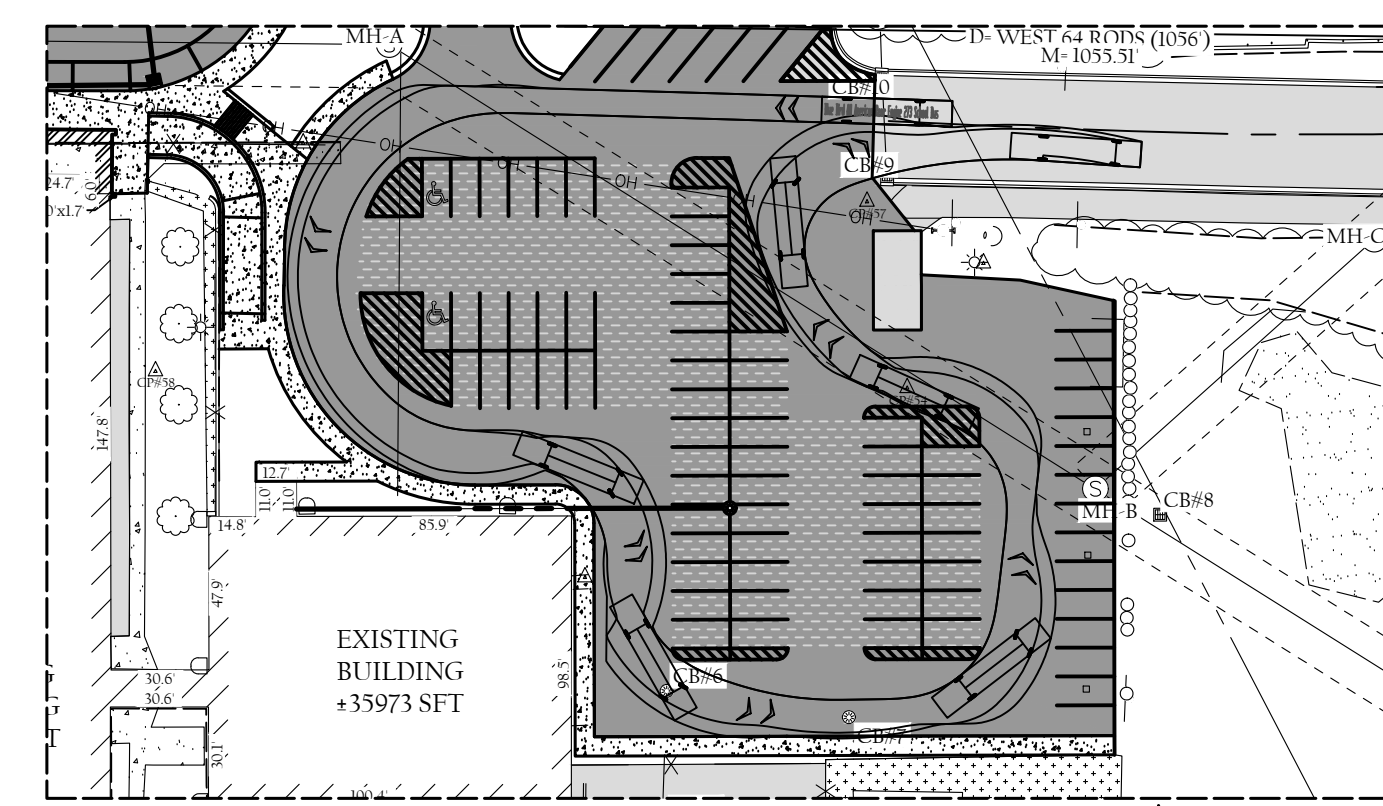
**DEMOLITION LEGEND**

- HOT MIX ASPHALT REMOVAL
- REMOVE EXISTING PAVEMENT AND EXCAVATE EARTH FOR NEW PAVEMENT SECTION
- GRAVEL REMOVAL
- CONCRETE REMOVAL
- TREE REMOVAL



SCALE: 1" = 40'

- UTILITY PLAN NOTES:
- 1) CONTRACTOR SHALL CONTACT PRIVATE AND PUBLIC UTILITY COMPANIES IF ANY COORDINATION IS NEEDED BETWEEN PROPOSED WORK AND EXISTING UTILITIES.
  - 2) UTILITIES SHOWN (IF ANY) ARE APPROXIMATE LOCATIONS DERIVED FROM MEASUREMENTS OR AVAILABLE RECORDS. THIS MAP IS NOT TO BE INTERPRETTED AS SHOWING EXACT LOCATIONS OR SHOWING ALL UTILITIES IN THE AREA. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITY INFORMATION. THE CONTRACTOR SHALL FIELD VERIFY FOR ACCURACY, LOCATION, AND CONDITION.
  - 3) ALL WATERMAIN TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL WATER UTILITY STANDARDS AND EGGLE STANDARDS.
  - 4) ALL SANITARY SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL SANITARY SEWER UTILITY STANDARDS AND EGGLE STANDARDS.
  - 5) ALL 6" UNDERDRAIN TO BE CORRUGATED PLASTIC PIPE WITH SOCK, ADS N-12 OR APPROVED EQUAL.
  - 6) ALL STORM SEWER SHALL BE SMOOTH LINED CORRUGATED PLASTIC PIPE, ADS N-12 OR EQUAL, UNLESS OTHERWISE LABELED ON THE PLANS.
  - 7) ALL EXISTING CASTINGS FOR STRUCTURES TO BE ADJUSTED OR RECONSTRUCTED TO GRADE SHALL BE FIELD VERIFIED AT THE TIME OF CONSTRUCTION AND MARKED SUITABLE FOR SALVAGE AND REUSE OR REPLACED.
  - 8) ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
  - 9) CATCH BASINS WITHIN CONCRETE HEAD CURB SHALL HAVE EJ 7045 CASTINGS.
  - 10) CATCH BASINS WITHIN BIT VALLEY CURB SHALL HAVE EJ 7065 CASTINGS WITH M1 GRATE.
  - 11) CATCH BASINS WITHIN PAVED AREAS SHALL HAVE EJ 1020M1 RADIAL FLATE GRATE CASTINGS.
  - 12) STORM SEWER MANHOLES SHALL HAVE EJ 1020 CASTINGS WITH SOLID COVERS.
  - 13) STORM SEWER YARD DRAINS SHALL HAVE EJ 6508 CASTINGS.
  - 14) ROOF DRAINS SHALL BE PVC SCH-40, UNLESS NOTED OTHERWISE.
  - 15) CONTRACTOR IS TO UNCOVER AND VERIFY ALL TAP LOCATIONS AND INVERTS. LOCATION AND INVERT DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR RESOLUTION PRIOR TO CONTINUING WORK.
  - 16) SANITARY AND STORM STRUCTURES SHALL BE PRECAST AND HAVE A MAXIMUM OF 2 ADJUSTING RINGS FOR FINISH GRADE ADJUSTMENT.
  - 17) THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES.



