



GIBRALTAR DESIGN
ARCHITECTURE • ENGINEERING • INTERIOR DESIGN

PROJECT:
TRI-COUNTY JR-SR HIGH SCHOOL - ADDITIONS AND RENOVATIONS
TRI-COUNTY SCHOOL CORPORATION
WOLCOTT, INDIANA

GIBRALTAR DESIGN

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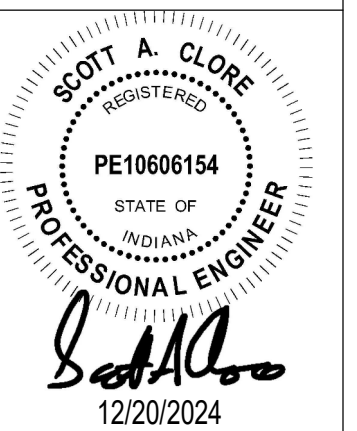
PROJECT 24-120

DATE 12/20/2024

COORDINATED BY SAC

DRAWN BY SAC

CHECKED BY SAC



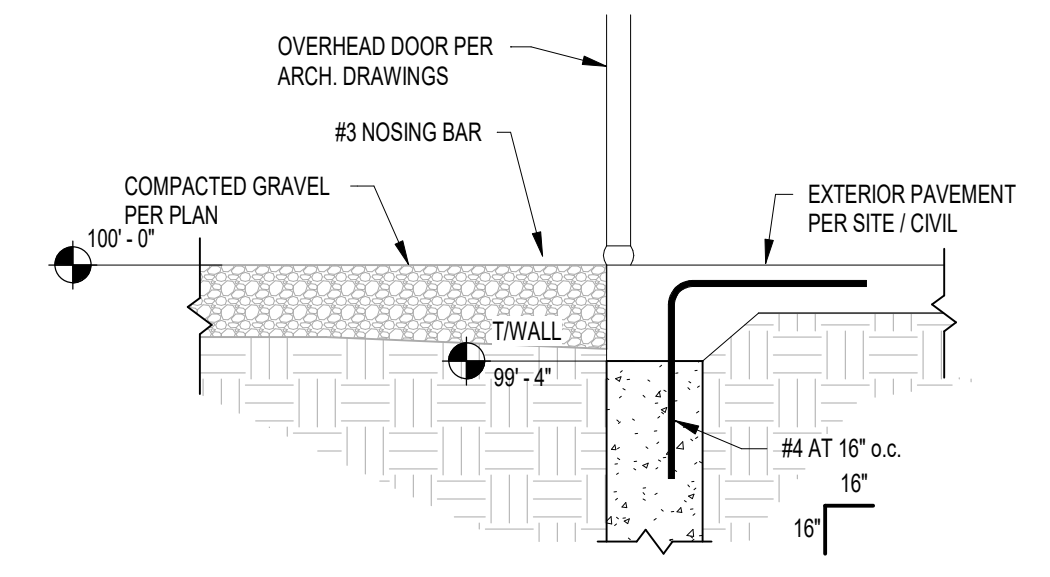
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MARK	DATE	ISSUED FOR
1	01.30.2025	ADDENDUM #1

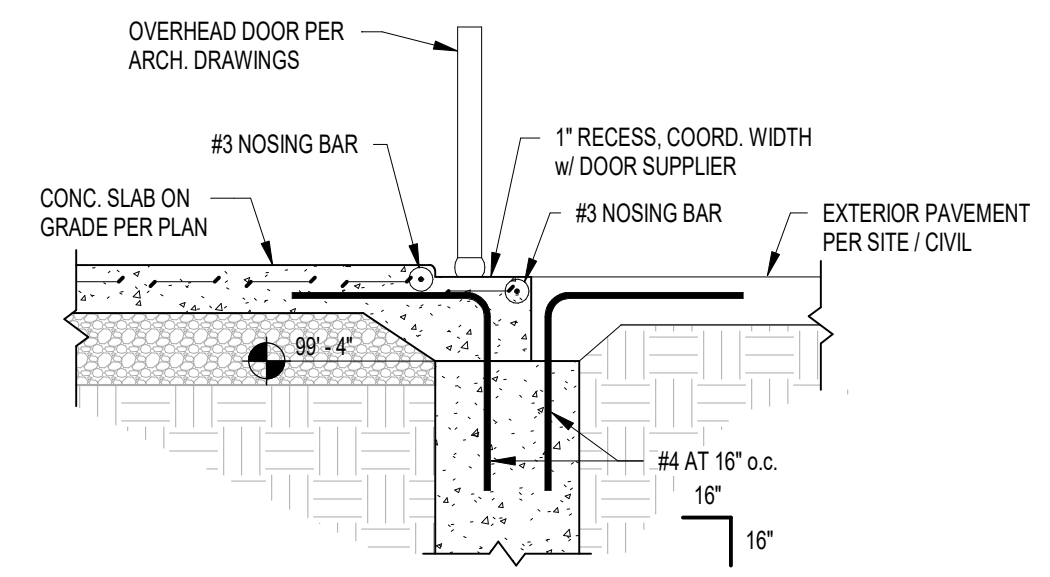
DRAWING
STRUCTURAL ELEVATIONS AND SECTIONS

