# ADDENDUM NO. 3

### October 15, 2024

Loy Norrix High School Mechanical Improvements 606 East Kilgore Rd Kalamazoo, MI 49001

#### TO: ALL BIDDERS OF RECORD

This Addendum forms a part of and modifies the Bidding Requirements, Contract Forms, Contract Conditions, the Specifications and the Drawings dated September 16, 2024, by TowerPinkster. Acknowledge receipt of the Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of Pages ADD 3-1 and TowerPinkster Addendum No. 01 dated October 4, 2024, consisting of 8 pages.

#### A. SPECIFICATION SECTION 00 00 10 TITLE PAGE

1. Revise Bids Received to Tuesday, November 12, 2024, at 2:00 PM.

#### B. SPECIFICATION SECTION 00 20 00 NOTICE TO BIDDERS

- 1. Revise Bids Received to Tuesday, November 12, at 2:00 PM.
- 2. Bid Opening. Bids will be publicly opened and read aloud on Tuesday, November 12, 2024, shortly after the 2:00 PM Bid receipt deadline, in Kalamazoo Public Schools Facilities Office, 600 West Vine Street, Kalamazoo, MI 49008.
- 3. Contractor Facility Tours are scheduled for 2:45 PM on Tuesday, October 22, 2024. Contractors are strongly encouraged to attend. Please arrive early and meet at the main stair-tower entrance. Anyone arriving after 2:45 PM will not have access to join the tour. Please RSVP to Brandon Holdeman (269) 568-2333 or bjholdeman@skillman.com
- 4. The deadline for RFI's is extended to Thursday, October 31, 2024.

#### C. SPECIFICATION SECTION 01 12 00 MULTIPLE CONTRACT SUMMARY

#### Paragraph 3.03 BID CATEGORIES

#### A. <u>BID CATEGORY NO. 1- General Trades</u>

#### Add the following Clarifications

1. **Bid Category 2 Masonry** and **Bid Category 4 Flooring** are to be included in, and the responsibility of **Bid Category 1 General Trades** bid package.

#### B. BID CATEGORY NO. 2-Masonry

#### Add the following Clarifications

1. Bid Category 2 Masonry is omitted as a stand-alone Bid Category.

#### D. <u>BID CATEGORY NO. 4-Flooring</u>

#### Add the following Clarifications

1. **Bid Category 4 Flooring** is omitted as a stand-alone Bid Category.

#### E. <u>BID CATEGORY NO. 5-Mechanical & Plumbing</u>

#### Add the following Clarifications

1. **Bid Category 5 Mechanical & Plumbing** is responsible to provide and install the break metal closure pieces shown on A10M note 24.

#### SECTION 00 43 50 - SUBCONTRACTORS AND PRODUCTS LIST

#### PART 1 - GENERAL

#### 1.01 DESCRIPTION

- A. The two (2) low responsive Bidders in each Bid Category shall furnish electronically, the following Subcontractors and Products List to the Construction Manager within two (2) working days (48 hrs.) of bid opening, unless submitted with Bid. The blanks appropriate to the Bid Category(ies) on which they bid shall be completed.
  - 1. The Owner and Architect shall have the right to select any material or equipment named in the Specifications for any particular item where the Bidder either fails to list same or lists more than one name for the item in question.
  - 2. It is intended that this list will show the manufacturer and supplier of major items of work that will be subcontracted and to whom.

#### 1.02 INSTRUCTIONS FOR SUBCONTRACTORS AND PRODUCTS LISTS

- A. Each Bidder shall submit a copy of his list of subcontractors and manufacturers of products and equipment proposed for work indicated as required above.
- B. The list shall be submitted on forms provided and shall be completely executed. "As Specified" or "With Equipment" type of terminology will not be accepted.
- C. Under "Subcontractor", insert the name of the firm which the Bidder proposes to have perform the respective work. If work will be done by the Prime Bidder and no subcontract will be awarded, state "By Own Forces".
- D. Submission does not constitute acceptance for use of listed manufacturers' products. Materials and subcontractors are subject to the provisions of the General Conditions and "Standard of Product Acceptability" and must be formally reviewed and adjudged acceptable by the Architect/Engineer.
- E. Engineer, Architect and Owner reserve the right to reject submissions of materials, work, or subcontractors that do not, in their opinion, meet the requirements of Drawings, Specifications or job conditions.
- F. Materials and subcontractors used for work on the Project shall be in accordance with accepted material list.
  - 1. The list is intended to assure use of materials and vendors acceptably equivalent to those specified and is not a substitution sheet or complete listing of required materials or services.

2. Substitutions for listed items will not be allowed, except when termed acceptable, in writing by the Architect/Engineer, provided that substitution will result in a cost savings to the Owner, determined by the Owner to be a better product, or is made necessary due to unavailability of listed item. Unavailability shall be confirmed in writing by manufacturer named on accepted list.

# 1.03 CIVIL AND ARCHITECTURAL WORK SUBCONTRACTORS AND PRODUCTS LIST

BID CATEGORY NO. 01 GENERAL TRADES	
NAME OF RIDDER	

The undersigned hereby submits the following Subcontractors and Products List which becomes a part of the undersigned Contract proposal. Subcontractor purchased material, equipment, and labor shall be under the direct management and control of the Prime Contractor. If a dual listing of manufacturers and subcontractors is herein made, it is understood the Architect/Engineer (not the Contractor) will select the manufacturer or subcontractor of his choice. State the XBE Designation.

#### CIVIL AND ARCHITECTURAL WORK

Section	<u>Description</u>	<u>\$\$\$</u>	<b>Subcontractor</b>	<u>Manufacturer</u>
01 21 00	Allowances			
01 51 80	Temporary Fire Protection			
01 52 10	Construction Aids and Temporary Enclosures			
01 52 60	Rubbish Container			
01 53 10	Fences (Temporary Security)			
01 53 20	Tree and Plant Protection			
01 53 30	Barricades			
01 55 00	Access Roads and Parking Areas			
01 56 20	Dust Control			
01 56 80	Erosion Control			
01 72 00	Field Engineering			

Section	<u>Description</u>	<u>\$\$\$</u>	Subcontractor	<u>Manufacturer</u>
02 41 19	Selective Demolition			
03 30 00	Cast-In-Place Concrete			
04 20 00	Unit Masonry			
04 43 13	Adhered Stone Masonry Veneer			
05 50 00	Metal Fabrications			
06 10 00	Rough Carpentry			
06 16 00	Sheathing			
06 41 16	Plastic-Laminate-Face Architectural Cabinets			
06 46 00	Wood Trim			
07 51 13	Built-up Asphalt Roofing			
07 62 00	Sheet Metal Flashing and Trim			
07 72 00	Roof Accessories			
07 84 13	Penetration Firestopping			
07 92 00	Joint Sealants			
08 11 13	Hollow Metal Doors and Frames			
08 14 16	Flush Wood Doors			
08 41 13	Aluminum-Framed Entrances and Storefronts			
08 71 00	Door Hardware			
08 80 00	Glazing			
08 91 19	Fixed Louvers			
09 30 00	Tiling			
09 65 00	Resilient Flooring			
09 65 13	Resilient Base and Accessories			

<b>Section</b>	<u>Description</u>	<u>\$\$\$</u>	<b>Subcontractor</b>	<u>Manufacturer</u>
09 66 23	Resinous Matrix Terrazzo Flooring			
09 67 23	Resinous Flooring			
10 51 13	Metal Lockers			
12 35 53	Laboratory Casework			
12 36 23	Plastic-Laminate-Clad Countertops			
12 36 53	Laboratory Countertops			
32 92 00	Turf and Grasses			

Name of Bidder:	Date:
Address:	
City/State/Zip:	
Telephone:	
By:	

#### BID CATEGORY NO. 03 INTERIOR FINISHES

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The undersigned hereby submits the following Subcontractors and Products List which becomes a part of the undersigned Contract proposal. Subcontractor purchased material, equipment, and labor shall be under the direct management and control of the Prime Contractor. If a dual listing of manufacturers and subcontractors is herein made, it is understood the Architect/Engineer (not the Contractor) will select the manufacturer or subcontractor of his choice. State the XBE Designation.

#### CIVIL AND ARCHITECTURAL WORK

Section	<b>Description</b>	<u>\$\$\$</u>	Subcontractor	<u>Manufacturer</u>
01 21 00	Allowances			
05 40 00	Cold-Formed Metal Framing			
07 92 00	Joint Sealants			
08 31 13	Access Doors and Frames			
09 22 16	Non-Structural Metal Framing			
09 26 13	Gypsum Veneer Plastering			
09 29 00	Gypsum Board			
09 51 13	Acoustical Panel Ceilings			
09 91 23	Interior Painting			
09 96 00	High-Performance Coatings			

Name of Bidder:	Date:
Address:	
City/State/Zip:	
Telephone:	
By:	

#### 1.04 MECHANICAL WORK SUBCONTRACTORS AND PRODUCTS LIST

BID	CATEGORY	NO. 05	MECHANICAL/	'ΡΙ	LUN	ИBING

NAME OF BIDDER_		

The undersigned hereby submits the following Subcontractors and Products List which becomes a part of the undersigned Contract proposal. Subcontractor purchased material, equipment, and labor shall be under the direct management and control of the Prime Contractor. If dual listing of manufacturers or subcontractors is herein made, it is understood the Architect/Engineer (not the Contractor) will select the manufacturer or subcontractor of his choice.

#### MECHANICAL WORK

<u>Section</u>	<u>Description</u>	<u>\$\$\$</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
01 21 00	Allowances			
01 51 30	Temporary Heating, Ventilation and Cooling			
01 51 50	Temporary Water			
02 41 19	Selective Demolition			
07 84 13	Penetration Firestopping			
07 92 00	Joint Sealants			
22 05 00	Common Work Results for Plumbing			
22 05 23	General Duty Valves for Plumbing Piping (2 & less)			
22 05 29	Hangers and Supports for Plumbing Piping and Equipment			
22 07 00	Plumbing Insulation			
22 11 16	Domestic Water Piping			
22 13 16	Sanitary Waste and Vent Piping			

<u>Section</u>	<b>Description</b>	<u>\$\$\$</u>	Subcontractor	<u>Manufacturer</u>
22 13 19	Sanitary Waste Piping Specialties			
23 05 00	Common Work Results for HVAC			
23 05 13	Common Motor Requirements for HVAC Equipment			
23 05 16	Expansion Fittings and Loops for HVAC Piping			
23 05 19	Meters and Gages for HVAC Piping			
23 05 23	General Duty Valves for HVAC Piping			
23 05 29	Hangers and Supports for HVAC Piping and Equipment			
23 05 48	Vibration and Seismic Controls for HVAC Piping			
23 05 53	Identification for HVAC Piping and Equipment			
23 05 93	Testing, Adjusting, and Balancing for HVAC			
23 07 00	HVAC Insulation			
23 08 00	Commissioning of HVAC			
23 09 00	Instrumentation and Control for HVAC			
23 21 13	Hydronic Piping			
23 21 23	Hydronic Pumps			
23 22 13	Steam and Condensate Heating Piping			

<u>Section</u>	<b>Description</b>	<u>\$\$\$</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
23 22 16	Steam and Condensate Piping Specialties			
23 22 23	Steam Condensate Pumps			
23 23 00	Refrigerant Piping			
23 25 00	HVAC Water Treatment			
23 31 13	Metal Ducts			
23 31 15 HVAC Air- Distribution System Cleaning				
23 33 00	Air Duct Accessories			
23 36 00	Air Terminal Units			
23 37 13	Diffusers, Registers, and Grilles			
23 37 23	HVAC Gravity Ventilators			
23 40 00	Antimicrobial Systems for HVAC			
23 57 00	Heat Exchangers for HVAC			
23 62 00	Packaged Compressor and Condenser Units			
23 73 13	Modular Indoor Central-Station Air- Handling Units			
23 74 13	Packaged, Outdoor, Central-Station Air- Handling			
23 81 26	Split System Air Conditioners			
23 82 16	Air Coils			
23 83 23	Unit Ventilators			

<u>Section</u>	<u>Description</u>	<u>\$\$\$</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
23 82 25	Vertical Unit Ventilators (Both Split and Self Contained)			
23 82 33	Convectors			
23 82 39	Unit Heaters			

<u>Plumbing Fixtures:</u>	<u>Manufacturer</u> :
a)	
b)	
c)	
d)	
e)	
f)	
g)	
h)	
i)	
j)	
k)	
1)	
Name of Bidder:	Date:
Address:	I
City/State/Zip:	
Telephone:	
By:	

#### 1.05 ELECTRICAL WORK SUBCONTRACTORS AND PRODUCTS LIST

BID CATEGORY NO. 06 ELECTRICAL	
NAME OF RIDDER	

The undersigned hereby submits the following Subcontractors and Products List which becomes a part of the undersigned Contract proposal. Subcontractor purchased material, equipment, and labor shall be under the direct management and control of the Prime Contractor. If dual listing of manufacturers or subcontractors is herein made, it is understood the Architect/Engineer (not the Contractor) will select the manufacturer or subcontractor of his choice.