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*Colin Finch*

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ADDENDUM No. 3 SEPTEMBER 27, 2024  
 ADDENDUM No. 1 SEPTEMBER 20, 2024  
 ISSUED FOR DATE

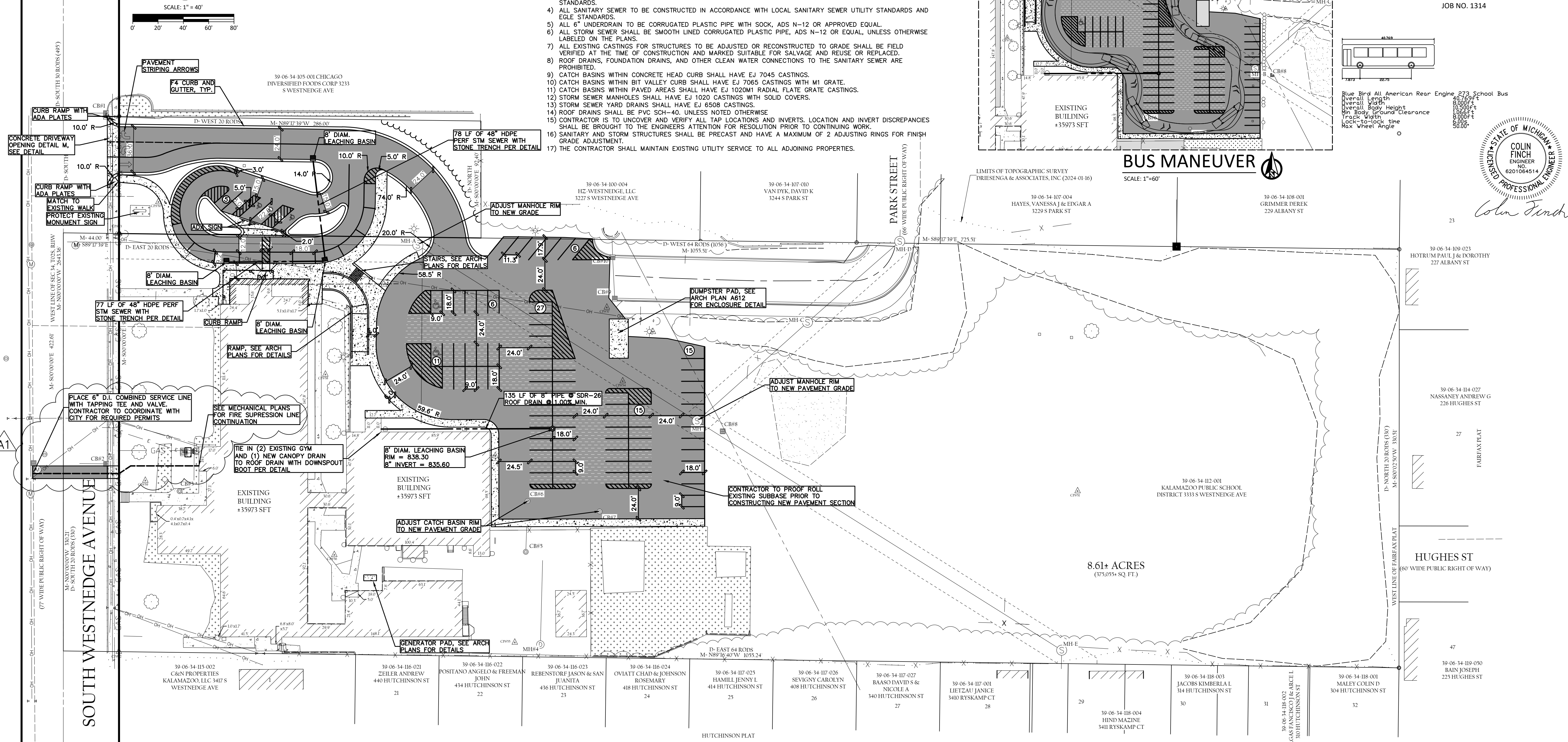
PROJECT TITLE  
**SOUTH WESTNEDGE SCHOOL REMODELING AND SITE IMPROVEMENTS**

OWNER  
**KALAMAZOO PUBLIC SCHOOLS**  
 Kalamazoo, Michigan

SHEET TITLE  
**SITE & UTILITY PLAN**

DATE  
**September 6, 2024**

SHEET NUMBER  
**C200**  
 023606.000



- SITE LAYOUT NOTES:
- 1) ALL WORK SHALL BE DONE TO ALL FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS.
  - 2) ALL WORK WITHIN ROW SHALL BE DONE IN ACCORDANCE WITH LOCAL ROADWAY JURISDICTION REQUIREMENTS.
  - 3) CONTRACTOR SHALL RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE, AND OTHER INFRASTRUCTURE DISTURBED OR DAMAGED DUE TO CONSTRUCTION ACTIVITIES TO MATCH EXISTING CONDITIONS.
  - 4) ALL DEBRIS SHALL BE REMOVED FROM THE SITE, AND NO STOCKPILING ON SITE SHALL BE ALLOWED UNLESS APPROVED BY OWNER.
  - 5) THE CONTRACTOR SHALL LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE REQUIRED OR AS SHOWN. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AND REMOVED TO FULL DEPTH AT ALL PAVEMENT LIMITS OR EXISTING JOINTS. IF ANY DAMAGE IS INCURRED TO ANY OF THE SURROUNDING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST.
  - 6) CONTRACTOR SHALL CONTACT MISS DIG THREE WORKING DAYS BEFORE YOU DIG. CALL MISS DIG AT 1-800-482-7171 OR 811.
  - 7) ALL WORK SHALL BE DONE TO THE MICHIGAN HANDICAPPED ACCESSIBILITY CODE AND THE AMERICANS WITH DISABILITIES ACT.
  - 8) ADA PARKING SPACES SHALL BE MARKED WITH APPROVED PAVEMENT SYMBOL. MARK ADA SPACES WITH 4" BLUE PAINT AND SIGNS PER MMUTCD.
  - 9) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, DEMOLITION PERMITS, TAP FEES, ASSESSMENTS, UTILITY PERMITS, ROW PERMITS, BONDS, INSURANCE, OR OTHER FEES ASSOCIATED WITH CONSTRUCTION.
  - 10) ALL SIGNAGE SHALL BE PER MDOT AND MMUTCD STANDARDS.
  - 11) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, DEMOLITION PERMITS, TAP FEES, ASSESSMENTS, UTILITY PERMITS, ROW PERMITS, BONDS, INSURANCE, OR OTHER FEES ASSOCIATED WITH CONSTRUCTION.
  - 12) SITE CONCRETE TO HAVE A COMPRESSIVE STRENGTH OF A MINIMUM 4000 PSI AND SHALL HAVE LIMESTONE AGGREGATE AND SHALL HAVE A 5.5%-8% AIR ENTRAINMENT WITH A BROOM FINISH.
  - 13) INSTALL EXPANSION JOINTS AT ALL LOCATIONS WHERE CONCRETE ABUTS HMA PAVEMENT.