PROJECT
TRI-COUNTY JR-SR HS ADDITIONS AND RENOVATIONS

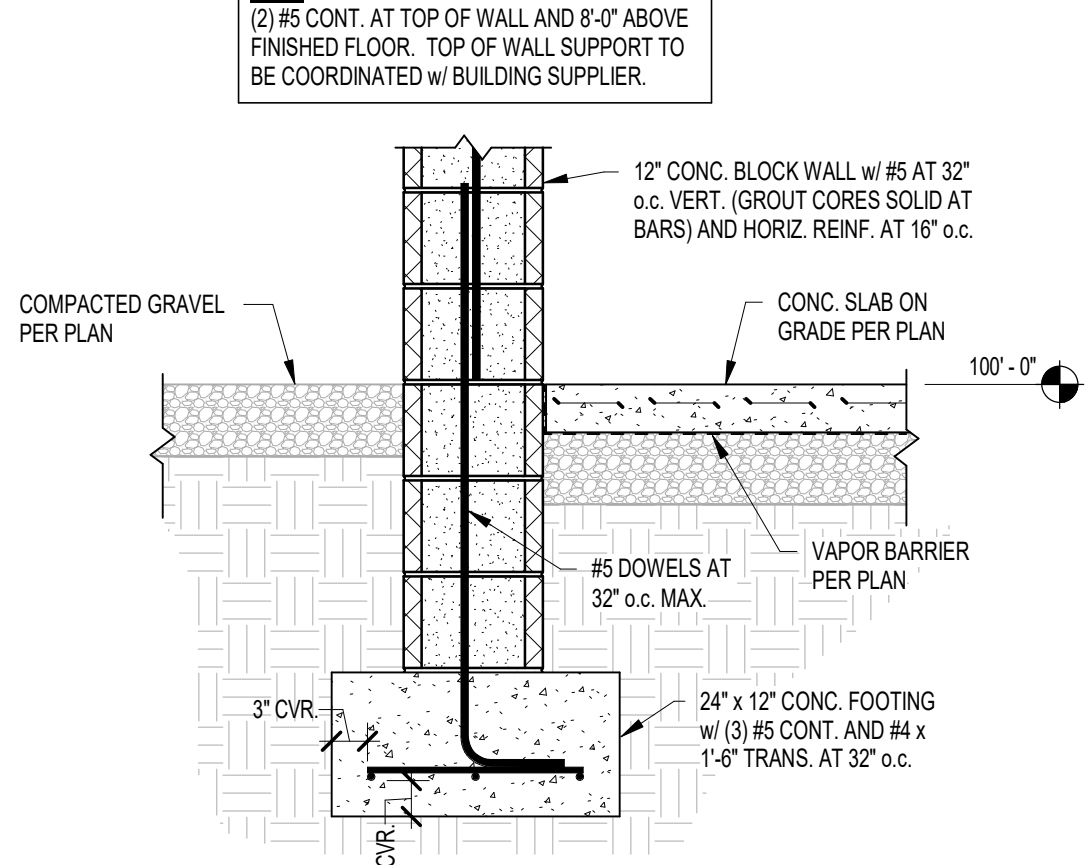
SHEET
S-402



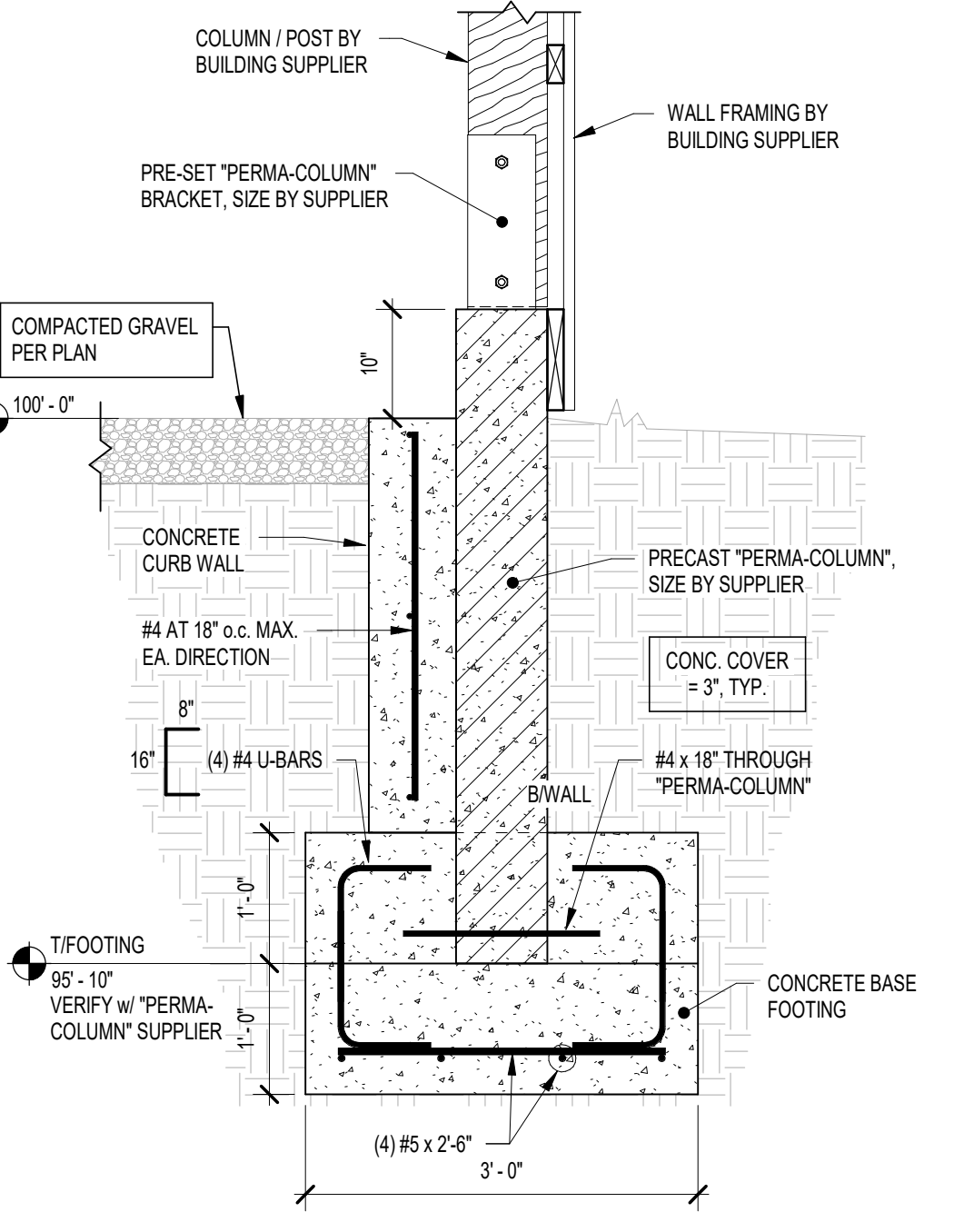
12 FOUNDATION SECTION
3/4" = 1'-0"



