



Carmel Clay School District Witsken Tennis Complex Renovations

PRE-BID MEETING

October 8, 2024

PRE-BID MEETING



Carmel High School Witsken Tennis Complex
2460 E Smoky Row, Carmel, IN 46032

OWNER



CARMEL CLAY SCHOOLS

- **Roger McMichael, Associate Superintendent**
- **Todd Fenoglio, Director of Facilities**
- **Tabitha Hughes, Capital Projects Manager**
- **Toby Steele, CHS Assistant Principal**





Fanning/Howey

- Mike “Boomer” Schipp, Project Manager
- Gregg Dixon, Construction Administrator



THE SKILLMAN TEAM



ACCOUNT EXECUTIVE

- Victor Landfair
- (317) 788-5108
- vdlandfair@skillman.com

PROJECT MANAGER

- Tyler Barker
- (317) 474-2288
- tbarker@skillman.com

ASSIST PROJECT MANAGER

- Cody Kempf
- (317)677-6570
- ckempf@skillman.com

SITE MANAGER

- Randy Whipple
- (317) 317-5282
- rwhipple@skillman.com

ADMIN. ASSISTANT

- Connie Patton
- (317) 788-5151
- cbpatton@skillman.com

SCOPE OF WORK



- **Replace 14 dilapidated asphalt courts with 14 post tension concrete tennis courts.**
- **Install sports lighting on “Championship” 5 South courts**
- **Upgraded fencing and gates for controlled entry**
- **Upgraded site amenities**
- **December 1 through July 18.**

224063.00 CARMEL HIGH SCHOOL WITSKEN TENNIS COMPLEX RENOVATIONS

2460 E. SMOKY ROAD,
CARMEL, IN. 46302

CARMEL CLAY SCHOOLS

5201 E. MAIN STREET, CARMEL, IN. 46303
(317)-844-9961

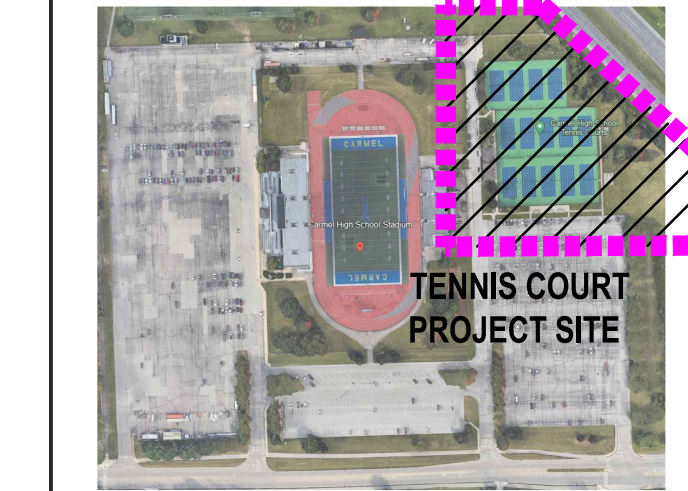


ARCHITECT

FANNING HOWEY

317-848-0966

WWW.FHAL.COM



KEY PLAN

100% CONSTRUCTION DOCUMENTS



PROJECT MANAGER: MS
DRAWN BY: EB, JB
PROJECT NUMBER: 224063.00
PROJECT CONSTRUCTION ISSUE DATE: 09-30-2024

REV. NO.	DESCRIPTION	DATE

TENNIS COMPLEX RENOVATION SITE PAVING PLAN

G1.01

GENERAL NOTES

All contractors but not limited to the excavating contractor or contractors must take particular care when excavating in and around existing utility lines and equipment. Actual field locations of all the existing utilities are the contractors responsibility and must be located either by the representative of the utility company or by a private underground utility locating company prior to the start of excavating. Verify minimum cover requirements so not to cause damage.

All construction methods and materials must conform to current standards and specifications of the Federal, State, County, City or Local requirements, whichever has jurisdiction.

Existing pavement, sidewalks curbs driveways, electrical transformer, ditches, drainage pipes and structures, fences, lawns, trees, bushes, mailboxes, signs, power poles etc., to remain shall be protected from damage by the contractor. Any damage during construction shall be restored, reconstructed or replaced by the contractor at his expense. All damages shall be restored or replaced to at least their original condition or as required or dictated by Federal, State, County, City or Local Codes.

All areas where the existing pavement or pavements are damaged during construction from heavy traffic or equipment, fuel oil, oil, gasoline, etc., by the General Contractor, Subcontractor, or Suppliers, shall be reconstructed

to it's original condition or as required or dictated by Federal, State, County, City or local agencies. This reconstruction and repair shall take place at the end of the project construction or during the scheduled grading and paving of those areas.