- 14) CONTRACTOR SHALL REVIEW THE GEOTECHNICAL AND ENVIRONMENTAL REPORTS FOR THE SITE AND INCORPORATE INTO THEIR CONSTRUCTION MEANS AND METHODS.
- 15) THESE PLANS HAVE BEEN DEVELOPED FOR ELECTRONIC FIELD SURVEY LAYOUT. DIMENSIONS SHOWN ARE FOR GRAPHIC PRESENTATION ONLY AND SHOULD NOT BE USED FOR LAYOUT. CONTACT THE ENGINEER IF ANY DISCREPANCIES BETWEEN THE PLAN AND ELECTRONIC DATA ARE DISCOVERED.
- 16) THE WORK LIMITS SHOWN ON THESE PLANS ARE FOR PHYSICAL CONSTRUCTION ONLY. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LIGHTS, BARRICADES, FLAGMEN, ETC. AS REQUIRED TO PERFORM THE WORK. THE INSTALLATION AND OPERATION OF ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE PROVIDED BY THE CONTRACTOR WHETHER INSIDE OR OUTSIDE THESE WORK LIMITS.
- 17) THE CONTRACTOR SHALL PROTECT LOCATION OF ALL PROPERTY MARKERS AND BENCHMARKS.
- 18) THE CONTRACTOR IS RESPONSIBLE FOR ALL SIGNS, BARRICADES, AND SAFETY FENCES TO DETER PEOPLE FROM ENTERING THE WORK AREA AND FOR MAINTAINING AND PROTECTING THE FLOW OF VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE JOB SITE. TRAFFIC CONTROLS SHALL BE COORDINATED WITH THE LOCAL POLICE DEPARTMENT AND MUNICIPALITY.
- 19) PRIOR TO CONSTRUCTION OR GRADING A PROTECTIVE BARRIER, FENCE, POST, AND SIGNS CLEARLY INDICATING LIMITS OF DISTURBANCE SHALL BE INSTALLED INDICATING NO TREE REMOVAL OR DISTURBANCES OUTSIDE LIMITS.
- 20) NO PARKING OF CONTRACTOR OR SUBCONTRACTORS SHALL BE ALLOWED ON PUBLIC STREETS WITHOUT PRIOR APPROVAL.
- 21) NO BUILDING MATERIAL, EQUIPMENT, VEHICLES, OR CHEMICALS SHALL BE STORED OR PLACED OUTSIDE OF THE LIMITS OF DISTURBANCE.
- 22) CONSTRUCTION NOISE SHALL BE KEPT TO A MINIMUM DURING NIGHTTIME HOURS AND MUST COMPLY WITH LOCAL MUNICIPAL ORDINANCES.
- 23) ALL VERTICAL FACE OF CURBS SHALL BE PAINTED YELLOW WHEN BETWEEN 0 AND 6 INCHES TALL.

- PROJECT SITE INFORMATION:
- 1) FLOODPLAIN - THIS PROJECT NOT IN THE 100 YEAR FLOOD PLAN, BASED ON THE FEMA NATIONAL FLOOD MAPS.
  - 2) ADJACENT ZONING - NORTH = C NODE, RMTS, EAST = RM15, SOUTH = CC2, RM 15, WEST = CC2
  - 3) LOT COVERAGE = 36% IMPERVIOUS (3.06 ACRES)
  - 4) PARKING CALCULATION - EXISTING 101 (3 ADA SPACES) - PROPOSED 87 (5 ADA SPACES)
  - 5) LAND USE - EDUCATIONAL
  - 6) SOILS ARE PREDOMINANTLY SANDY - REFER TO THE GEOTECH REPORT FOR THE PROJECT
  - 7) GROSS SITE AREA = 8.61 ACRES

**SYMBOL LEGEND**

- EXISTING TREE
- TREE STUMP
- BOLLARD
- LIGHT POLE
- POWER POLE
- CLEANOUT
- SANITARY SEWER MANHOLE
- STORM CATCH BASIN
- STORM MANHOLE
- STORM FLARED END SECTION
- STORM CULVERT
- SIGN
- HYDRANT
- VALVE
- MAILBOX
- FLOW DIRECTION ARROW
- COMMUNICATION STRUCTURE
- ELECTRICAL
- SECTION CORNER
- PROPERTY CORNER - SET
- PROPERTY CORNER - FOUND
- BENCHMARK/CONTROL POINT
- SOIL BORING
- WELL

**LINE AND HATCH LEGEND**

- LANDSCAPING
- EXISTING OVERHEAD ELECTRIC
- PROPOSED OVERHEAD ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND ELECTRIC
- EXISTING GAS
- PROPOSED GAS
- EXISTING COMMUNICATIONS
- PROPOSED COMMUNICATIONS
- EXISTING FENCE
- PROPOSED FENCE
- RIGHT OF WAY
- EASEMENT
- SEBACK
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING WATERMAIN
- PROPOSED WATERMAIN
- EXISTING HOT MIXED ASPHALT
- PROPOSED HEAVY DUTY HOT MIXED ASPHALT
- PROPOSED PARKING LOT HOT MIXED ASPHALT
- PROPOSED MILL & REPLACE
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING GRAVEL
- EXISTING LANDSCAPING

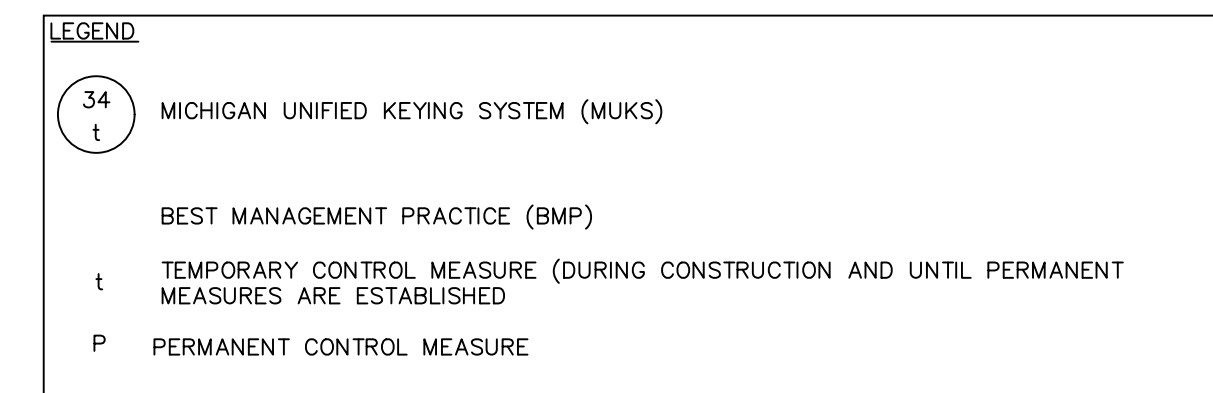
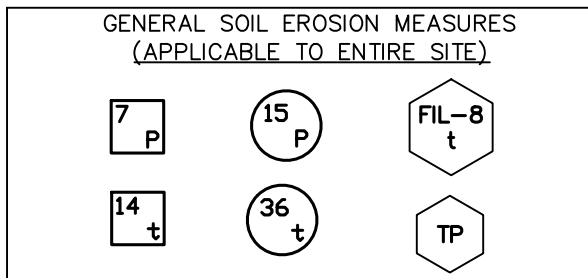


Know what's below.  
 Call before you dig.

NOTE:  
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SCALE: 1" = 40'  
0' 20' 40' 60' 80'



NOTE:  
SOIL EROSION AND SEDIMENTATION CONTROL MEASURES INDICATED ARE KNOWN OR ANTICIPATED CONTROL MEASURES NEEDED DURING TYPICAL CONSTRUCTION ACTIVITIES. ADDITIONAL CONTROL MEASURES MAY BE REQUIRED DUE TO CONSTRUCTION ACTIVITY, LOCATION, SOIL TYPE, WEATHER EVENT, ETC. ALL ADDITIONAL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE INCIDENTAL TO THE CONSTRUCTION CONTRACT.