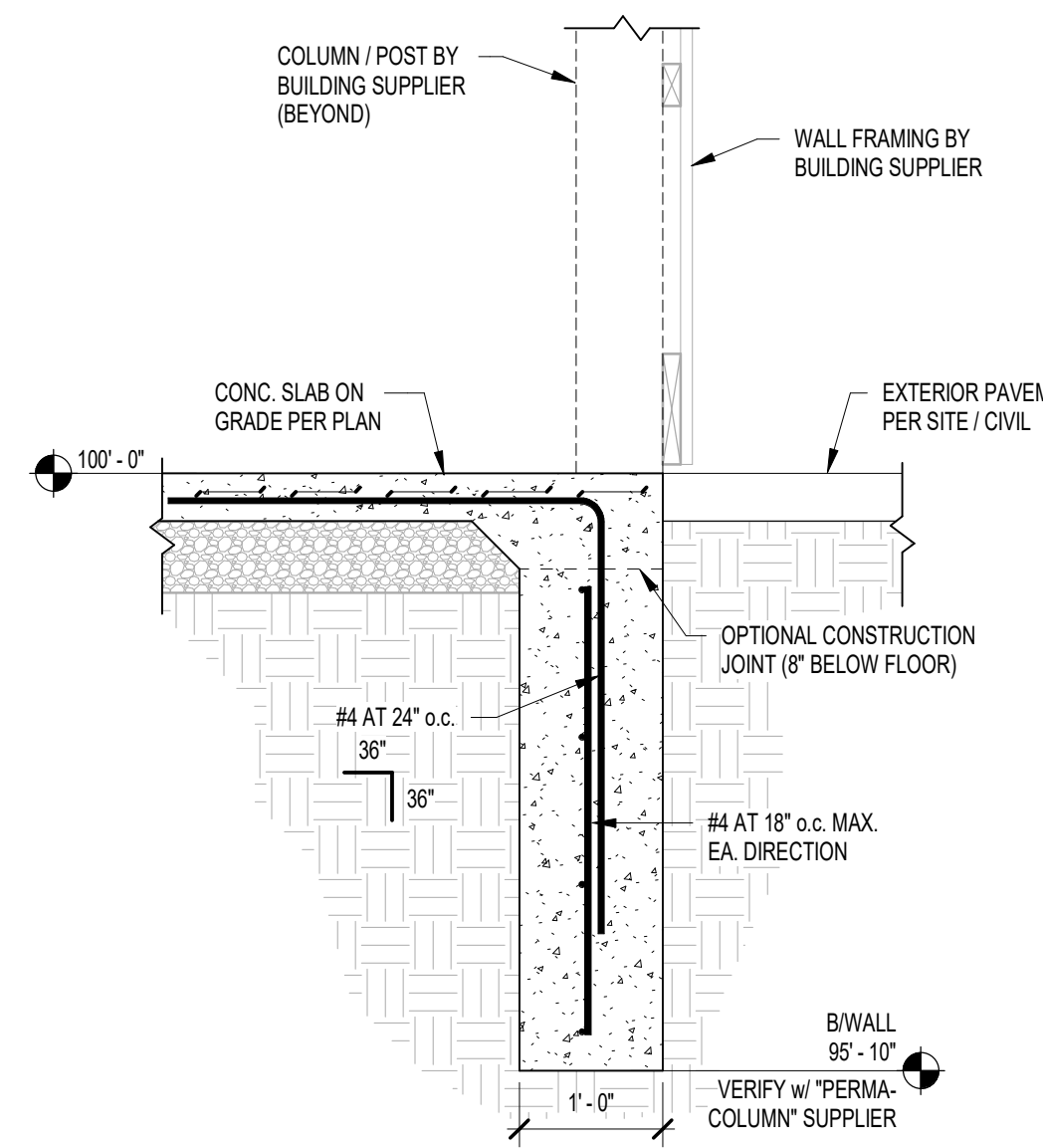
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