#### **ELECTRICAL WORK**

Section	<u>Description</u>	<u>\$\$\$</u>	Subcontractor	<u>Manufacturer</u>
01 21 00	Allowances			
01 51 10	O1 51 10 Temporary Electricity, Lighting, and Warning Systems			
02 41 19	Selective Demolition			
07 84 13	Penetration Firestopping			
07 92 00	Joint Sealants			
26 05 00	Common Work Results for Electrical			
26 05 13	Medium-Voltage Cables			
26 05 19	Low-Voltage Electrical Power Conductors and Cables			
26 05 26	Grounding and Bonding for Electrical Systems			
26 05 29	Hangers and Supports for Electrical Systems			

26 05 33	Raceways and Boxes for Electrical Systems		
26 05 44	Sleeves and Sleeve Seals for Electrical Raceways and Cabling		
26 05 53	Identification for Electrical Systems		
26 05 73	Coordination Studies		
26 05 73	Short-Circuit Studies		
26 05 74	Overcurrent Protective Device Arc-Flash Study		
26 09 23	Lighting Control Devices		
26 09 43	Network Lighting Controls		
26 12 00	Medium-Voltage Transformers		
26 22 00	Low Voltage Transformers		
26 24 16	Panelboards		
26 27 26	Wiring Devices		
26 28 13	Fuses		
26 43 13	Surge Protection for Low-Voltage Electrical Power Circuits		
26 51 00	Interior Lighting		
26 56 00	Exterior Lighting		
27 05 00	Common Work Results for Communications		
27 05 26	Grounding and Bonding For Communications		

27 05 28	Pathways for Communications Systems		
27 05 53	Identification for Communications Systems		
27 15 13	Communications Copper Horizontal Cabling		
27 17 00	Testing, Identification and Administration of Balanced Twisted Pair Infrastructure		
27 26 26	IP Address Request Form		
27 41 16	Technology Equipment		
28 13 00	Access Control		
28 15 00	Access Control Hardware Devices		
28 31 00	Fire Detection and Alarm		

Name of Bidder:	Date:
Address:	
City/State/Zip:	
Telephone:	
By:	

END OF SECTION 00 43 50

#### SECTION 01 12 00 - MULTIPLE CONTRACT SUMMARY

#### PART 1 GENERAL

#### 1.01 RELATED DOCUMENTS

A. Drawings and General Provisions of the Prime Contract, including amended General Conditions and other Division 1 Specification Sections, apply to Work of this Section.

#### 1.02 SUMMARY

- A. The intent of this Section is to indicate the Work required by the Contractors and to provide information regarding the duties, responsibilities, and cooperation required by the Contractors, with similar requirements for the subcontractors and suppliers.
- B. Owners right to maintain current operations
- C. Occupancy requirements
- D. Work by Owner
- E. Permits, fees, and notices
- F. Labor and materials
- G. Verifications of existing dimensions
- H. Project security
- I. Coordination of work
- J. Time of commencement and completion
- K. Schedule of contract responsibilities

#### 1.03 WORK UNDER SEPARATE CONTRACTS

- A. Prime Contracts are defined to include the following contracts described in the Schedule of Contract Responsibilities included hereinafter; and each is recognized to be a major part of the project, with Work to be performed concurrently and in close coordination with Work of other Prime Contracts.
- B. The "Contract Documents," as defined in the General Conditions, include "the Drawings." Although Drawings are grouped and identified by classification of the Work, Contractors shall be responsible for their Work as specified herein and as

indicated on the Drawings. Although the majority of the Drawings are "to scale," Contractors are directed to use indicated dimensions for determining material quantities and for other reasons. No additional monies will be allowed due to Contractors using "scaling instruments" to determine material quantities or for other reasons.

- C. Separate prime contracts will be awarded as per the "Schedule of Contract Responsibilities" (see Part 3 Execution). Contractors shall include Work required by the Specifications and Drawings for each contract area defined in the Schedule.
- D. Work for the complete construction of the Project will be under multiple prime contracts with the Owner. The Construction Manager will manage the construction of the Project.
- E. Each Contractor shall be responsible for demolition and disposal of existing items relative to his Contract.

#### 1.04 ADMINISTRATIVE RESPONSIBILITIES OF PRIME CONTRACTORS AND CM

- A. The Construction Manager shall be responsible for the maintenance of the Construction Schedule and management of every phase of the Work.
  - 1. Each Contractor shall read the Specifications and Drawings for other separate Contracts for fixed equipment and the like to be incorporated or attached or built in to the Work; and familiarize himself with the requirements and responsibilities of other Contracts to enable the required coordination and supervision.
  - 2. Each Contractor shall also familiarize himself with other items to be incorporated into the Work including equipment and Work by the Owner.
  - 3. Each Contractor shall cooperate with the Construction Manager in notifying him when the Work is at a stage to require the services of other Contractors and shall notify the Construction Manager in the event that such other Contractors do not carry out their responsibilities in connection with such notification.
- B. Contractors shall cooperate with and assist the Construction Manager in the preparation of construction progress and procedures, schedule of product deliveries, and their effect on the overall project progress and completion. Other Contractors shall cooperate in getting their Work and the Work of their subcontractors completed according to the schedule as prepared and maintained by the Construction Manager. Each Contractor shall immediately notify the Construction Manager of a delay in delivery of products or the scheduled date of completion that may affect the total progress of construction.
- C. The Owner will furnish the topographical survey, either as a part of these Drawings or separately, giving the general topographical lines existing at the site and the property lines.

D. Contractors required to make connections to existing utilities, especially sewerage where gravity flow occurs, shall verify grades and locations at points of such connections and shall notify the Construction Manager of circumstances which would adversely affect the proper flow or connection to such facilities.

#### 1.05 PRIME CONTRACTORS USE OF PREMISES

- A. Use of the Site: Limit use of the premises to work in areas indicated. Confine operations to areas within contract limits indicated. Do not disturb portions of the site beyond the areas in which the Work is indicated.
  - 1. Owner Occupancy: Allow for Owner occupancy and use by the public.
  - 2. Driveways and Entrances: Keep driveways and entrances serving the premises clear and available to the Owner, the Owner's employees, and emergency vehicles at all times. Do not use these areas for parking or storage of materials. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on site.
- B. Use of the Existing Building: Maintain the existing building in a weathertight condition throughout the construction period. Repair damage caused by construction operations. Take all precautions necessary to protect the building and its occupants during the construction period.

#### 1.06 OWNERS RIGHT TO MAINTAIN OPERATIONS

- A. During the course of this Project, normal and customary functions and operations must be maintained. The Contract Documents are intended to define a strict separation between the school activities of students and staff from the activities of the construction project.
- B. The Construction Manager, Architect, and Owner will not tolerate any visible or audible actions initiated or responded to by any employees of Contractors on this Project toward any students, teachers, or staff members at the school system. Violators shall be promptly removed from the site.
- C. The Owner intends to instruct students, teachers, and staff to refrain from communications with Contractor's personnel working on this Project. All communication with Owner and staff shall be through the Construction Manager.

- D. Contractors must expend their best effort toward protection of the health, safety, and welfare of occupants on the Owner's property during the course of Work on this Project.
- E. Contractors and Subcontractors shall be subject to such rules and regulations for the conduct of the Work as the Owner may establish. Employees shall be properly and completely clothed while working. Bare torsos, legs and feet will not be allowed. Possession or consumption of alcoholic beverages or drugs, tobacco or other noxious behavior on the site is strictly prohibited. Violators shall be promptly removed from the site. Smoking is not permitted on school property or within school buildings.

#### 1.07 OCCUPANCY REQUIREMENTS

- A. Full Owner Occupancy: The Owner will occupy the site and existing building during the entire construction period. Cooperate with the Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with the Owner's operations.
- B. Partial Owner Occupancy: The Owner reserves the right to occupy and to place and install equipment in completed areas of the building prior to Substantial Completion, provided such occupancy does not interfere with completion of the Work. Such placing of equipment and partial occupancy shall not constitute acceptance of the total Work.
  - 1. The Construction Manager will prepare a Certificate of Substantial Completion for each specific portion of the Work to be occupied prior to Owner occupancy.
  - 2. Party which obtained general building permit shall obtain a Certificate of Occupancy from local building officials prior to Owner occupancy.
  - 3. Prior to partial Owner occupancy, mechanical and electrical systems shall be fully operational. Required inspections and tests shall have been successfully completed. Upon occupancy, the Owner will operate and maintain mechanical and electrical systems serving occupied portions of the building.
  - 4. Upon occupancy, the Owner will assume responsibility for maintenance and custodial service for occupied portions of the building.

#### 1.08 WORK BY OWNER

- A. The Owner intends to complete the following items of Work outside the provisions of these Contract Documents. Contractors shall not restrict or interfere with the Owner's right to the Project to accomplish this Work.
  - 1. Equipment and furniture except as scheduled and specified under Divisions 11 and 12 and shown on the Drawings.
  - 2. Items which may be deleted from Contracts for Work as required by the Contract Documents.
  - 3. Existing school maintenance work.

- 4. The purchase and supplying of certain materials as noted in the Project Manual.
- 5. The Owner, under separate contract, shall provide removal of identified asbestos containing materials from the existing structure. The asbestos report is available through the Construction Manager upon request.
- 6. (List other items as may be applicable).

#### 1.09 PERMITS, FEES, AND NOTICES

- A. The Construction Manager will secure the general building permit for the Owner. Each Contractor shall secure and pay for other permits, governmental fees, and licenses necessary for the proper execution and completion of the Contractors Work. Fees to relocate utilities on Owner's property shall be included in the bid of the Contractor doing the relocation.
  - 1. The Owner shall pay for the cost of the Building Permit.
  - 2. State filing fees for plan approval are the responsibility of the Owner and will be paid by the Owner.
- B. Utility Tie-Ins: Shall be arranged with local utility company and other involved parties for minimum interruption of service.
- C. Shutdowns of existing systems shall be limited to minimum time required and scheduled with other involved parties. Provide 2 days written notice of shutdown to Construction Manager and Owner.
- D. Inspections of installed work shall be performed by the governing authority as arranged for by the Contractor. Work shall not be covered until approved.
- E. Each Contractor shall give notices and comply with laws, ordinances, rules, regulations, and orders of public authorities bearing on the performance of his Work. If a Contractor observes that the Contract Documents are at variance therewith, he shall promptly notify the Construction Manager in writing, and necessary changes shall be adjusted by appropriate notification. If a Contractor performs Work knowing it to be contrary to such laws, ordinances, rules, and regulations, and without such notice to the Construction Manager, he shall assume full responsibility therefore and shall bear the costs attributable thereto.