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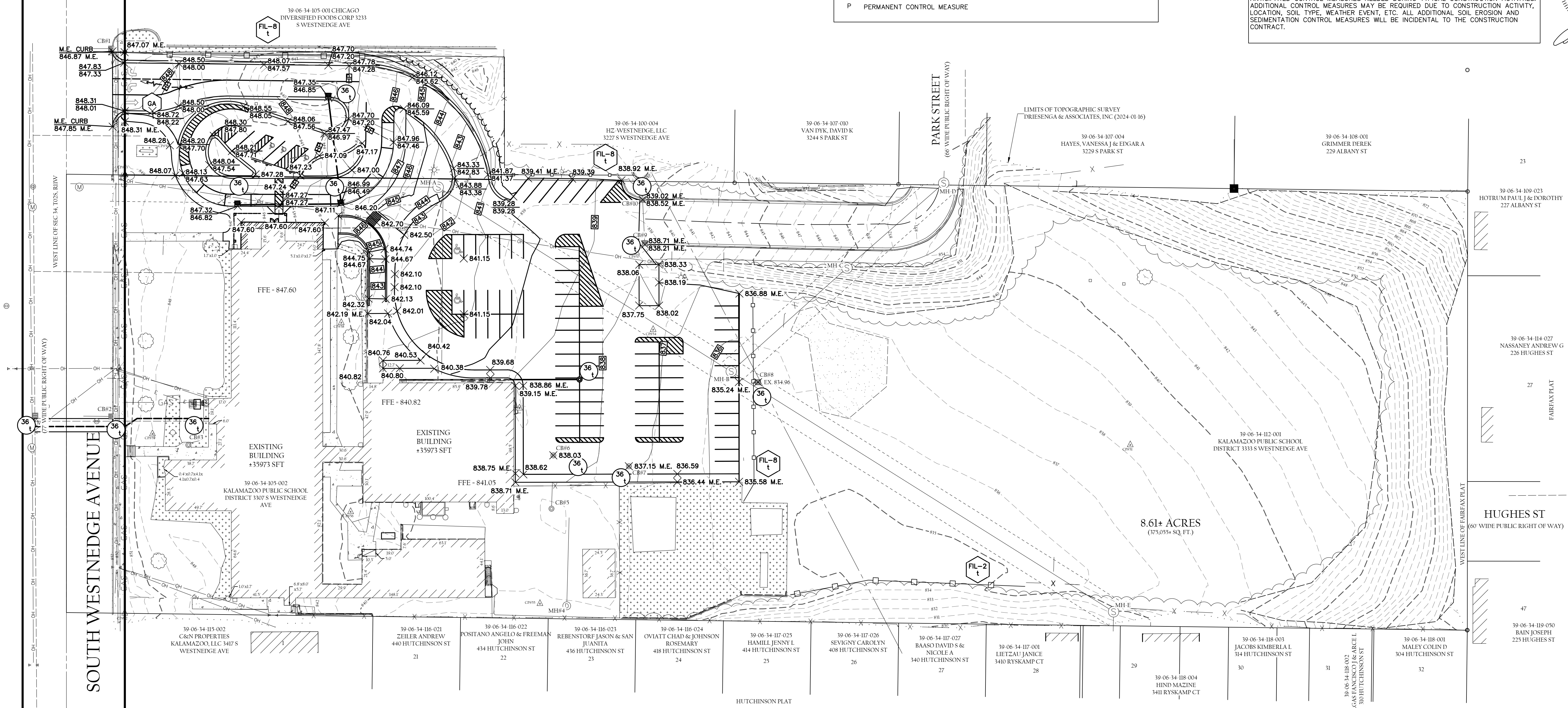
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ADDENDUM No. 3 SEPTEMBER 27, 2024  
ADDENDUM No. 1 SEPTEMBER 20, 2024  
ISSUED FOR DATE

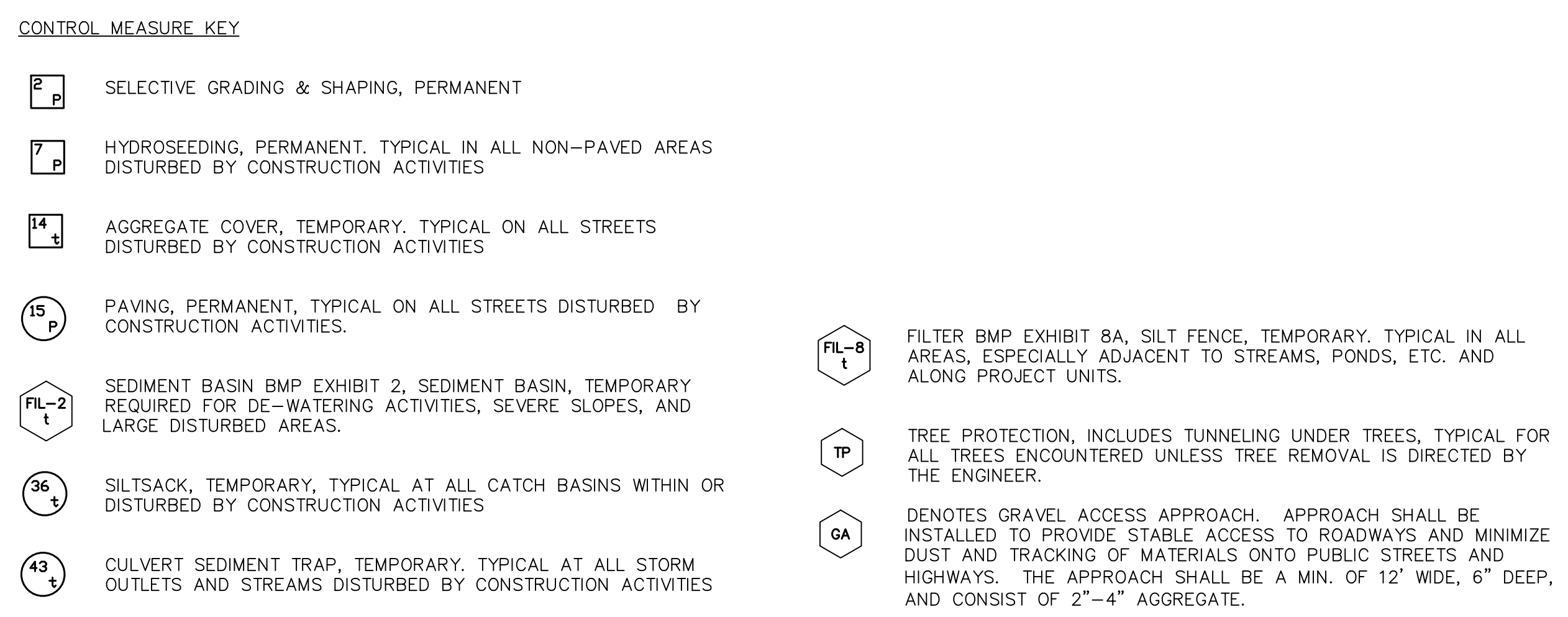
PROJECT TITLE  
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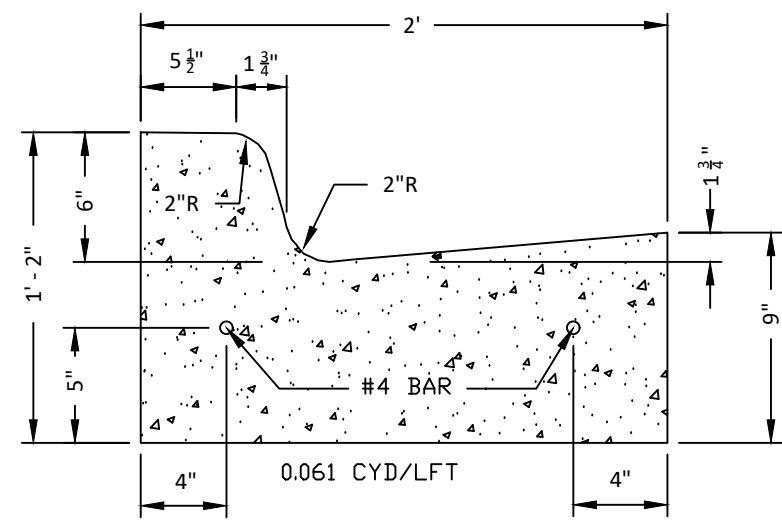
SHEET TITLE  
GRADING PLAN  
DATE  
September 6, 2024  
SHEET NUMBER  
C300  
023606.000