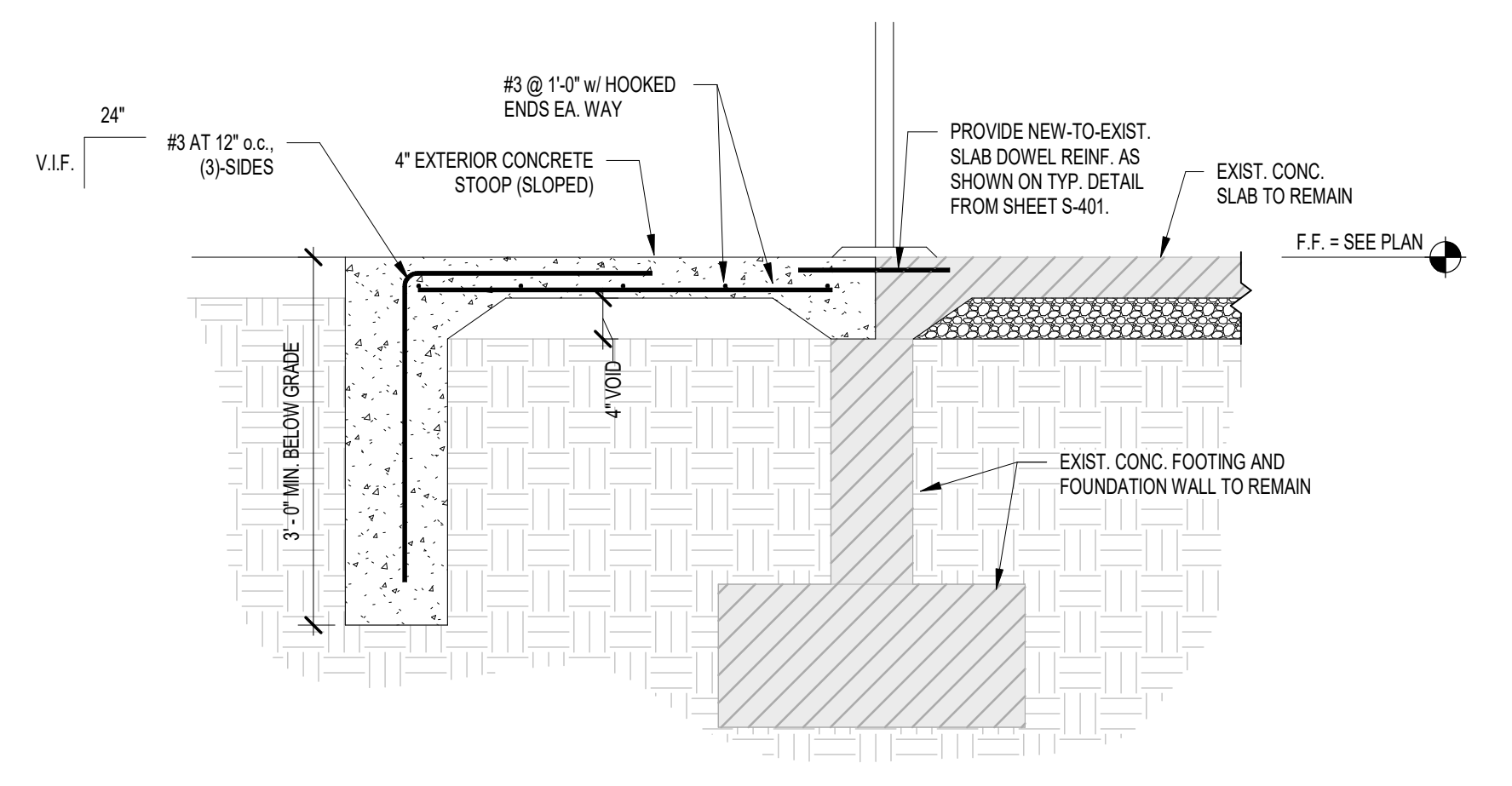
4 FOUNDATION SECTION
3/4" = 1'-0"