Removal of the existing improvements are as noted on the plans. The materials removed from the site shall be disposed of in a proper and legal manner per Federal, State, County, City, and or Local laws and ordinance.

It is the contractor's responsibility to notify all the utility companies and departments 72 hours before construction is to start to verify any utilities that may be present on site. All verifications, locations, size and depths shall be made by the appropriate utility companies or departments. When excavating around or over existing utilities, the contractor must notify the utility company so a representative of the utility can be present during the excavation to instruct and observe during the excavation.

It is the responsibility of the contractor to inspect each day and remove all mud, dirt, gravel and loose materials tracked, dumped, spilled or wind blown from this site onto other sites, right of ways, public or private streets or roads, driveways, yards or sidewalks. The contractor must clean or pick up daily if necessary. The contractor shall reduce the airborne dust during the entire construction schedule. Water may be used as a reducer.

The contractor shall verify all dimensions and elevations in the field before the start of construction. The contractor shall be responsible for all field dimensions and elevations during the entire construction schedule. If any discrepancies are found on the engineering plans or landscape plans from actual field conditions the contractor shall contact the A/E immediately. If any discrepancies are found on the survey plan or from actual field conditions the contractor shall contact the A/E immediately for instructions.

All radii indicated shall be formed as circular arcs.

All dimensions of pavements are to edge of finish pavement or face of curb unless otherwise noted.

All dimensions are parallel and perpendicular to the base lines, property lines and or building lines unless otherwise noted.

It is the responsibility of the contractor or contractors to obtain all Federal, State, County, City, and Local permits for any and all work required unless otherwise noted. This includes the submittal of soil erosion & sediment control plans as required for rule 5. The contractor or contractors are responsible to pay for all required permits by any or all agencies mentioned above unless otherwise noted by the contract or specification.

PLAN LEGEND : SITE PAVING PLAN G1.01

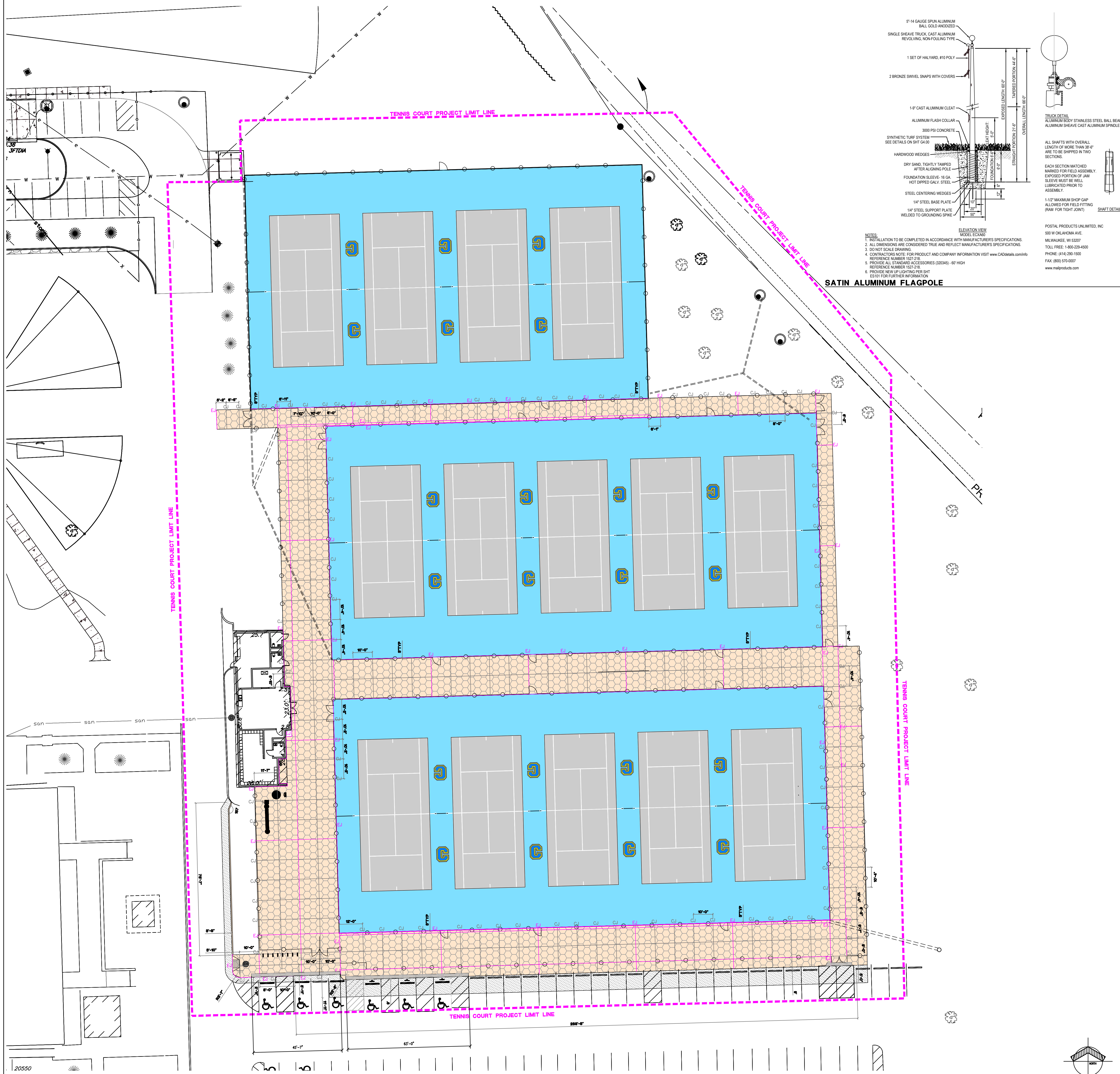
- TENNIS COMPLEX: NEW POST TENSION CONC. WITH TENNIS COURT SURFACING - SEE DETAILS #1-#6, & #7-#9 SHT G4.00 SEE PLAN NOTES FOR FURTHER CLARIFICATION
- TENNIS COURTS: NEW POST TENSION CONC. WITH TENNIS COURT SURFACING - SEE DETAILS #1-#6, & #7-#9 SHT G4.00 SEE PLAN NOTES FOR FURTHER CLARIFICATION
- NEW 6" MONOLITHIC CONC. PAVING WITH GUTTER, SEE DETAIL #11-#14 SHT G4.00 SEE PLAN NOTES FOR FURTHER CLARIFICATION
- ASPHALT REPAIR : SAWCUT AND REMOVE IN IT'S ENTIRETY WHERE WALKS ARE PROPOSED AND REPLACE REMAINING SCOPE WORK PER PLAN NOTES
- EXPANSION JOINT TYP SEE PLANS FOR LOCATIONS AND DETAILS #11 & #14 SHT G4.00 FOR FURTHER INFORMATION
- CONTROL JOINT TYP SEE PLANS FOR LOCATIONS AND DETAILS #11 & #14 SHT G4.00 FOR FURTHER INFORMATION