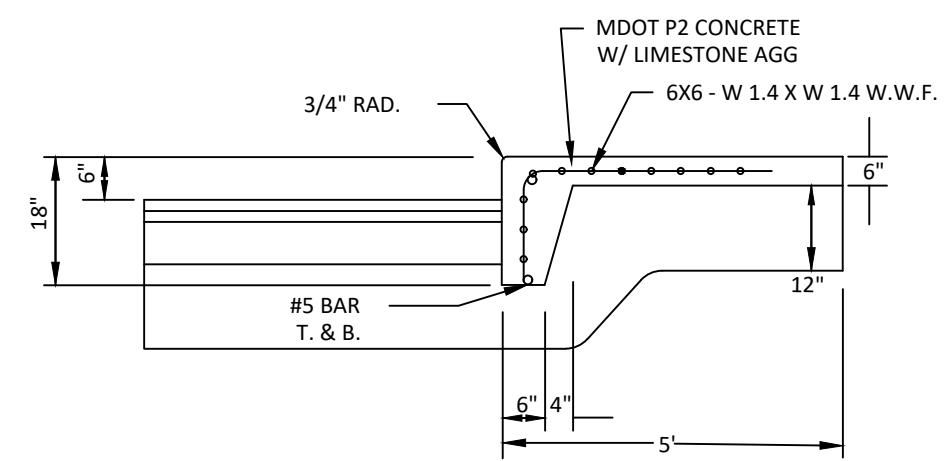
GRADING PLAN NOTES:  
1) SOILS EXPOSED IN THE BASE OF ALL SATISFACTORY FOUNDATION EXCAVATIONS SHOULD BE PROTECTED AGAINST ANY DETRIMENTAL CHANGES IN CONDITION SUCH AS FROM DISTURBANCE, RAIN AND FREEZING. SURFACE RUN-OFF WATER SHOULD BE DRAINED AWAY FROM THE EXCAVATION AND NOT ALLOWED TO POND. IF POSSIBLE, ALL FOOTING CONCRETE SHOULD BE POURED THE SAME DAY THE EXCAVATION IS MADE. IF THIS IS NOT PRACTICAL, THE FOOTING EXCAVATIONS SHOULD BE ADEQUATELY PROTECTED.  
2) REMOVE ALL SUBGRADE MATERIAL THAT MAY BE SOFTENED BY RAINS, FREEZING, OR CONSTRUCTION TRAFFIC, ETC. AND REPLACE WITH COMPACTED GRANULAR FILL.  
3) ALL CONSTRUCTION METHODS SHALL BE DONE IN COMPLIANCE WITH MDOT-EGLE. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A "SOIL EROSION PERMIT" FROM THE COUNTY AND A "PERMIT BY RULE/NOTICE OF COVERAGE" FROM EGLE IF APPLICABLE, PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE COUNTY "SOIL EROSION PERMIT" AND FOR ALL CERTIFIED STORM WATER INSPECTION SERVICE REQUESTED BY THE "PERMIT BY RULE." EROSION CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS AND SHALL NOT RELIEVE THE CONTRACTORS RESPONSIBILITY FOR PROVIDING ALL REQUIRED EROSION CONTROL MEASURES.  
4) AVOID UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER. THESE COVER AREAS ACT AS SEDIMENT FILTERS.  
5) ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEAN UP AND APPROVAL.  
6) GEOTEXTILE SILT FENCE SHALL BE INSTALLED AS REQUIRED WHEN CROSSING CREEKS OR WHEN ADJACENT TO WETLANDS OR SURFACE WATER BODIES TO PREVENT SILTATION AND ELSE WHERE AS DIRECTED BY THE ENGINEER. SEEDING AND/OR CROSSING SHALL BE INSTALLED ON CREEK BANKS IMMEDIATELY AFTER CONSTRUCTION TO PREVENT EROSION.  
7) CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF THIS OCCURS.  
8) ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 20 DAYS OR LONGER MUST BE SEED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.  
9) ALL SOIL EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO THE START OF ANY GRADING.  
10) ALL NON PAVED AREAS TO BE TOPSOILED (6" MIN.) & SEED.  
11) VARIATION IN EXISTING SOIL CONDITIONS MAY IMPACT THE EARTHWORK QUANTITIES IF UNUSABLE SOILS ARE ENCOUNTERED DURING CONSTRUCTION.  
12) DUST CONTROL: THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY SUCH AS CALCIUM CHLORIDE, WATER OR A MOTORIZED DUST-FREE STREET SWEEPING DEVICE TO MAINTAIN ALL ROADWAYS BEING USED FOR ACCESS TO THE CONSTRUCTION SITE AND SHALL ADHERE TO ALL ORDINANCES OF THE TOWNSHIP, COUNTY, MDEQ OR ANY OTHER GOVERNMENT AGENCY.  
13) IF MUD, SOIL OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AT THE END OF EACH WORK DAY OR AS REQUIRED DURING THE WORK DAY.  
14) STORMWATER POLLUTION PREVENTION ITEMS SHALL BE IN PLACE PRIOR TO COMMENCING CLEARING OPERATIONS, EARTHWORK GRADING, OR ANY OTHER TYPE OF CONSTRUCTION ACTIVITY.  
15) CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE SOIL EROSIONS AND SEDIMENT CONTROL PERMIT.  
16) PLACE TEMPORARY EROSION CONTROL MEASURES PRIOR TO EARTH MOVING ACTIVITIES.  
17) MULCH BLANKETS SHALL BE PLACED, STAPLED, AND OVERLAPPED ON ALL SLOPES THAT ARE 1 ON 3 OR GREATER AFTER.  
18) CONTRACTOR TO INSTALL SILT SACK IN ALL CATCH BASINS ONCE THEY ARE CONSTRUCTED.  
19) ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY A CERTIFIED STORM WATER OPERATOR AND MAINTAINED BY CONTRACTOR EVERY 7 DAYS AND AFTER EVERY SIGNIFICANT RAIN EVENT IN ACCORDANCE WITH NPDES PERMIT BY RULE REQUIREMENTS IF APPLICABLE.  
20) EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED.  
21) BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SILT FENCING, SEEDING AND MULCHING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING. THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.  
22) ANY POND AREA LABELED AS "INFILTRATION" OR "RETENTION" SHALL BE CONSTRUCTED IN A MANNER AS TO MINIMIZE COMPACTION OF EXISTING SUBGRADE. CONTRACTOR SHALL PROTECT AREA FROM COMPACTION PRIOR TO INSTALLATION AND THROUGHOUT CONSTRUCTION. IF NECESSARY, EXCAVATE BASIN BOTTOM TO AN UNCOMPACTED SUBGRADE FREE OF RACKS AND DEBRIS AND ENSURE A SANDY BOTTOM. DO NOT COMPACT SUBGRADE. SEED AND STABILIZE THE BASIN WITH AN MDOT SDS SEED MIXTURE OR MEADOW MIX AS APPROVED BY THE ENGINEER.