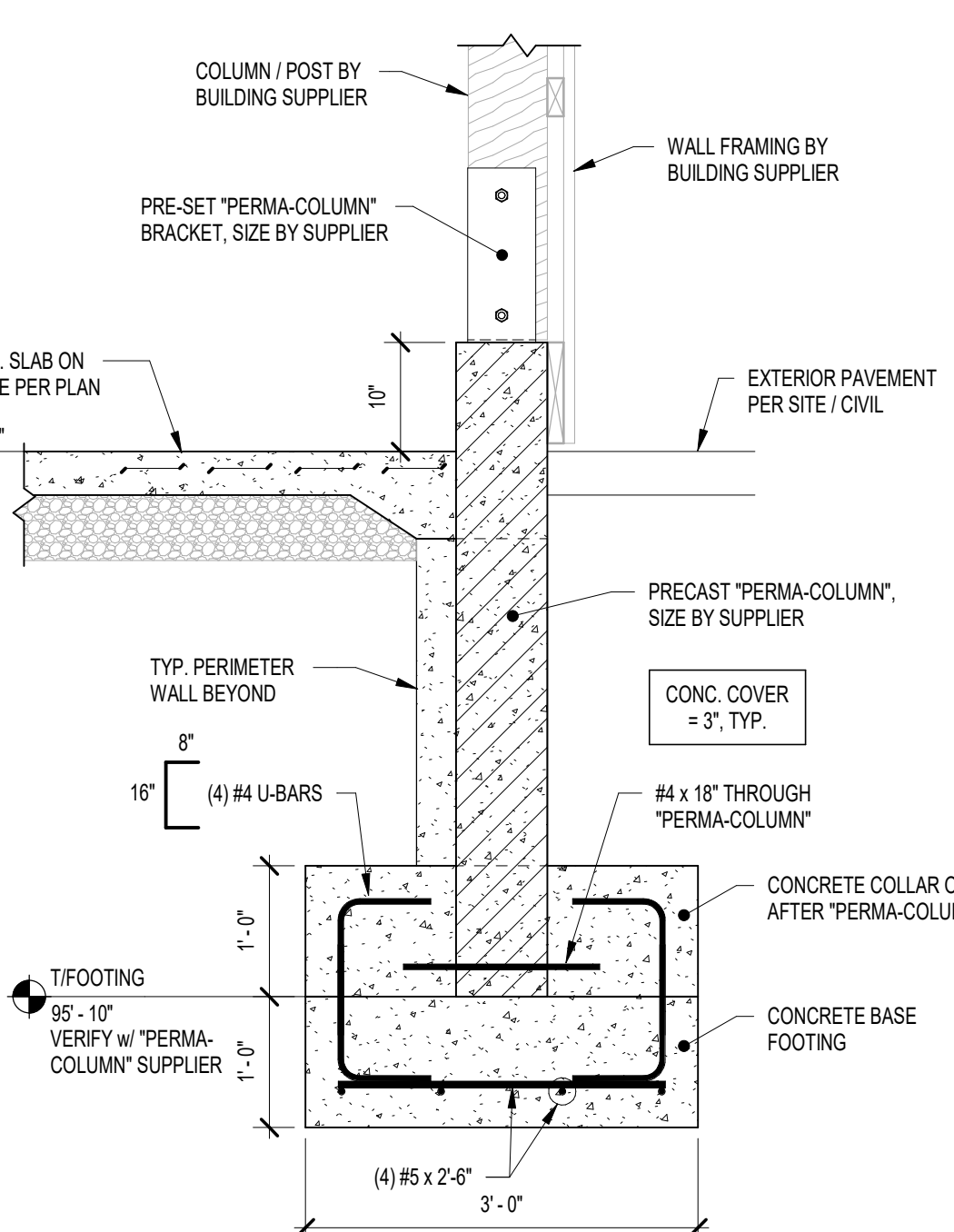
11 FOUNDATION SECTION
3/4" = 1'-0"