#### 1.10 LABOR AND MATERIALS

A. Unless otherwise specifically noted, the Contractor shall provide and pay for labor, materials, equipment, tools, construction equipment and machinery, water, heat, utilities, transportation, and other facilities and services necessary for the proper execution and completion of his Work, whether temporary or permanent and whether or not incorporated or to be incorporated in the Work.

- B. Each Contractor shall enforce strict discipline and good order among his employees or other persons carrying out Work of his Contract and shall not permit employment of unfit person or persons or anyone not skilled in the task assigned to them.
- C. Prime Contractors must furnish a letter to the Construction Manager, stating that Contractor shall not assign any of its employees, agents or other individuals to perform any services in the District's facilities or program sites if that individual:
  - 1. Is listed on the Michigan Sex Offender Registry, www.mipsor.state.mi.us.
  - 2. Is listed on the Federal Sex Offender Registry www.nsopw.gov.
  - 3. Has not passed a 5-50 drug screen, testing negative for the following drugs:
    - a. Amphetamines
    - b. Methamphetamines
    - c. Cocaine
    - d. Codeine
    - e. Methadone
    - f. Morphine
    - g. Phencyclidine (PCP)
    - h. Marijuana
- D. ID Stickers will be issued by The Skillman Corporation upon receipt of verification from the Contractor that the employee/subcontractor employee or independent contractor has a satisfactory record to work on the Project. Stickers will be numbered and numbers assigned to each worker to be worn on their hardhat. It is the Contractor's responsibility to maintain a record of contractor's name assigned each number and provide to The Construction Manager upon request.
- E. Consistent with Michigan law, possession or consumption of drugs on school property will promptly be reported to the local police. Consumption of alcoholic beverages or tobacco or other noxious behavior on school owned property is strictly prohibited. Violators shall be promptly removed from the site. Smoking is not permitted on school property or within school buildings.

#### 1.11 CUTTING AND PATCHING

A. Refer to Section 01 73 10 – Cutting and Patching, for provisions on this subject.

#### 1.12 VERIFICATIONS OF EXISTING DIMENSIONS

A. When verification of existing dimensions is required, the Contractor requiring said verification for the construction or fabrication of his material shall be the Contractor responsible for the procurement of the field information.

#### 1.13 PROJECT SECURITY

A. Each Prime Contractor shall take all reasonable precautions to prevent injury, damage or loss to people and property in, on and adjacent to the project. This shall

- include not only their own work or property but that of other contractors and the Owner.
- B. If deemed necessary by The Construction Manager a project wide security program may be developed for the purpose of preventing damage or loss at the project site or property adjacent thereto. Once accepted by the Owner, contractors shall comply.

#### 1.14 SCHEDULE OF CONTRACT RESPONSIBILITIES - SCOPE

- A. Contractors shall submit their proposals based on the work included under each contract area as listed herein. Include Work necessary for a complete project, as shown on the Drawings and called for in the Specifications.
- B. Questions concerning the phasing or "Schedule of Contract Responsibilities" should be directed to the Construction Manager, who will be the interpreter and be responsible for this Schedule of Contract Responsibilities and Contract Breakdown, prior to submitting proposals and during construction.
- C. The requirements of Division 1 are a part of the Work of each and every contract area. The Contractor for any one contract area shall be familiar with the Work and requirements of all other contract areas.
- D. Certain Specification Sections describe Work to be performed under several contract areas. (Example: 06 10 00 Rough Carpentry.) Provide Work of this nature as required for each contract area whether or not enumerated in the Schedule of Contract Responsibilities.
- E. The following contract areas are broken down by Specifications Section conforming basically to the CSI format.
- F. The Drawings and Specifications as furnished for each of the Contracts is for the convenience of the Contractor in preparing a proposal for this Project. However, each Contractor is responsible to review the complete set of Drawings and Specifications to assure that Work required to be installed to complete his phase of the Work is included in his proposal. This "Schedule of Contract Responsibilities" is a definition of the work as it is to be bid in separate contracts. Where a specific item of Work is not defined, but is normally inherent to a trade, or is included in the scope of the applicable technical revision, it will be the responsibility of that Contractor to include the Work in his proposal.
- G. This "Schedule of Contract Responsibilities" is to aid each Contractor in defining the Scope of Work to be included in his proposal. However, omissions from this "Schedule of Responsibilities" do not relieve the Contractor from including in his proposal that Work which will be required to complete his Contract. Each Contractor should read the "Schedule of Contract Responsibilities" completely to familiarize himself with the Work of other Contractors that may have Work in

- adjacent areas and to coordinate the interfacing problems that may occur as the work is assembled and constructed.
- H. Where specific Work is to be completed under a particular phase of the Project and the Work is wholly or partially completed by other trades because of the type of work involved or jurisdictional trade agreements, the Contractor will be responsible to subcontract the Work as necessary to complete the Work included in his Contract. No delay in the Work will be allowed due to the failure of the Contractor to subcontract related work required by jurisdictional trade agreements.

#### 1.15 COORDINATION OF WORK

A. Each Contractor is responsible to coordinate his Work with the Work of other trades and other Contractors and requirements of the school system. The Contractor must make space allowances for Work of other Contractors, provide necessary openings where indicated or implied by the Drawings and Specifications. Each Contractor is responsible to protect his own Work.

#### 1.16 TIME OF COMMENCEMENT AND COMPLETION

- A. The Contractor shall commence work within ten (10) days after being notified in writing to proceed and shall complete the Work within the time limitations established in the Form of Agreement.
  - 1. It is anticipated that construction will start within 29 calendar days after receipt of bids.
  - 2. Construction shall be complete within **571** consecutive calendar days, or earlier, after Notice to Proceed.

PART 2 PRODUCTS (Not Used)

#### **PART 3 EXECUTION**

#### 3.01 SCHEDULE OF CONTRACT RESPONSIBILITIES

#### 3.02 GENERAL REQUIREMENTS

A. PROVIDED BY OWNER THROUGH THE CONSTRUCTION MANAGER

Section	01 32 00	Schedules and Reports
Section	01 45 00S	Masonry Inspection Report
Section	01 45 10	<b>Testing Laboratory Services</b>
Section	01 51 60	Temporary Sanitary Facilities
Section	01 52 60	Rubbish Container
Section	01 53 10	Fences (Temporary Security)
Section	01 57 60	Project Signs
Section	01 59 10	Project Office
Section	01 71 50	Final Cleaning

#### B. PROVIDED BY ALL CONTRACTORS AS APPLICABLE

Section	01 12 00	Multiple Contract Summary
Section	01 2 300	Alternates
Section	01 25 00	Contract Modification Procedures
Section	01 28 00	Schedule of Values
Section	01 29 00	Applications for Payment
Section	01 31 00	Project Meetings
Section	01 32 00	Schedules and Reports
Section	01 33 00	Submittal Procedures
Section	01 45 10	Testing Laboratory Services (Paragraph 1.05)
Section	01 50 50	Temporary Facilities and Controls
Section	01 54 60	Environment Protection
Section	01 54 80	Utility Protection
Section	01 56 30	Water Control
Section	01 56 90	Housekeeping & Safety
Section	01 59 20	Offices and Sheds
Section	01 60 00	Product Requirements
Section	01 72 50	Work Layout
Section	01 73 10	Cutting and Patching
Section	01 77 00	Contract Closeout

All Contractors shall provide their Superintendents with radios capable of handling multiple channels and compatible with radios used by the Construction Manager.

Autodesk Build is replacing PlanGrid. Autodesk Build does not require users to purchase a license. Contractors will be invited to the project and required to use this tool. Autodesk Build will be used as the Current Set and As-Built Record Drawings. Additionally, it will be used to track Issues for Safety, QA/QC, Non-Compliance Issues, Work Completion List and Punch List.

#### C. PROVIDED BY DESIGNATED CONTRACTORS

Section	01 21 00	Allowances
Section	01 51 10	Temporary Electricity, Lighting and Warning
		Systems
Section	01 51 30	Temporary Heating, Ventilation and Cooling
Section	01 51 50	Temporary Water
Section	01 51 80	Temporary Fire Protection
Section	01 52 10	Construction Aids and Temporary Enclosures
Section	01 52 60	Rubbish Containers
Section	01 53 20	Tree and Plant Protection
Section	01 53 30	Barricades
Section	01 55 00	Access Roads and Parking Areas
Section	01 56 20	Dust Control
Section	01 56 80	Erosion Control
Section	01 72 00	Field Engineering

# 3.03 <u>BID CATEGORIES</u>

A. <u>BID CATEGORY NO. 1 – General Trades</u>

1.		2001(1 110.1	
	General Re	equirements in P	Paragraph 3.02.B above.
	Section	01 21 00	Allowances
	Section	01 51 80	Temporary Fire Protection
	Section	01 52 10	Construction Aids and Temporary Enclosures
	Section	01 52 60	Rubbish Container
	Section	01 53 20	Tree and Plant Protection
	Section	01 53 30	Barricades
	Section	01 55 00	Access Roads and Parking Areas
	Section	01 56 20	Dust Control
	Section	01 56 80	Erosion Control
	Section	01 72 00	Field Engineering
	Section	02 41 19	Selective Demolition
	Section	03 30 00	Cast-In-Place Concrete
	Section	04 20 00	Unit Masonry
	Section	04 43 13	Adhered Stone Masonry Veneer
	Section	05 50 00	Metal Fabrications
	Section	06 10 00	Rough Carpentry
	Section	06 16 00	Sheathing
	Section	06 41 16	Plastic-Laminate-Face Architectural Cabinets
	Section	06 46 00	Wood Trim
	Section	07 51 13	Built-up Asphalt Roofing
	Section	07 62 00	Sheet Metal Flashing and Trim
	Section	07 72 00	Roof Accessories
	Section	07 84 13	Penetration Firestopping
	Section	07 92 00	Joint Sealants
	Section	08 11 13	Hollow Metal Doors and Frames
	Section	08 14 16	Flush Wood Doors
	Section	08 41 13	Aluminum-Framed Entrances and Storefronts
	Section	08 71 00	Door Hardware
	Section	08 80 00	Glazing
	Section	08 91 19	Fixed Louvers
	Section	09 30 00	Tiling
	Section	09 65 00	Resilient Flooring
	Section	09 65 13	Resilient Base and Accessories
	Section	09 66 23	Resinous Matrix Terrazzo Flooring
	Section	09 67 23	Resinous Flooring
	Section	10 51 13	Metal Lockers
	Section	12 35 53	Laboratory Casework
	Section	12 36 23	Plastic-Laminate-Clad Countertops
	Section	12 36 53	Laboratory Countertops
	Section	32 92 00	Turf and Grasses

## B. BID CATEGORY NO. 3 – Interior Finishes

General Requirements in Paragraph 3.02.B above.

Section	01 21 00	Allowances
Section	05 40 00	Cold-Formed Metal Framing
Section	07 92 00	Joint Sealants
Section	08 31 13	Access Doors and Frames
Section	09 22 16	Non-Structural Metal Framing
Section	09 26 13	Gypsum Veneer Plastering
Section	09 29 00	Gypsum Board
Section	09 51 13	Acoustical Panel Ceilings
Section	09 91 23	Interior Painting
Section	09 96 00	<b>High-Performance Coatings</b>

## C. <u>BID CATEGORY NO. 5 – Mechanical/Plumbing</u>

General requirements in Paragraph 3.02.B above.