Know what's below.
Call before you dig.
Call 1-800-4-A-DIG or visit 811.org

CAUTION !!

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTORS SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES.

LOCATIONS GIVEN ARE APPROXIMATE AND ARE TO BE SITE VERIFIED PRIOR TO THE START OF CONSTRUCTION. ALL CONCRETE AND ASPHALT PAVING NOT NOTED FOR WORK IS TO REMAIN - PROTECT DURING CONSTRUCTION TYP



SITE PAVING PLAN

SCALE: 1" = 20'-0"

MULTIPLE CONTRACT SUMMARY



**Review Section 01 12 00 – Multiple Contract Summary.
Review all Specification Sections that are in your Scope
of Work.**

- **Bid Category #1 General Trades**

Clarifications:

1. Include 8,000sf of sod to complete forward facing lawn area. In general, west side and east side beside south set of 5 courts.
2. Include fence screen on all construction fence. South end construction fence with graphic. Graphic to be provided by the Owner.
3. Include “FODS” mats for construction entrance and exit. See Section 01 55 00b and Section 01 55 00c for reference.
4. There is no general construction on this project. With the exception of Division 26 Electrical all work shown or inferred in the contract documents by this Contractor.

MULTIPLE CONTRACT SUMMARY



**Review Section 01 12 00 – Multiple Contract Summary.
Review all Specification Sections that are in your Scope
of Work.**

- Bid Category #2 Electrical

Clarification:

1. Responsible for 6x6 steel post shown in Detail 1 on Sheet E2.01.

BID CATEGORIES



BID CATEGORY NO. 1

General Trades

BID CATEGORY NO. 2

Electrical

SITE LOGISTICS PLAN



SPECIAL REQUIREMENTS



All Contractors and their Sub-contractors must be enrolled in SafeVendor. Please visit: www.safevisitorsolutions.com/safevendor-app-agreement to create your account with SafeVendor.

Every worker on the project must have their expanded criminal history and sex offender clearance thru Safe Vendor prior to arriving on site.