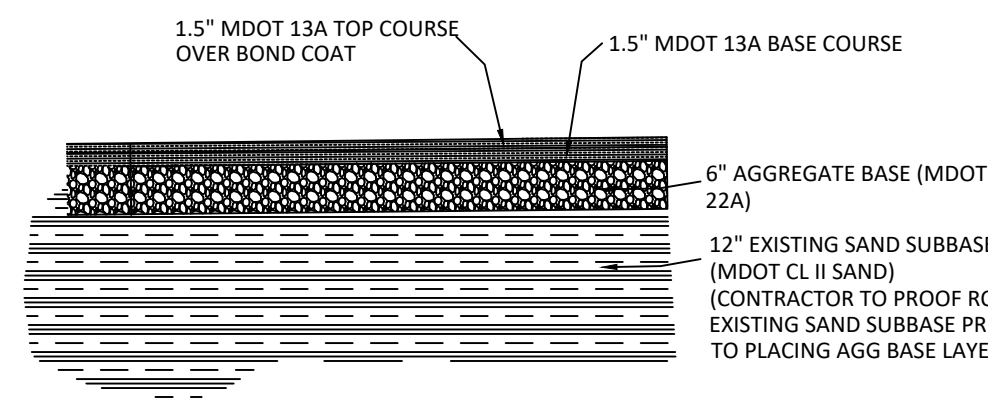
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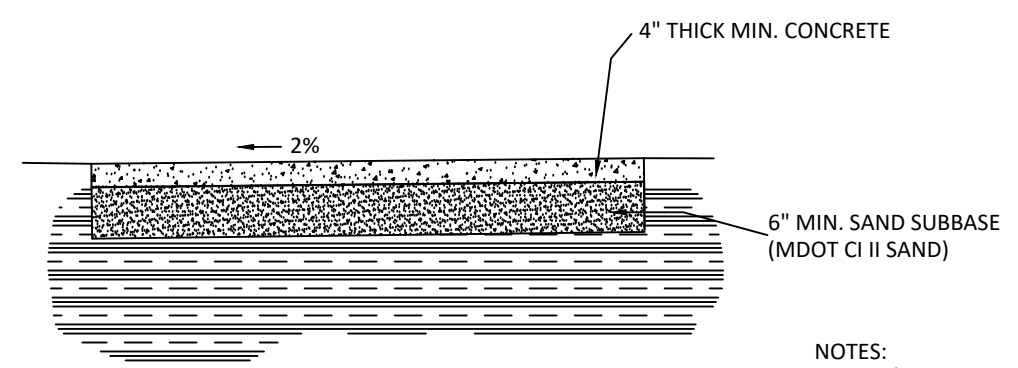
**MDOT DETAIL F4  
CONCRETE CURB & GUTTER**  
NOT TO SCALE



**CONCRETE TURNDOWN EDGE DETAIL FOR ALL  
RAISED CONCRETE ADJACENT TO DRIVE AREA**  
NOT TO SCALE

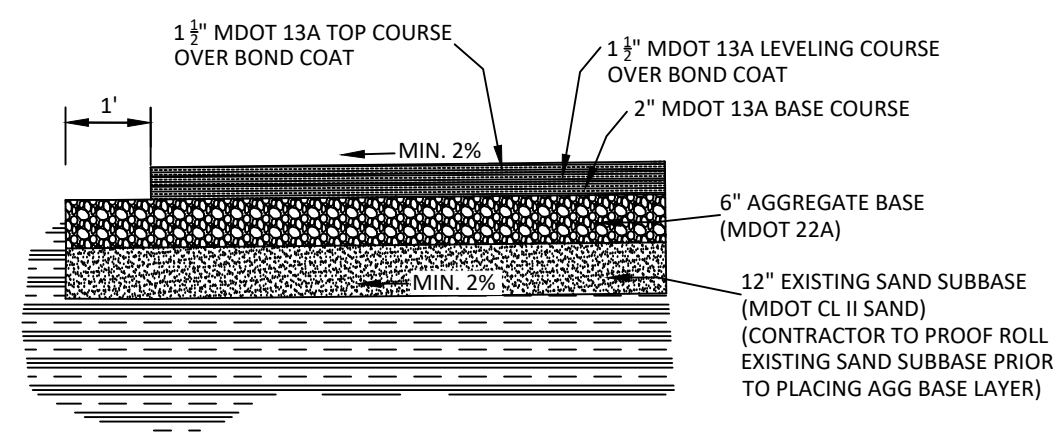


**PARKING LOT PAVING DETAIL**  
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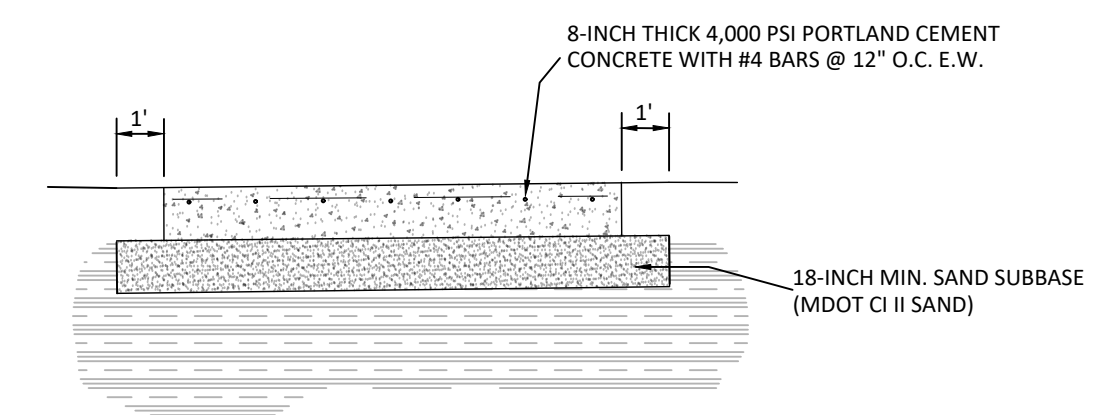


**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE

- NOTES:
1. 1/4" WIDE TOOLED CONTRACTION JOINTS TO 1" DEPTH AT 5 FOOT INTERVALS.
  2. WHERE SIDEWALK IS PLACED ADJACENT TO CURB AND GUTTER, CONTRACTION JOINTS SHALL LINE UP WITH CURB AND GUTTER JOINTS.
  3. ISOLATION JOINTS WHERE PAVEMENT ABUTS PROPOSED STRUCTURES OR OTHER PAVEMENTS.