	General requirements in Faragraph 5.02.b above.				
Section	01 21 00	Allowances			
Section	01 51 30	Temporary Heating, Ventilation and Cooling			
Section	01 51 50	Temporary Water			
Section	02 41 19	Selective Demolition			
Section	07 84 13	Penetration Firestopping			
Section	07 92 00	Joint Sealants			
Section	22 05 00	Common Work Results for Plumbing			
Section	22 05 23	General Duty Valves for Plumbing Piping (2 & less)			
Section	22 05 29	Hangers and Supports for Plumbing Piping and			
		Equipment			
Section	22 07 00	Plumbing Insulation			
Section	22 11 16	Domestic Water Piping			
Section	22 13 16	Sanitary Waste and Vent Piping			
Section	22 13 19	Sanitary Waste Piping Specialties			
Section	23 05 00	Common Work Results for HVAC			
Section	23 05 13	Common Motor Requirements for HVAC			
		Equipment			
Section	23 05 16	Expansion Fittings and Loops for HVAC Piping			
Section	23 05 19	Meters and Gages for HVAC Piping			
Section	23 05 23	General Duty Valves for HVAC Piping			
Section	23 05 29	Hangers and Supports for HVAC Piping and			
		Equipment			
Section	23 05 48	Vibration and Seismic Controls for HVAC Piping			
		and Equipment			
Section	23 05 53	Identification for HVAC Piping and Equipment			
Section	23 05 93	Testing, Adjusting, and Balancing for HVAC			
Section	23 07 00	HVAC Insulation			
Section	23 08 00	Commissioning of HVAC			
Section	23 09 00	Instrumentation and Control for HVAC			
Section	23 21 13	Hydronic Piping			
Section	23 21 23	Hydronic Pumps			

Section	23 22 13	Steam and Condensate Heating Piping
Section	23 22 16	Steam and Condensate Piping Specialties
Section	23 22 23	Steam Condensate Pumps
Section	23 23 00	Refrigerant Piping
Section	23 25 00	HVAC Water Treatment
Section	23 31 13	Metal Ducts
Section	23 31 15	HVAC Air-Distribution System Cleaning
Section	23 33 00	Air Duct Accessories
Section	23 36 00	Air Terminal Units
Section	23 37 13	Diffusers, Registers, and Grilles
Section	23 37 23	HVAC Gravity Ventilators
Section	23 40 00	Antimicrobial Systems for HVAC
Section	23 57 00	Heat Exchangers for HVAC
Section	23 62 00	Packaged Compressor and Condenser Units
Section	23 73 13	Modular Indoor Central-Station Air-Handling Units
Section	23 74 13	Packaged, Outdoor, Central-Station Air-Handling
		Units
Section	23 81 26	Split System Air Conditioners
Section	23 82 16	Air Coils
Section	23 83 23	Unit Ventilators
Section	23 82 25	Vertical Unit Ventilators (Both Split and Self
		Contained)
Section	23 82 33	Convectors
Section	23 82 39	Unit Heaters

## D.

BID CATEGORY NO. 6 - Electrical General Requirements in Paragraph 3.02.B above.

Section	01 21 00	Allowances
Section	01 51 10	Temporary Electricity, Lighting and Warning
		Systems
Section	02 41 19	Selective Demolition
Section	07 84 13	Penetration Firestopping
Section	07 92 00	Joint Sealants
Section	26 05 00	Common Work Results for Electrical
Section	26 05 13	Medium-Voltage Cables
Section	26 05 19	Low-Voltage Electrical Power Conductors and
		Cables
Section	26 05 26	Grounding and Bonding for Electrical Systems
Section	26 05 29	Hangers and Supports for Electrical Systems
Section	26 05 33	Raceways and Boxes for Electrical Systems
Section	26 05 44	Sleeves and Sleeve Seals for Electrical Raceways and Cabling
Section	26 05 53	Identification for Electrical Systems
Section	26 05 73	Coordination Studies
Section	26 05 73	Short-Circuit Studies

26 05 74	Overcurrent Protective Device Arc-Flash Study
26 09 23	Lighting Control Devices
26 09 43	Network Lighting Controls
26 12 00	Medium-Voltage Transformers
26 22 00	Low Voltage Transformers
26 24 16	Panelboards
26 27 26	Wiring Devices
26 28 13	Fuses
26 43 13	Surge Protection for Low-Voltage Electrical Power
	Circuits
26 51 00	Interior Lighting
26 56 00	Exterior Lighting
27 05 00	Common Work Results for Communications
27 05 26	Grounding and Bonding for Communications
	Systems
27 05 28	Pathways for Communications Systems
27 05 53	Identification for Communications Systems
27 15 13	Communications Copper Horizontal Cabling
27 17 00	Testing, Identification and Administration of
	Balanced Twisted Pair Infrastructure
27 26 26	IP Address Request Form
27 41 16	Technology Equipment
28 13 00	Access Control
28 15 00	Access Control Hardware Devices
28 31 00	Fire Detection and Alarm
	26 09 23 26 09 43 26 12 00 26 22 00 26 24 16 26 27 26 26 28 13 26 43 13 26 51 00 26 56 00 27 05 26 27 05 28 27 05 53 27 15 13 27 17 00 27 26 26 27 41 16 28 13 00 28 15 00

END OF SECTION 01 12 00



#### ADDENDUM NO. 1

DATE OF ISSUANCE: October 4, 2024

PROJECT: Loy Norrix High School Mechanical Improvements

606 East Kilgore Road Kalamazoo, MI 49001

OWNER: Kalamazoo Public Schools

ARCHITECT'S PROJECT NO.: 21-807.00

ORIGINAL BID ISSUE DATE: September 16, 2024

#### SCOPE OF WORK

This Addendum includes changes to, or clarifications of, the original Bidding Documents and any previously issued addenda, and shall be included in the Bid. All of these Addendum items form a part of the Contract Documents. The Bidder shall acknowledge receipt of this Addendum in the appropriate space provided on the Bid Form. Failure to do so may result in disqualification of the Bid.

#### **DOCUMENTS INCLUDED IN THIS ADDENDUM**

This Addendum includes **Two pages** of text and the following documents:

Bidding Documents: NA
 Contract Conditions: NA
 Specification Sections: NA

Drawings: AD 100K, AD 100C, 200K & A 201C

#### **CHANGES TO PREVIOUSLY ISSUED ADDENDA**

None.

#### **CHANGES TO SPECIFICATIONS**

ADD-1 Item No. S-1 - <Insert Title>

NA

#### **CHANGES TO DRAWINGS**

ADD-1 Item No. D-1 - Ceiling Changes

Refer to Sheet(s): AD 100K, AD 100C, A 200K, and A 201C



10.4.2024 Addendum No. 1 // Loy Norrix Mechanical Improvements // 21-807.00

Any existing ceilings previously shown as removed, salvaged and reinstalled are to be removed, deposed and NEW ceiling installed. Updated ceiling types on ceiling plans, keyed notes (on demo and ceiling plan sheets) and ceiling details.

#### ADD-1 Item No. D-2 - Casework Changes

Refer to Sheet(s): I 101K and I 103

The casework that was previously shown as base cabinets in Project Room 318, are to be tall cabinets. Updated finish plans and interior elevations.

**END OF ADDENDUM.** 

2



GYPSUM BOARD AND METAL STUD WALL TO BE REMOVED AND DISPOSED

CASEWORK. ALSO CASEWORK BELOW EXISTING WALL.

- REMOVE AND DISPOSE METAL

KEYED NOTES - DEMOLITION

1 -- NOT USED --1A REMOVE HARD LID CEILING AND SUPPORT STRUCTURE AND PREP FOR NEW. COORDINATE EXTEND WITH MECHANICAL DRAWINGS.

REMOVE AND DISCARD CEILING SYSTEM - REFER TO OTHER DRAWINGS FOR CEILING MOUNTED FIXTURE

SCOPE. PREP FOR NEW CEILING.

BY OWNER - REMOVE AND DISCARD CEILING - REFER TO OTHER DRAWINGS FOR CEILING MOUNTED FIXTURE SCOPE. PREP FOR NEW CEILING.

REMOVE AND DISCARD OF CONVECTOR - REFER TO MECH. DRAWINGS. PREP WALL FOR NEW FINISH.

FOR MECH. UNIT REMOVAL REFER TO MECH. DRAWINGS. PREP WALL FOR REFINISH. REMOVE AND DISCARD LOUVER - REFER TO AND COORDINATE WITH MECH. DRAWINGS.

REMOVE UNIT VENTILATOR FRONT SCREEN AND COUNTERTOP - SEE MECH. DRAWINGS. REMOVE AND DISCARD OF COUNTERTOP AND FRONT PANEL OVER UV UNIT.

REMOVE ROOF BEAM MOUNTED PIPE SYSTEM WELDED TO ROOF BEAMS AND DISCARD, GRIND BEAMS SMOOTH AND PREP FOR NEW PRIME AND PAINT ENTIRE BEAM

REMOVE AND DISCARD GLASS UNIT AND PREP FOR NEW LOUVER INSERT INTO EXISTING MULLION SYSTEM.

REMOVE AND DISCARD ELEVATED WOOD FLOOR SYSTEM FRAMING, SHEATHING, FLOOR FINISH AND WALL BASE. PREP FLOOR AND WALLS FOR NEW FINISH.

REMOVE AND SALVAGE PIPE RAIL SYSTEM FOR REINSTALLATION. STORE AND PROTECT DURING

CONSTRUCTION.

REMOVE AND DISCARD CASEWORK AND PREP FOR NEW.

REMOVE AND DISCARD PORTIONS OF WALL TO ALLOW FOR DUCT ACCESS

REMOVE PORTION OF WALL FULL HEIGHT AS REQUIRED FOR NEW WORK AND PREP FOR NEW WALL.

MECHANICAL PIT. PREP PIT FOR INFILL. SEE OTHER DRAWINGS. REMOVE GLASS OUT OF EXISTING STOREFRONT WINDOW FRAME AND PREP FOR NEW CONSTRUCTION -

REFER TO EXTERIOR DEMO. ELEVATIONS REMOVE AND SALVAGE ALUM. CHASE. STORE AND PROTECT DURING CONSTRUCTION AND PREP FOR REUSE. REMOVE WOOD TRIM PIECE AT CEILING ALONG EXTERIOR WINDOW WALLS AND SALVAGE FOR REUSE. STRIP

AND PREP TRIM FOR NEW PRIME AND PAINT. REMOVE AND DISCARD WALL TILE, AND CMU FACE SHELL AND PREP FOR NEW.

REMOVE WINDOW AC UNIT AND RETURN TO KPS. REMOVE AND DISCARD TEMPORARY PANEL AROUND AC

REMOVE AND DISCARD CASEWORK AND COUNTERTOP. REFER TO MECHANICAL DRAWINGS FOR MECHANICAL DEMO SCOPE, PREP OPENING FOR NEW

CONSTRUCTION. BY OWNER - REMOVE AND DISCARD FLOORING AND ADHESIVE BELOW EXISTING UNIT VENTILATOR BEING

REMOVED AND DISPOSED. REMOVE AND DISPOSE OF EXISTING BUILD UP U.V. BASE AND WALL BASE. REMOVE AND SALVAGE CASEWORK, COUNTERTOP, AND BASE AND PREP FOR REINSTALLATION.

REMOVE AND DISCARD FLOOR SLAB AND PREP FOR NEW DUCTWORK - REFER TO STRUCTURAL AND MECHANICAL AND COORD. FOR FINAL SIZE AND LOCATION. FINAL LOCATION SHALL BE BETWEEN EXISTING STRUCTURAL CONCRETE FLOOR BEAMS.

REMOVE AND SALVAGE TACKBOARD - REFER TO NEW CONSTRUCTION FOR NEW LOCATION

REMOVE AND DISCARD SOAP DISPENSER AND PAPER TOWEL DISPENSER



 REMOVE AND DISPOSE OF CEILING TILES AND GRID AND PREP FOR

- REMOVE AND SALVAGE PAINTED WOOD TRIM AND PREP FOR REUSE.