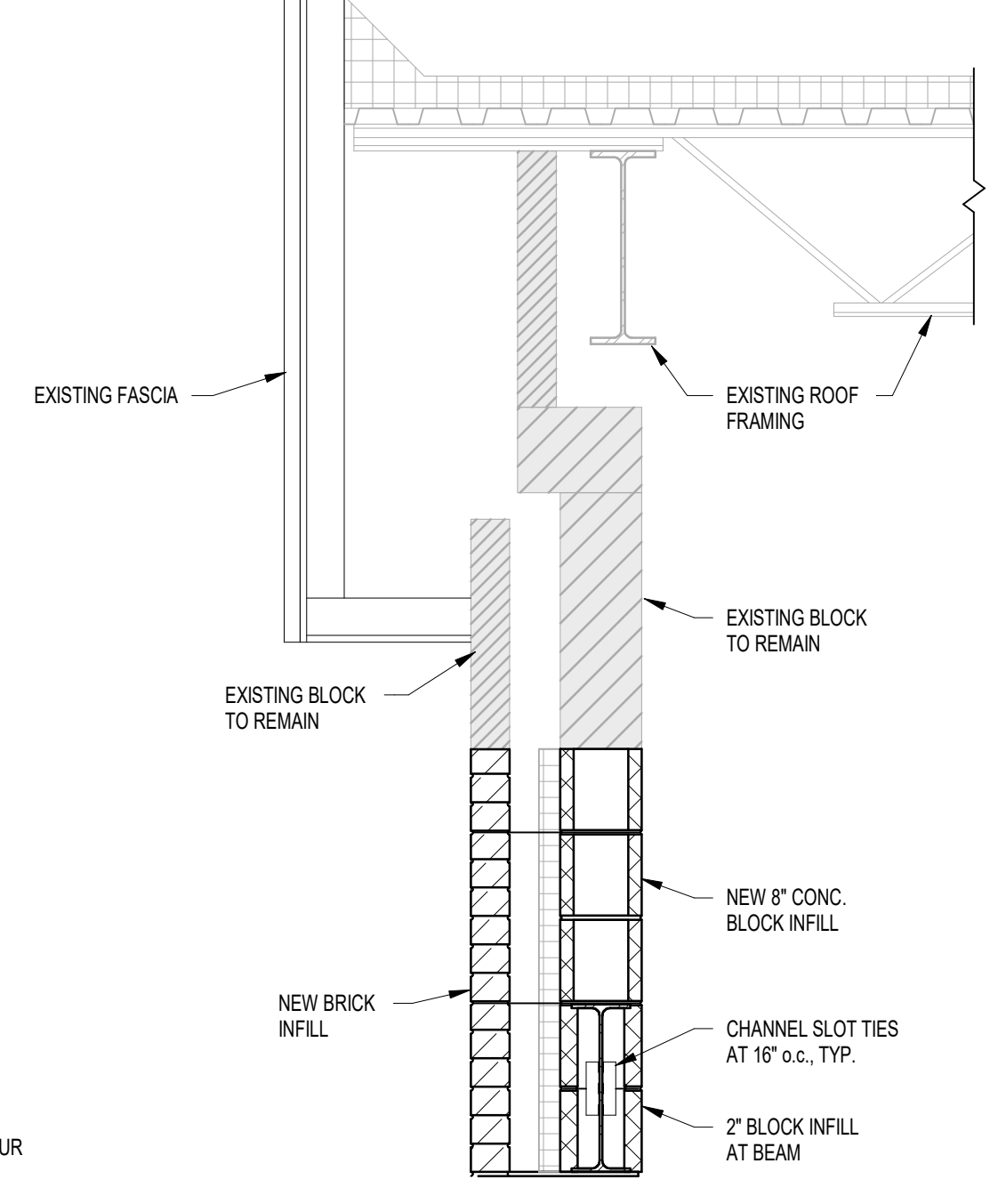
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3/4" = 1'-0"