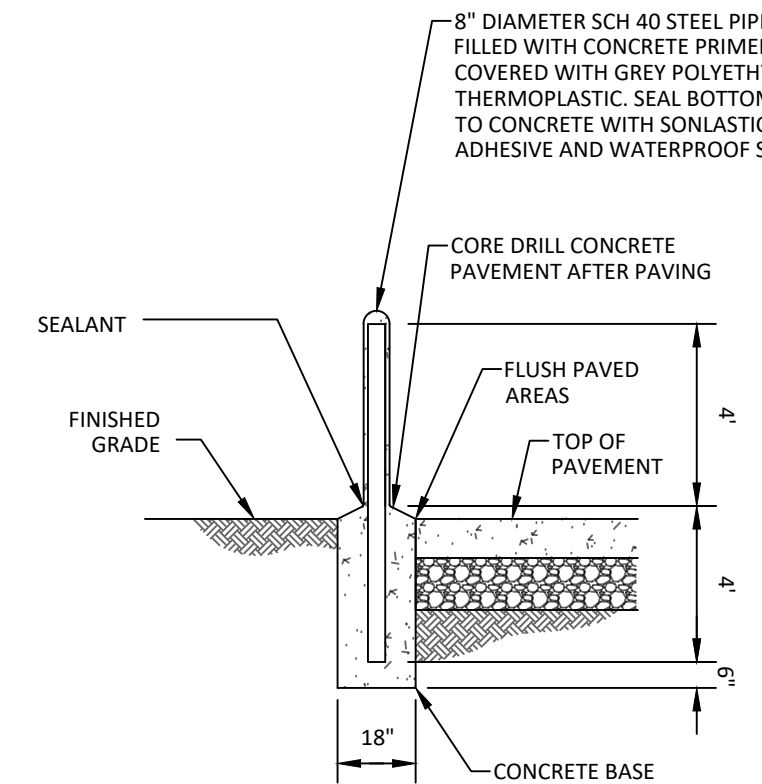


**HEAVY DUTY PAVEMENT DETAIL**  
NOT TO SCALE

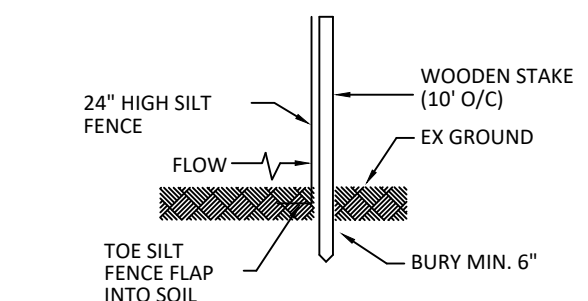


**HEAVY DUTY/ DUMPSTER PAD CONCRETE  
PAVEMENT DETAIL**  
NOT TO SCALE

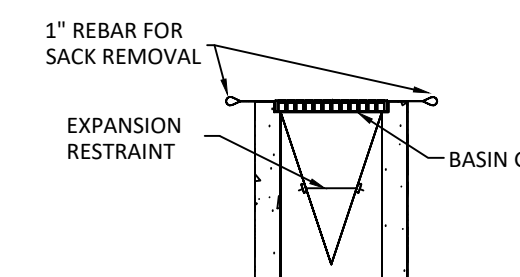
- NOTES:
1. 1/4" WIDE SAWCUT CONTROL JOINTS TO 2.5" DEPTH AT 10' O.C. EACH DIRECTION WITHIN 12 HOURS OF FINISHING CONCRETE.
  2. ISOLATION JOINTS WHERE PAVEMENT ABUTS PROPOSED STRUCTURES OR OTHER PAVEMENTS.