BY OWNER - REMOVE AND DISCARD CEILING. PREP FOR NEW 2X2 DROP CEILING AND LIGHTS

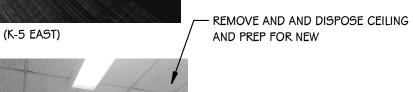


REMOVE AND DISPOSE CEILING SYSTEM. REFER TO ELEC. AND MECH. DRAWINGS FOR MORE INFORMATION.

mmmm



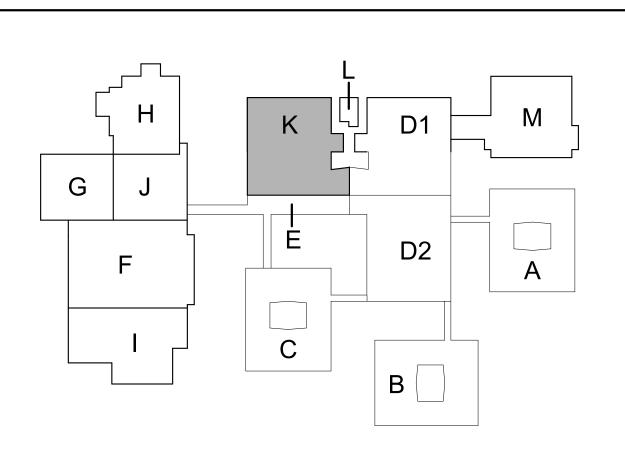
REMOVE AND AND DISPOSE METAL CABINETS AND PREP FOR NEW. PATCH PRIME AND PAINT EXISTING WALL AS REQUIRED.



- REMOVE AND DISPOSE VERTICAL LAY-INN CEILING AND PREP FOR NEW WALL

- DOORS AND EXISTING WALL THIS LEVEL TO REMAIN

# **LOY NORRIX**





2024 TEMBER DATE SEP

Kalamazoo

ADDENDUM NO. 1

SC SS R

OWNER KALAMAZOO I SCHOOLS

**DEMOLITION** 

SHEET TITLE LOWER | K

ISSUED FOR

October 4, 2024

DATE

AD 100K 21-807.07



KEYED NOTES - DEMOLITION

-- NOT USED -- )
REMOVE HARD LID CEILING AND SUPPORT STRUCTURE AND PREP FOR NEW. COORDINATE EXTEND WITH MECHANICAL DRAWINGS.

REMOVE AND DISCARD CEILING SYSTEM - REFER TO OTHER DRAWINGS FOR CEILING MOUNTED FIXTURE SCOPE. PREP FOR NEW CEILING.

2A BY OWNER - REMOVE AND DISCARD CEILING - REFER TO OTHER DRAWINGS FOR CEILING MOUNTED FIXTURE

SCOPE. PREP FOR NEW CEILING. REMOVE AND DISCARD OF CONVECTOR - REFER TO MECH. DRAWINGS. PREP WALL FOR NEW FINISH.

FOR MECH. UNIT REMOVAL REFER TO MECH. DRAWINGS. PREP WALL FOR REFINISH.

REMOVE AND DISCARD LOUVER - REFER TO AND COORDINATE WITH MECH. DRAWINGS.

REMOVE UNIT VENTILATOR FRONT SCREEN AND COUNTERTOP - SEE MECH. DRAWINGS.

REMOVE AND DISCARD OF COUNTERTOP AND FRONT PANEL OVER UV UNIT.

10 REMOVE ROOF BEAM MOUNTED PIPE SYSTEM WELDED TO ROOF BEAMS AND DISCARD, GRIND BEAMS SMOOTH AND PREP FOR NEW PRIME AND PAINT ENTIRE BEAM

REMOVE AND DISCARD GLASS UNIT AND PREP FOR NEW LOUVER INSERT INTO EXISTING MULLION SYSTEM. REMOVE AND DISCARD ELEVATED WOOD FLOOR SYSTEM FRAMING, SHEATHING, FLOOR FINISH AND WALL

BASE. PREP FLOOR AND WALLS FOR NEW FINISH. REMOVE AND SALVAGE PIPE RAIL SYSTEM FOR REINSTALLATION. STORE AND PROTECT DURING

CONSTRUCTION.

15 REMOVE AND DISCARD CASEWORK AND PREP FOR NEW.

REMOVE AND DISCARD PORTIONS OF WALL TO ALLOW FOR DUCT ACCESS

REMOVE PORTION OF WALL FULL HEIGHT AS REQUIRED FOR NEW WORK AND PREP FOR NEW WALL.

MECHANICAL PIT. PREP PIT FOR INFILL. SEE OTHER DRAWINGS.

REMOVE GLASS OUT OF EXISTING STOREFRONT WINDOW FRAME AND PREP FOR NEW CONSTRUCTION -REFER TO EXTERIOR DEMO. ELEVATIONS

20 REMOVE AND SALVAGE ALUM. CHASE. STORE AND PROTECT DURING CONSTRUCTION AND PREP FOR REUSE. REMOVE WOOD TRIM PIECE AT CEILING ALONG EXTERIOR WINDOW WALLS AND SALVAGE FOR REUSE. STRIP

AND PREP TRIM FOR NEW PRIME AND PAINT. REMOVE AND DISCARD WALL TILE, AND CMU FACE SHELL AND PREP FOR NEW.

REMOVE WINDOW AC UNIT AND RETURN TO KPS. REMOVE AND DISCARD TEMPORARY PANEL AROUND AC

REMOVE AND DISCARD CASEWORK AND COUNTERTOP.

REFER TO MECHANICAL DRAWINGS FOR MECHANICAL DEMO SCOPE, PREP OPENING FOR NEW CONSTRUCTION.

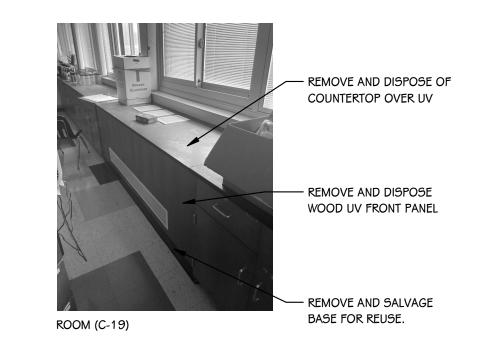
26 BY OWNER - REMOVE AND DISCARD FLOORING AND ADHESIVE BELOW EXISTING UNIT VENTILATOR BEING REMOVED AND DISPOSED. REMOVE AND DISPOSE OF EXISTING BUILD UP U.V. BASE AND WALL BASE.

REMOVE AND SALVAGE CASEWORK, COUNTERTOP, AND BASE AND PREP FOR REINSTALLATION.

REMOVE AND DISCARD FLOOR SLAB AND PREP FOR NEW DUCTWORK - REFER TO STRUCTURAL AND MECHANICAL AND COORD. FOR FINAL SIZE AND LOCATION. FINAL LOCATION SHALL BE BETWEEN EXISTING STRUCTURAL CONCRETE FLOOR BEAMS.

REMOVE AND SALVAGE TACKBOARD - REFER TO NEW CONSTRUCTION FOR NEW LOCATION

REMOVE AND DISCARD SOAP DISPENSER AND PAPER TOWEL DISPENSER





October 4, 2024

DATE

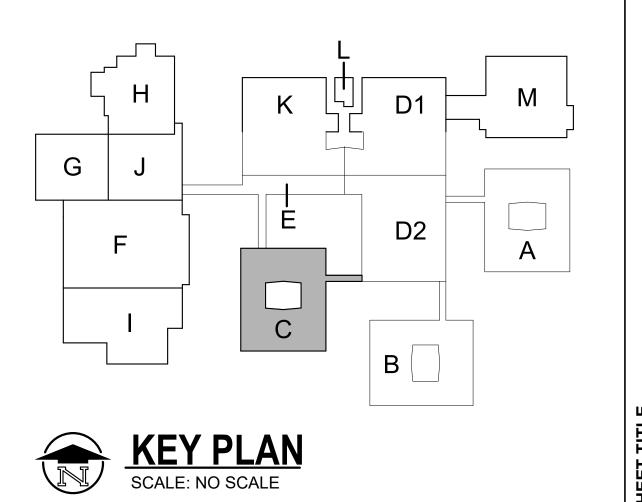
ADDENDUM NO. 1

**ISSUED FOR** 

OWNER KALAMAZOO I SCHOOLS

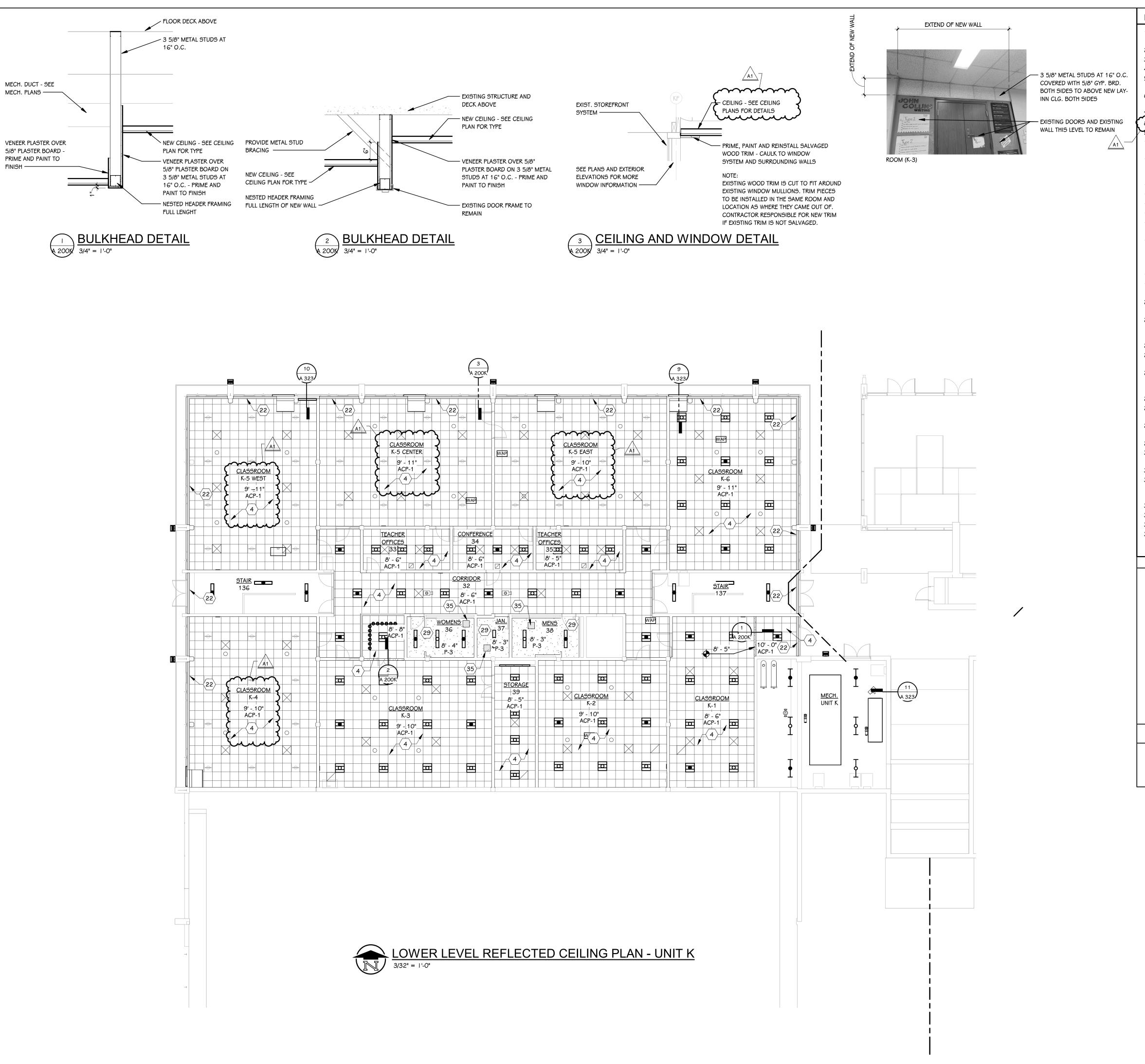
2024 DATE SEPTEMBER

AD 101 21-807.07



**LOY NORRIX** 

DEMOLITION SHEET TITLE LEVEL 1



KEYED NOTES - NEW CONSTRUCTION

WHERE REQUIRED PATCH, PRIME AND PAINT WALL AT REMOVED MECH. EQUIPMENT TO MATCH EXISTING COORDINATE WITH NEW EQUIPMENT.