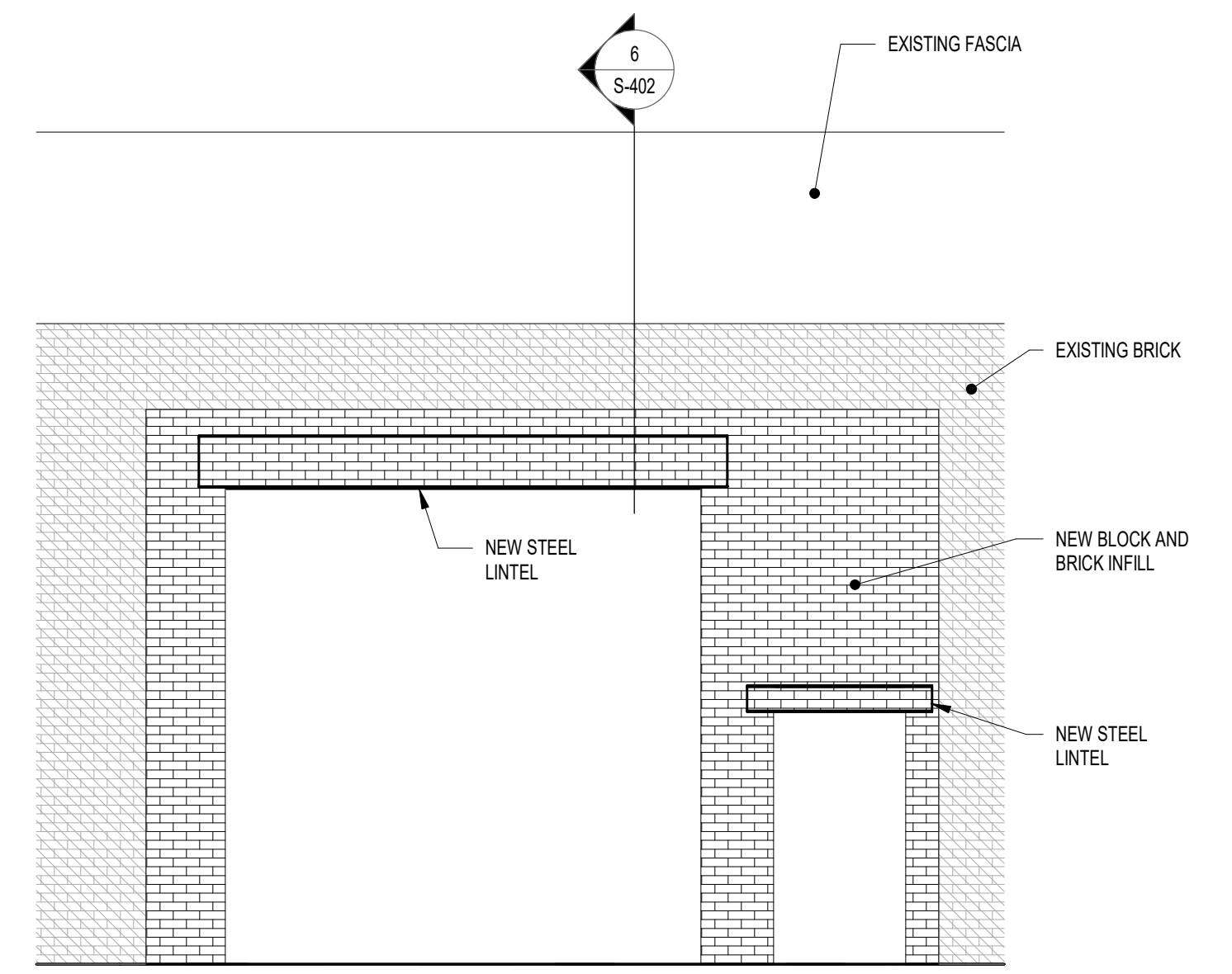
3 STRUCTURAL SECTION
3/4" = 1'-0"