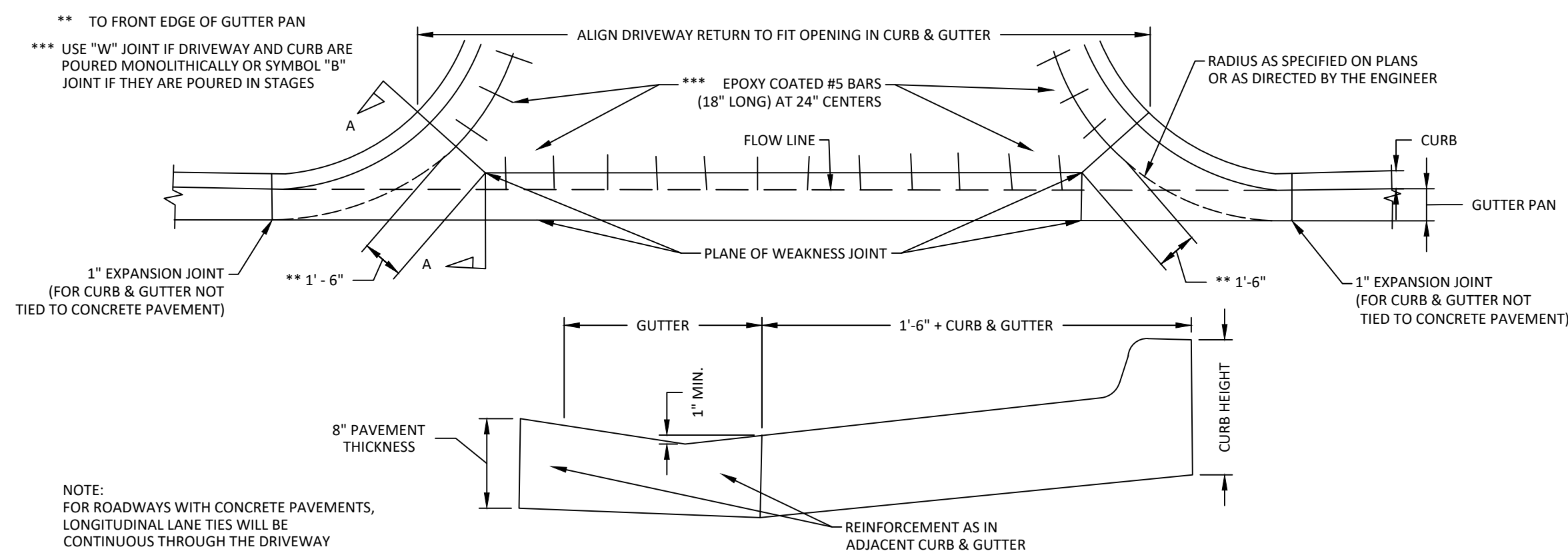
**BOLLARD DETAIL**  
NOT TO SCALE



**SILT FENCE DETAIL**  
NOT TO SCALE



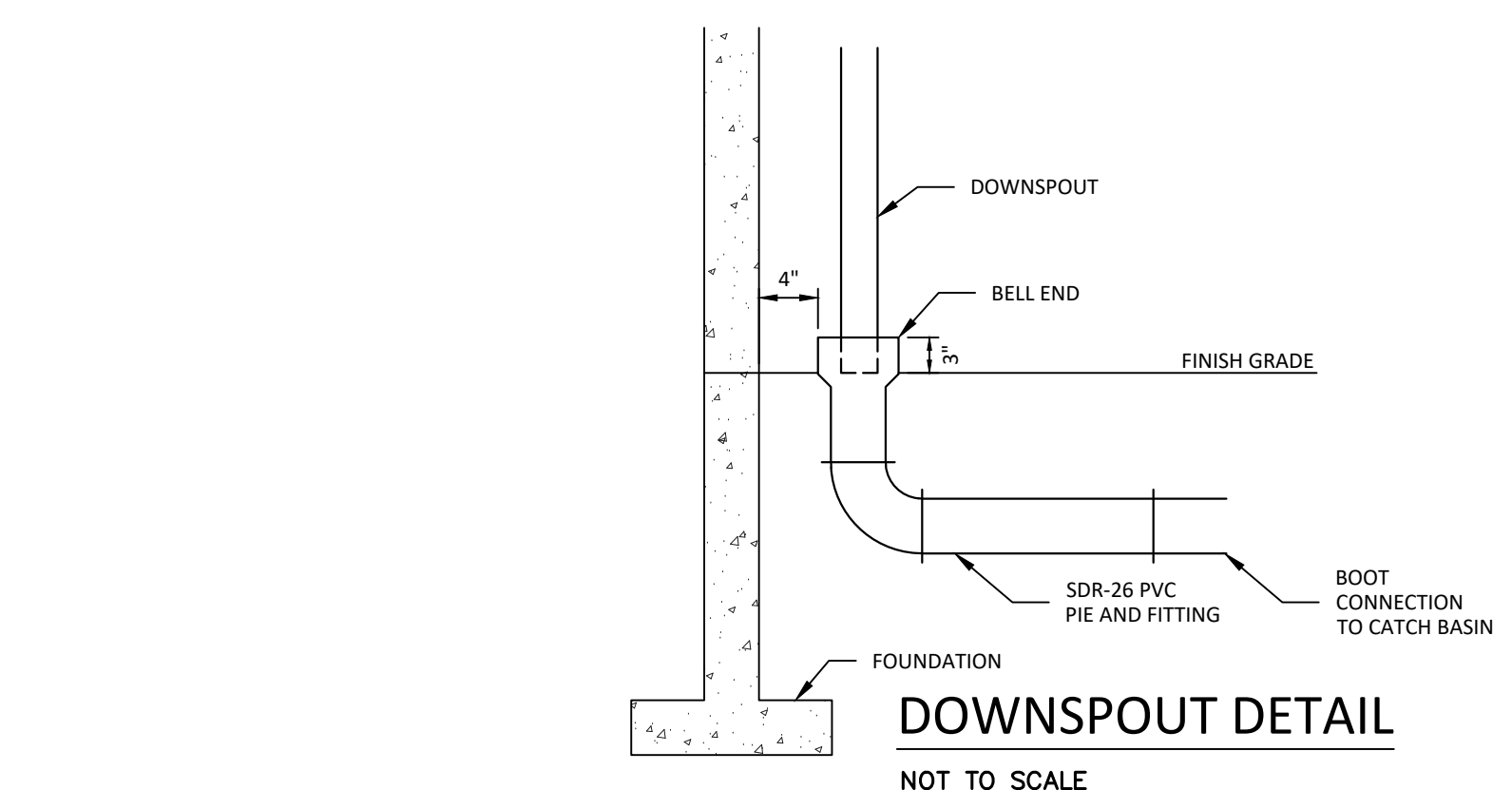
**SILT SACK DETAIL**  
NOT TO SCALE



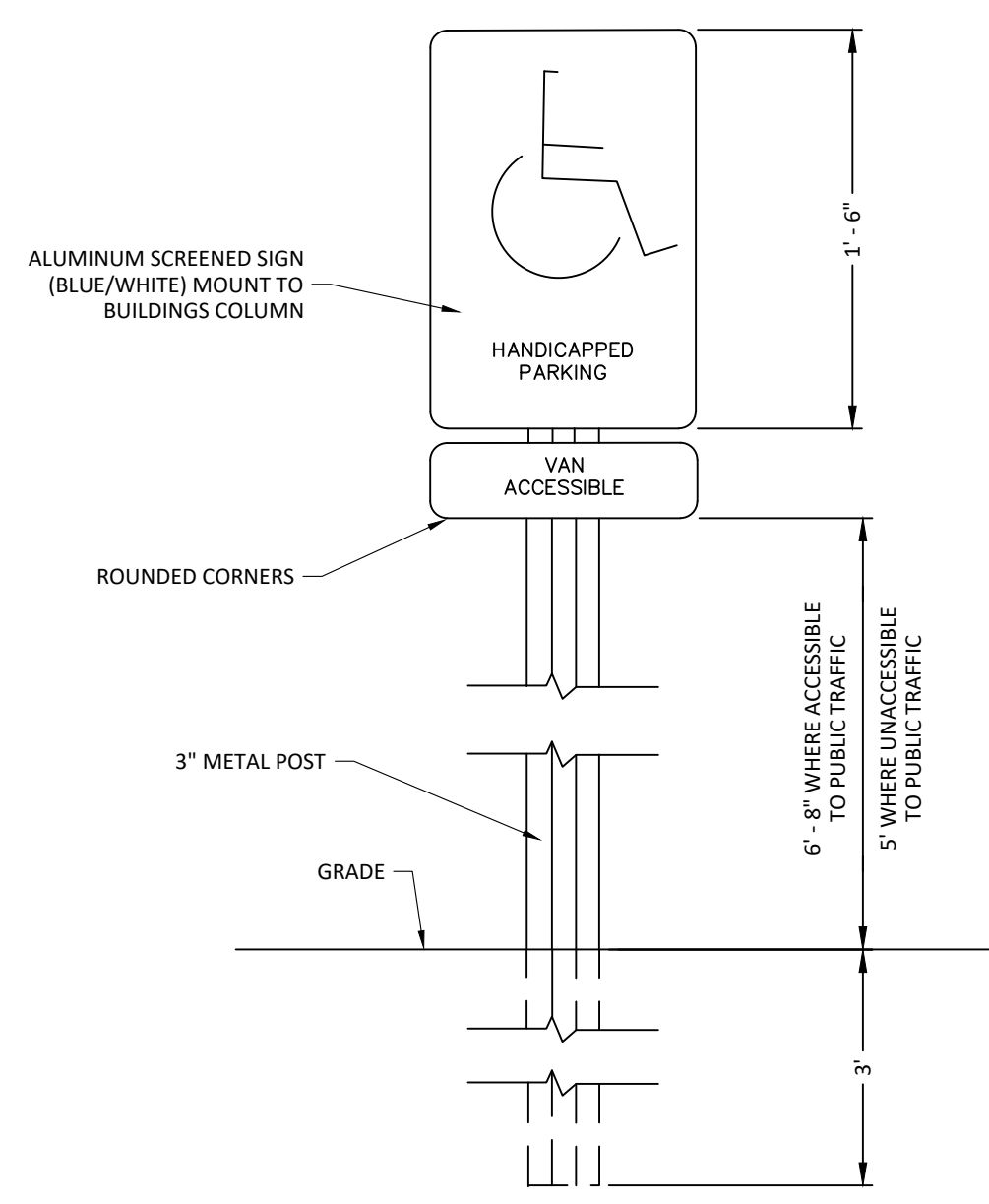
**SECTION A-A  
CONCRETE DRIVEWAY OPENING, DETAIL M**  
NOT TO SCALE

NOTE:  
FOR ROADWAYS WITH CONCRETE PAVEMENTS, LONGITUDINAL LANE TIES WILL BE CONTINUOUS THROUGH THE DRIVEWAY OPENING AND THE SPACING OF THE #5 BARS IN CONCRETE DRIVEWAYS SHALL BE ADJUSTED TO AVOID CONFLICT WITH LONGITUDINAL LANE TIES.

- \*\* TO FRONT EDGE OF GUTTER PAN  
\*\*\* USE "W" JOINT IF DRIVEWAY AND CURB ARE POURED MONOLITHICALLY OR SYMBOL "S" JOINT IF THEY ARE POURED IN STAGES



**DOWNSPOUT DETAIL**  
NOT TO SCALE



**TYPICAL BARRIER FREE PARKING SIGN**  
NOT TO SCALE

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