FILL EXISTING CORED HOLES IN FLOOR WITH CONCRETE AND PATCH FLOOR TO MATCH EXISTING.

PATCH, PRIME AND PAINT WALL TO MATCH EXISTING.

NEW 2X2 ACP CEILING SYSTEM, INSTALL AT EXISTING CEILING HEIGHT.

PATCH PRIME AND PAINT WALL AT REMOVED MECH. EQUIPMENT AND REMOVED CASEWORK. PAINT TO MATCH

PROVIDE A CLEAR ANODIZED ALUM. CHASE UP ALONG THE SIDE OF THE COLUMN FULL HEIGHT. SIZE TO BE MINIMUM REQUIRED FOR MECHANICAL PIPES. MATCH EXISTING CHASES. FULL HEIGHT TO ABOVE CEILING. 7 INSTALL SALVAGED ALUM. CHASE ASSEMBLY UP ALONG THE WALL. INSTALL IN EXISTING LOCATION.

-- NOT USED --9 INTILL EXISTING OPENING WITH BRICK AND CMU. BRICK TO MATCH EXISTING.

NEW EXHAUST THROUGH ROOF (SEE MECH. DRAWINGS). PATCH ROOF AND PROVIDE STEEL FRAMING AROUND NEW ROOF OPENING. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.

AT EACH SIDE OF NEW HORIZ. UV PROVIDE A PRIME AND PAINTED METAL FILLER PANEL (TOP AND FRONT) TO MATCH AND TIE INTO UV. SECURE TO UV AND ADJOINING CASEWORK (BY MECHANICAL). PROVIDE P-LAM. END PANEL AT NEWLY EXPOSED CASEWORK END (MATCH EXISTING)

12 PRIME AND PAINT ALL EXPOSED ROOF BEAMS IN ROOM.

PREP, PRIME, PAINT AND REINSTALL SALVAGED PIPE RAILING SYSTEM. GRIND ALL WELDS SMOOTH

PRIME AND PAINT ALL WALLS TO MATCH EXISTING FULL HEIGHT.

NEW CASEWORK - SEE INTERIOR DRAWINGS

REBUILD WALL AT REMOVED MTL. STUD WALL AND GYPSUM BOARD WITH NEW 5/8" GYPSUM BOARD OVER MTL STUD FRAMING TO MATCH EXISTING. PRIME AND PAINT ENTIRE WALL TO MATCH EXISTING.

CAP DUCTS IN VERTICAL PIT WALL WITH 8" CONCRETE DOWELED INTO THE SUROUNDING WALLS. FILL PIT WITH SAND AND FINISH WITH 4" OF CONCRETE SLAB DOWLED INTO THE ADJOINING EXISTING SLAB. FOR SLAB AND WALL - DOWEL ALL SIDES WITH #4 DOWELS X 12" LONG AT 8" O.C. DRILL AND EPOXY WITH HILTI HIT HY 200 WITH 4" EMBEDMENT

AT REMOVED GLASS PANEL PROVIDE NEW CLEAR ANODIZED LOUVER INSERT, PROVIDE INSULATED METAL

5/8" IMPACT RESISTANT GYPSUM BOARD BULKHEAD OVER 3 5/8" METAL STUD FRAMING AT 16" O.C.

19 NEW 6" CMU WALL TO MATCH SUROUNDING EXISTING WALL. TOOTH IN, PRIME AND PAINT TO MATCH EXISTING.

BLANK OFF PANEL AT ANY UNUSED LOUVER AREAS - SEE MECH. DWG'S IN EXISTING LOUVER OPENING INSTALL 3" INSULATED METAL PANEL (BLACK) TIGHT AGAINST LOUVER AND TIGHT IN OPENING. SECURE IN PLACE AND CAULK ALL SIDES. AT INSIDE FLUSH WITH INTERIOR FACE OF

EXISTING CMU WALL ADD 4" CMU INFILL TOOTH IN ALL SIDES.

INSTALL SALVAGED WOOD TRIM PRIME AND PAINT TO MATCH EXISTING. SEE DETAILS. MINOR FLOOR PATCHING REQUIRED AT REMOVED UV'S, NEW CASEWORK, CHASE, OR OTHER MINOR FLOOR CONFIGURATION CHANGES. MATERIAL AVAILABLE OUT OF OWNER ATTIC STOCK.

BREAK METAL CLOSURE PIECE WITH HEMMED EDGES, GROUND SMOOTH, AND ROUNDED CORNERS, AND PAINTED TO MATCH NEW UV UNIT. ATTACH TO UV UNIT AND WINDOW FRAME AS REQUIRED. SIZE AND SHAPE TO BE CONFIRMED IN FIELD. HEIGHT TO BE FULL HEIGHT OF EXPOSED PORTION OF BLANK OFF PANEL.

EXISTING MECHANICAL ROOF EQUIPMENT TO REMAIN - SEE MECHANIICAL DRAWINGS. NEW MECHANICAL ROOF EQUIPMENT ON EXISTING ROOF CURB FLASH WEATHER TIGHT - SEE MECHANICAL

NEW MECHANICAL CONDENSING UNITS SET ON ROOF. WITH NEW PIPE PENETRATIONS THROUGH ROOF FLASHED WEATHER TIGHT - SEE MECHANICAL DRAWINGS. DEMO EXISTING ROOF AS REQUIRED.

NEW SUSPENDED PLASTER CEILING AT EXISTING HEIGHT. PRIME AND PAINT TO MATCH EXISTING.

AT REMOVED DIFFUSER OPENING, PROVIDE METAL STUD FRAMING, GYPSUM BOARD AND PRIME AND PAINT TO MATCH EXISTING. PRIME AND PAINT ENTIRE WALL TO ABOVE CEILING TO MATCH EXISTING.

NEW EXHAUST FAN / RELIEF HOOD ON EXISTING ROOF CURB FLASH WEATHER TIGHT

NEW EXHASUT FAN/RELIEF HOOD OR OTHER MECHANICAL EQUIPMENT ON NEW ROOF CURB. DEMO EXISTING ROOF AS REQUIRED. PATCH NEW CURB INTO EXISTING ROOF WEATHER TIGHT - SEE MECHANICAL DRAWINGS. SEE ROOF CURB AND PENETRATION DETAILS THIS SHEET.

REINSTALL SALVAGED CASEWORK AND COUNTERTOP

EXISTING UV TO BE REMOVED AND INSTALL NEW UV. REINSTALL EXISTING SALVAGED COVER - SEE PICTURE

INSTALL NEW PRIMED AND PAINTED WOOD TRIM TO MATCH EXISTING. SEE DETAILS.

35 NEW ACCESS PANELS 18"x18" - PRIME AND PAINT TO MATCH CEILING - COORD. FINAL LOCATION WITH MECHANICAL

REFLECTED CEILING KEY

VENEER PLASTER CEILING SYSTEM

ACP-1 - LAY-IN ACOUSTICAL TILE AND GRID ACP-2 - REMOVED AND REINSTALLED EXISTING ACP LAY-IN TILE CEILING GRID AND TILES

EXISTING ACP LAY-IN ACOUSTICAL TILE CEILING TO REMAIN

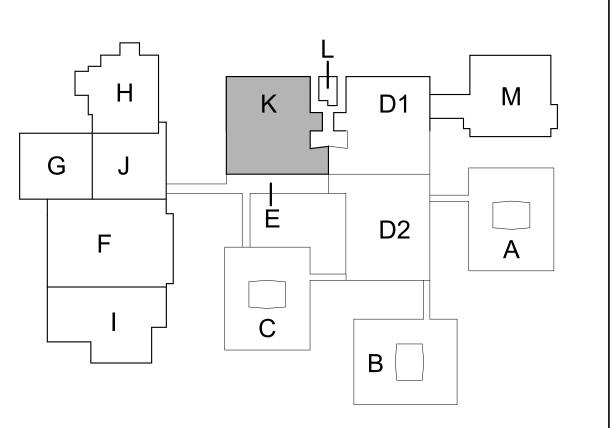
O OR O LIGHTING - REFER TO ELECTRICAL LIGHTING PLAN MECHANICAL - REFER TO MECHANICAL SHEET METAL PLAN

# REFLECTED CEILING GENERAL NOTES

WHERE CEILING TILE IS LESS THAN 3" AT PERIMETER OF ROOM PROVIDE A CUT 2x4 TILE IN LIEU OF FULL 2x2 TILE AND SMALL PIECE OF TILE OR DOUBLE GRID - MATCH 2x2 FOR STYLE AND COLOR.