REQUIRED FOR EVERY CONTRACTOR

- No subscription is required
- Current set of documents
- Issues tracking
 - Safety
 - QA/QC
 - Noncompliance
 - Work Completion List
 - Punch List
- As-built record drawings

INDIANA PUBLIC WORKS LAW 5-16-13



- Tier 1 – Self-Perform 15% of Contract
- Qualification through D.O.A.
- Written Drug Testing Plan with Bid (IC 4-13-18-5)
- Minimum Insurance Requirements (\$1M/Occurrence, \$2M/Aggregate)
- Mandatory Enrollment in E-Verify (Case Verification # for ea./employee)
- Cannot Pay Employees in Cash
- Retain Payroll Records for 3 Years
- Contractor Must Comply With:
 - Fair Labor Act
 - Indiana’s Workers Comp Insurance
 - Indiana’s Unemployment Comp
- Mandatory Training Based Upon Number of Employees

**FAILURE TO COMPLY MAY RESULT IN DEBARMENT FROM
PUBLIC WORKS PROJECTS FOR 4 YEARS**

ANTICIPATED CHALLENGES



- Winter
- School student vehicle traffic and pedestrian traffic
- Delivery coordination
- Jobsite cleanliness
- Landscaping and turf established prior to summer

AREAS OF COORDINATION



- **Electrical underground and concrete paving**
- **Sports light locations**
- **Power pedestals centered on courts**
- **Lay down area is utilized by other construction projects at Carmel High School as well.**

ALTERNATES



Review Section 01 23 00 for Alternates that may alter your Scope of Work.

- **No Alternates for this Project**



Review Section 01 21 00 for Allowances that apply to your Scope of Work.

3.02 CONTINGENCY ALLOWANCES

Allow a lump sum additional work required but not indicated on Drawings or reasonably anticipated.

A.	Bid Category No. 01 General Trades	\$100,000
B.	Bid Category No. 02 Electrical	\$50,000

INSTRUCTIONS TO BIDDERS



Review Section 00 10 00 for Instructions to Bidders.

- **Addendum 1: 10/11/24**
- **Addendum 2: 10/18/24**
- **Receive Bids: 10/24/24**

RFI PROCESS



Each Bidder is encouraged to contact the Architect and Construction Manager if problems occur or questions arise in analyzing the Drawings and Specifications, where additional clarification or information would be helpful in the preparation of a proper bid.

Submit all questions in writing to: tbarker@skillman.com
ckempf@skillman.com

All RFIs must be received before: **10/16/24 End of Day**

SUBSTITUTION REQUESTS



Prior to receipt of bids, the Architect will consider proposals for substitution of materials, equipment, and methods only when such proposals are submitted in writing within the time period stated before the date and time set for receipt bids, and are accompanied by full and complete technical data and other information required by the Architect to evaluate the proposed substitution.

Request for product approval shall be submitted on the Substitution Request Form and sent to: mschipp@fhai.com
10/16/24 End of Day

CONSTRUCTION TIMELINE



Review Section 01 32 00 – Schedules & Reports.

Anticipated Construction Start Date: December 1, 2024

Anticipated Construction

Completion Date: July 18, 2025

BID TO AWARD TIMELINE



- Recommendation to the Owner 10/31/24

Bid tab to be posted to the plan room by 10/28/24

- Board Approval 11/25/24

All Subcontractor & Products Lists

must be submitted by: **10/28/24**



Review and fully complete the Bid Form 00 31 00

Complete all alternates on the Bid Form that may affect your Scope of Work.

BIDDERS' REMINDER LIST



	YES	NO
Have you properly and completely executed the Bid Form (Section 00 31 00)?		
Is the Bid Total written in both words and figures?		
Are the Alternate quantities in both words and figures and noted as Add or Deduct ?		
Is the Non-Collusion Affidavit , part of the Bid Form, signed, & notarized?		
Have you enclosed a certified check or Bid Bond ? (Note: bond must be signed by Surety and Principal)		
Have you included your company's Financial Statement ?		
Have you included your Written Drug Testing Plan that covers all employees of the bidder who will perform work on the public work project and meets or exceeds the requirements set in IC 4-13-18-5 or IC 4-13-18-6.		
Have Subcontractors and Products List to the Construction Manager within 48 Hours of the Bid for Apparent Low Bidders.		
On the outside of the envelope containing your Bid have you indicated: The Project Name Bidder's Name Bid Category No. Date and Time of Bid Opening Owner's Address Address to Where Bid is to be Delivered if different from Owner's Address		

IF ANY OF THE REQUIRED BIDDING DOCUMENTS ARE NOT INCLUDED, DATED, OR PROPERLY EXECUTED, THE CONTRACTOR'S BID MAY NOT BE ACCEPTED.

CONSTRUCTION DOCUMENTS



Construction Documents are available at:
www.skillmanplanroom.com

Bidding Contractors are required to pay for printed Documents. The electronic files are available at no cost.

PRE-AWARD INTERVIEWS



October 28, 2024

Bid Category 1 – General Trades 9:00am

Bid Category 2 – Electrical 10:00am

BID OPENING



Date: October 24, 2024

Time: 2:00PM

Location: 5201 E. Main Street, Carmel, IN 46033

Q & A