KEY PLAN
SCALE: NO SCALE

LOY NORRIX HIGH SCHOOL



**REFLE** SHEET TITLE
LOWER LEVEL F
PLAN - UNIT K

ADDENDUM NO. 1 October 4, 2024

DATE

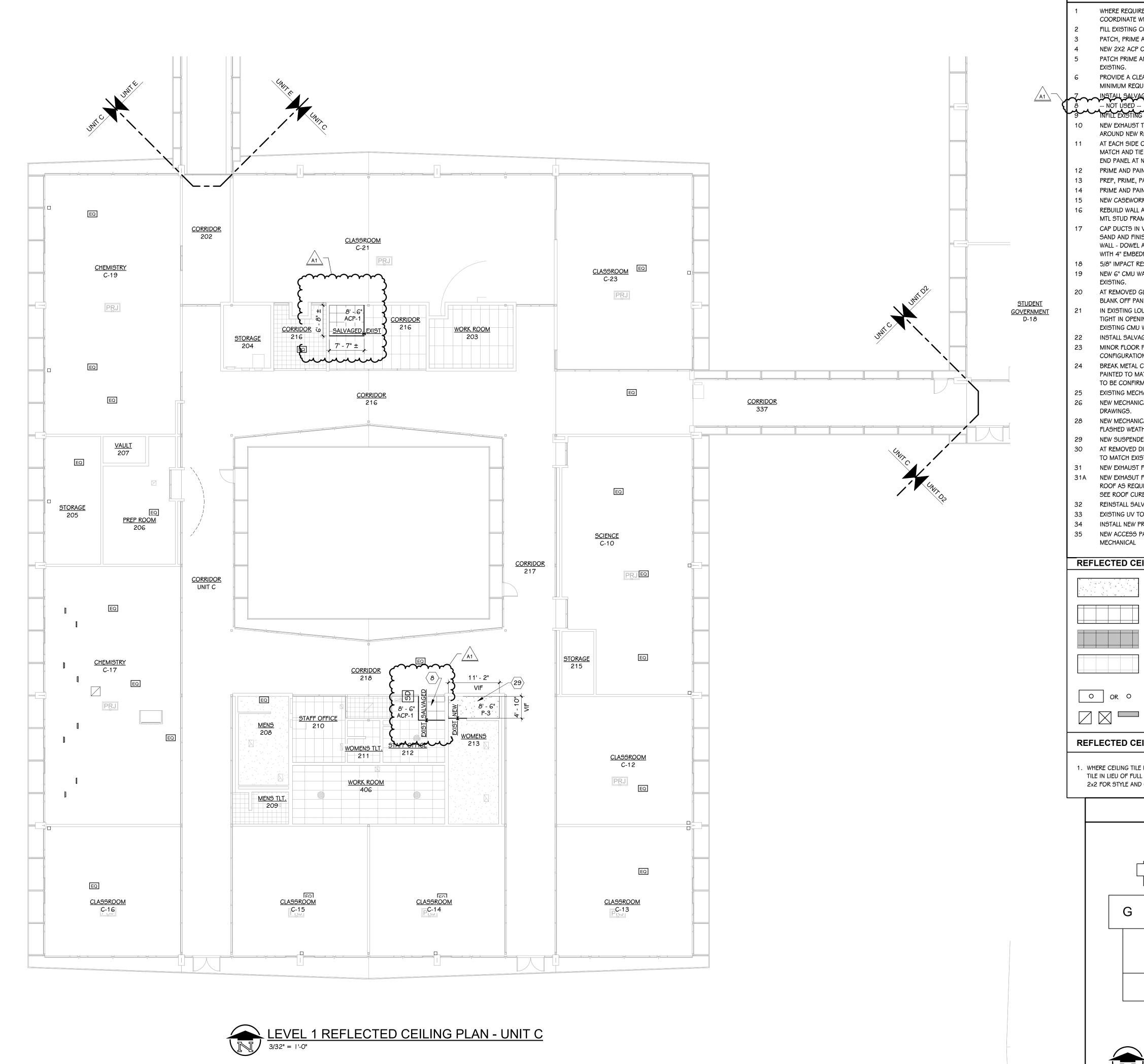
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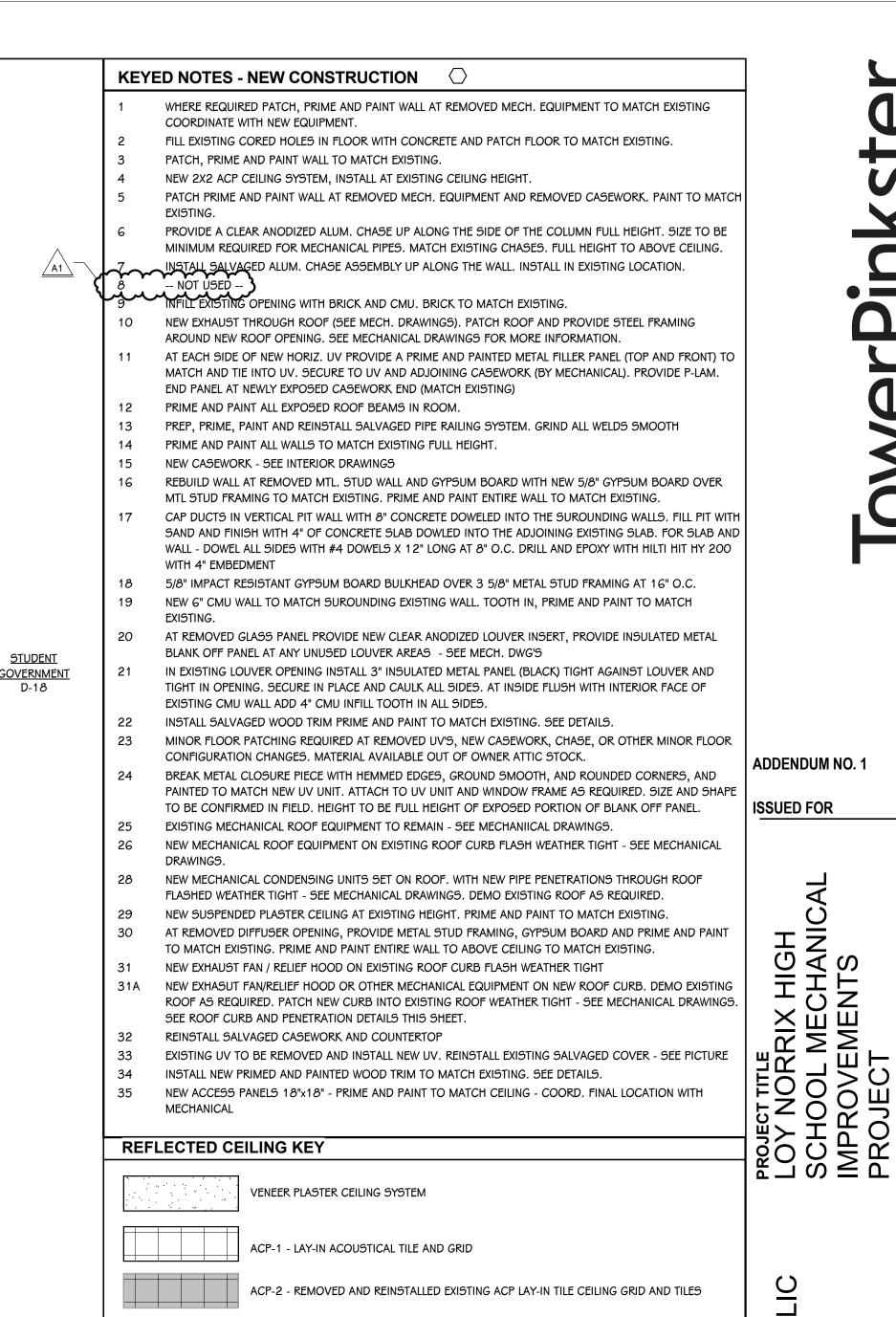
OWNER KALAMAZOO I SCHOOLS

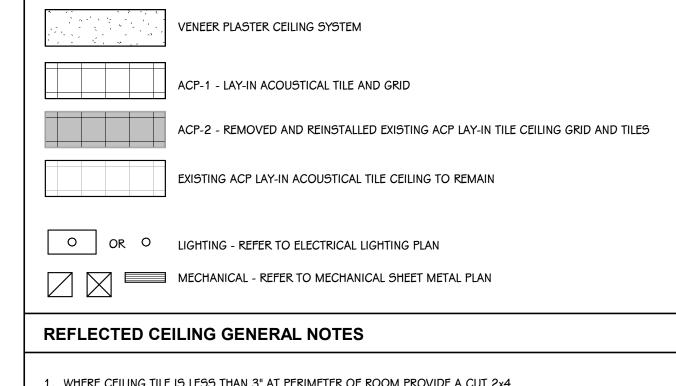
CEILING

ISSUED FOR

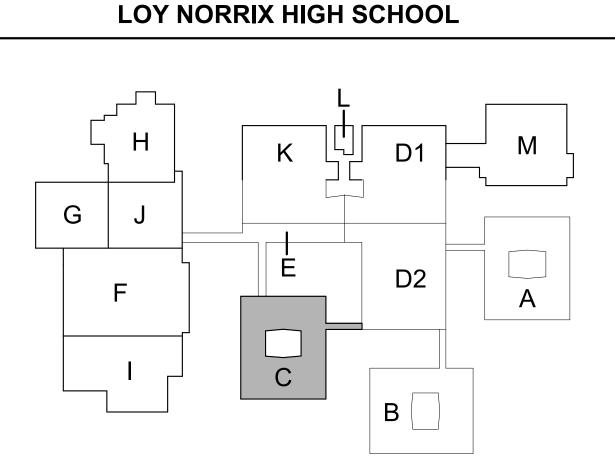
SHEET NUMBER **A** 200K 21-807.07







. WHERE CEILING TILE IS LESS THAN 3" AT PERIMETER OF ROOM PROVIDE A CUT 2x4 TILE IN LIEU OF FULL 2x2 TILE AND SMALL PIECE OF TILE OR DOUBLE GRID - MATCH 2x2 FOR STYLE AND COLOR.





LEVEL 1 REFLEC UNIT C

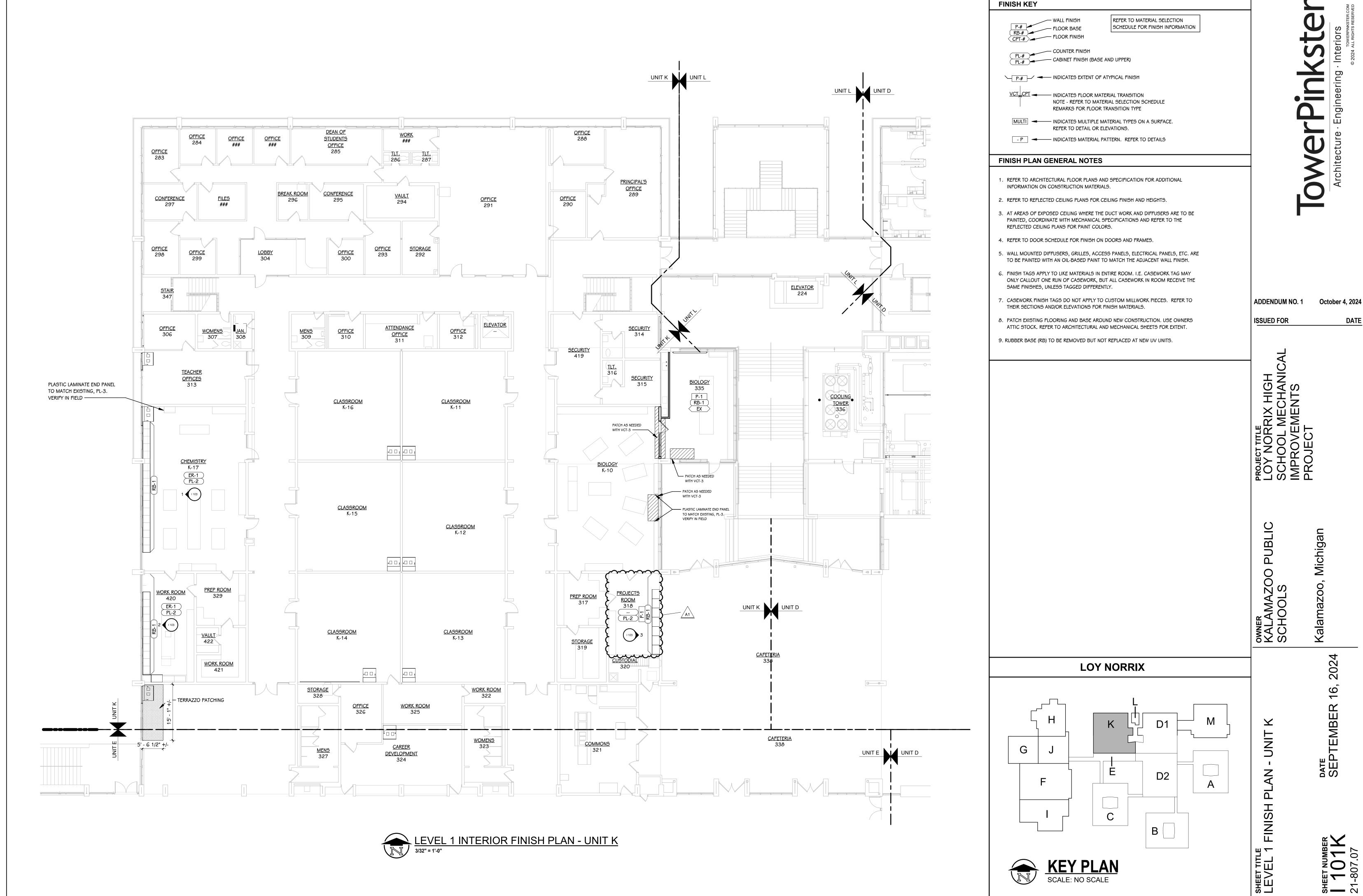
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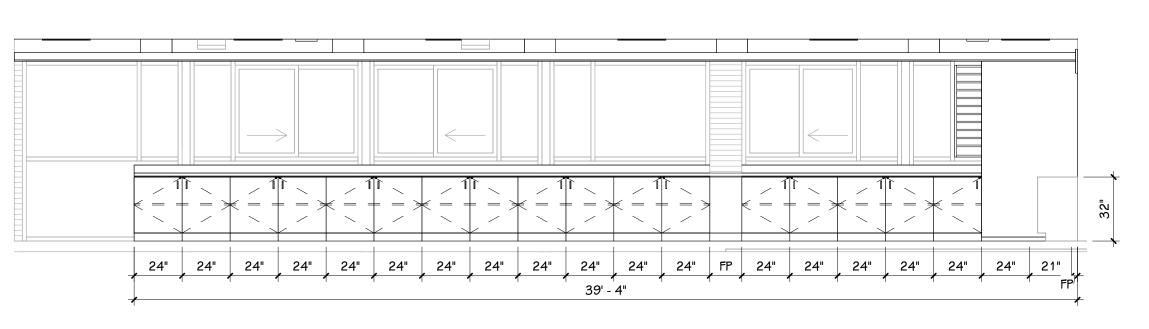
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SHEET NUMBER
A 201C
21-807.07

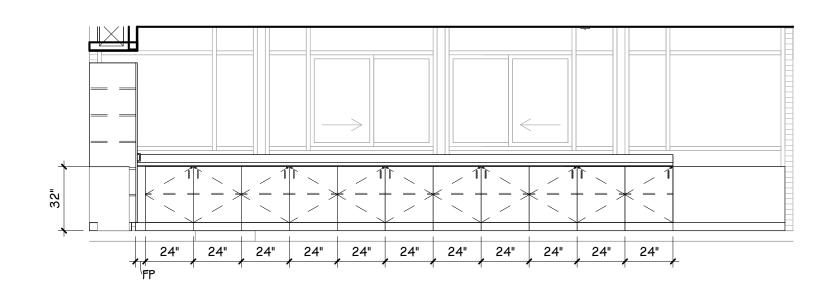
October 4, 2024

DATE

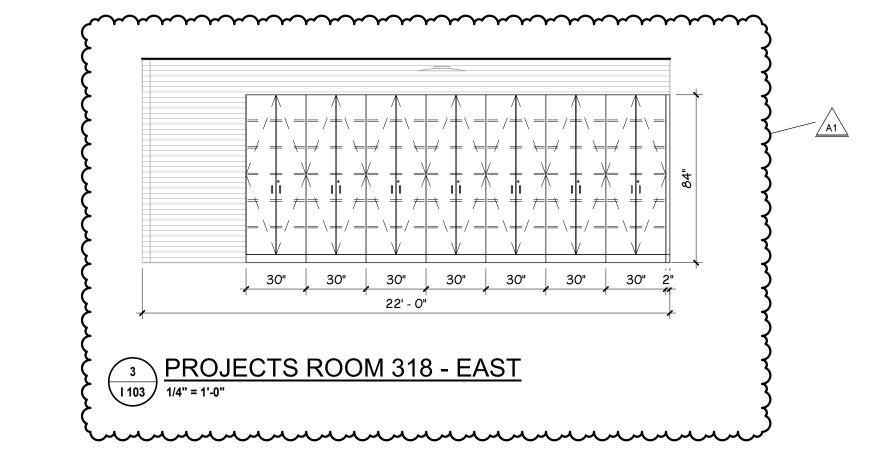


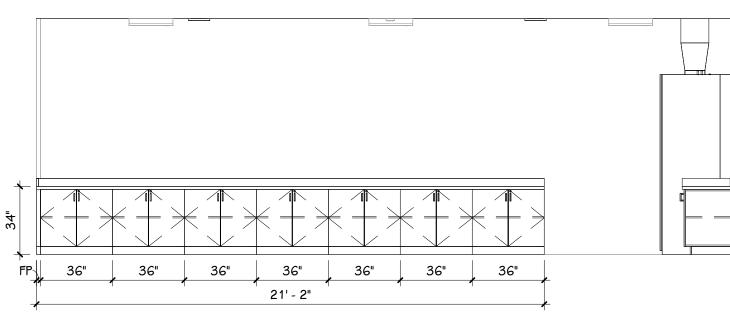


1 CLASSROOM K-17 - WEST
1/4" = 1'-0"

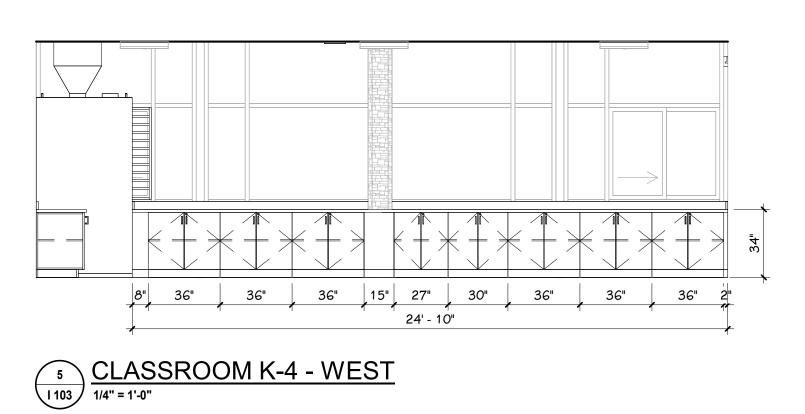


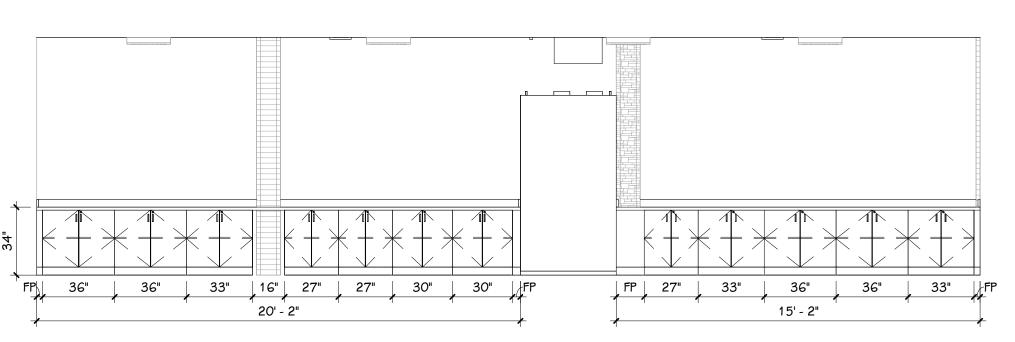
2 WORK ROOM 420 - WEST
1/4" = 1'-0"



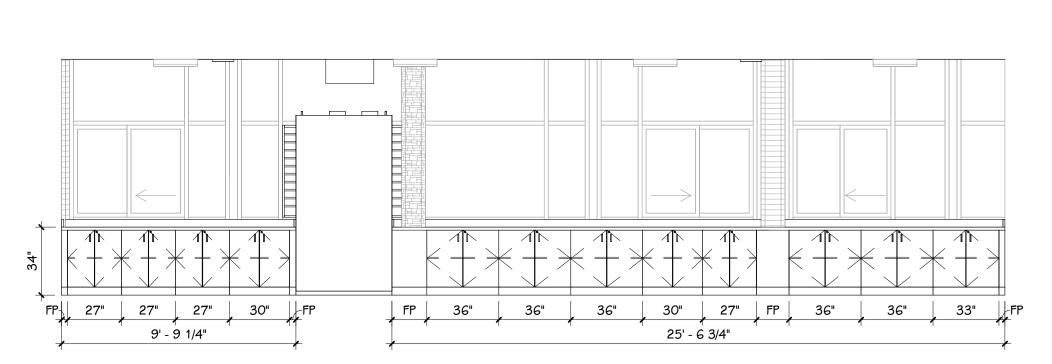


4 CLASSROOM K-4 - SOUTH
1/4" = 1'-0"





6 CLASSROOM K-5 CENTER - NORTH
1/4" = 1'-0"



7 CLASSROOM K-5 EAST - NORTH
1/4" = 1'-0"

# **NOTES - INTERIOR ELEVATIONS**

REFER TO FINISH PLANS FOR CALLOUTS OF MILLWORK OR ENLARGED FINISH PLANS FOR SCOPE NOT COVERED WITHIN INTERIOR ELEVATIONS.

REFER TO PATTERN ELEVATIONS FOR COLOR-BLOCKING AND PATTERNED INSTALLATION DETAILS OF PAINT AND ACOUSTICAL WALL PANELS.

NOT ALL MATERIALS ARE ILLUSTRATED, REFER TO FINISH PLANS AND TYPICAL DETAILS

REFER TO FINISH PLANS FOR VISUAL DISPLAY BOARD AND CORNER GUARD TAGS.

FOR ADDITIONAL INFORMATION.

## **NOTES - CASEWORK**

## **NOTES - CASEWORK**

1 VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO FABRICATION.

2 FILLER PANELS SHALL BE NO LESS THAN 2" WIDE, UNLESS NOTED OTHERWISE.

3 REFER TO FLOOR FINISH PLANS FOR CASEWORK AND COUNTERTOP FINISHES BY ROOM.

4 FINISH ANY EXPOSED END PANELS, UNDERSIDE OF CABINETS OR OPEN CABINETS, WITH PLASTIC LAMINATE SPECIFIED FOR FRONTS IN THAT ROOM.

5 ALL VERTICAL AND HORIZONTAL AND SEMI-EXPOSED SURFACES TO BE FINISHED WITH BODY PLASTIC LAMINATE.

6 SUPPORT BRACKETS ARE REQUIRED EVERY 36" O.C. AT AREAS WHERE COUNTERTOP IS OPEN UNDERNEATH. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING BRACKETS

7 PATTERN OR GRAIN DIRECTION TO BE VERTICAL ON DOORS AND HORIZONTAL DRAWERS - PER AWI STANDARDS, UNLESS NOTED OTHERWISE.

8 LOCKS TO BE PROVIDED WHERE SHOWN ON DRAWINGS, KEYED ALIKE.

APPROPRIATELY SIZED BASED ON DEPTH OF COUNTER.

9 GROMMET LOCATIONS SHALL BE VERIFIED IN THE FIELD WITH THE OWNER PRIOR TO INSTALLATION - COORDINATE WITH POWER \$ DATA LOCATIONS FOR ANY ADDITIONAL WIRE MANAGEMENT REQUIREMENTS.

10 'SLABSMITHING' WILL BE REQUIRED IN INSTANCES WHERE A PATTERNED SOLID SURFACE, QUARTZ, OR NATURAL STONE IS SPECIFIED.

11 WHERE CASEWORK IS INDICATED TO RECIEVE RESIDENTIAL APPLIANCES OR OWNER-FURNISHED EQUIPMENT. COORDINATE WITH FINAL OWNER-PROVIDED SELECTIONS.

# CASEWORK HARWARE & ACCESSORY SELECTIONS

**CASEWORK HARDWARE & ACCESSORY SELECTIONS** 

1 PULL SELECTION \$ FINISH: BENT WIRE, NICKEL.

2 GROMMETS TYPE & FINISH, WHERE INDICATED.

3 SOLID SURFACE COUNTERTOP EDGE: BUILT UP 1-1/2" AND EASED.

4 SUPPORT BRACKET TYPES & FINISH: A AND M HARDWARE CONCEALED BRACKETS. SIZE AS REQUIRED, FINISH TO BE WHITE POWDERCOAT.

# STANDARD ABBREVIATIONS - CASEWORK

ADJ	P/O
FP	BF
RP	HOLD

PROJECT TITLE
LOY NORRIX HIGH
SCHOOL MECHANICAL
IMPROVEMENTS
PROJECT

ADDENDUM NO. 1

**ISSUED FOR** 

October 4, 2024

DATE

ELEVATIONS

SHEET TITLE INTERIOR I

SHEET NUMBE 103 21-807.07