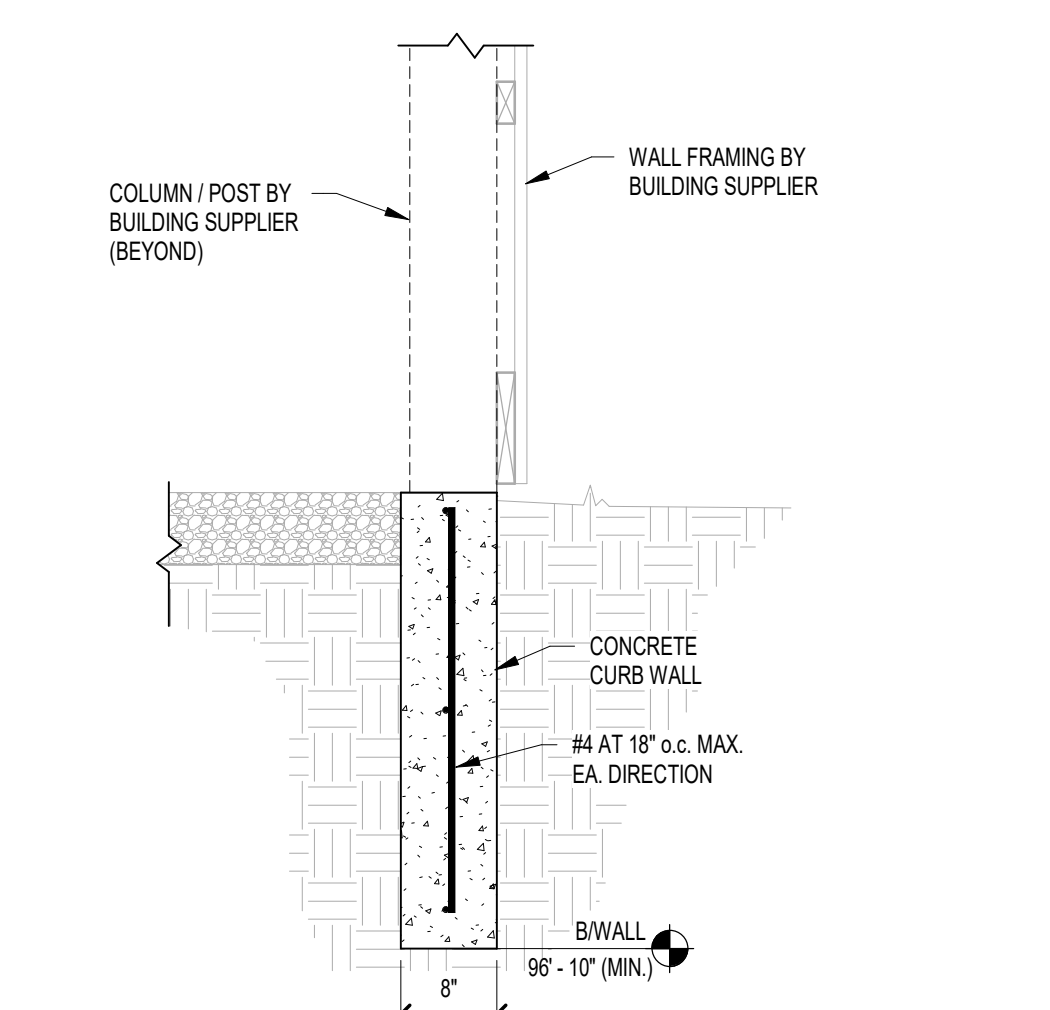
10 FOUNDATION SECTION
3/4" = 1'-0"



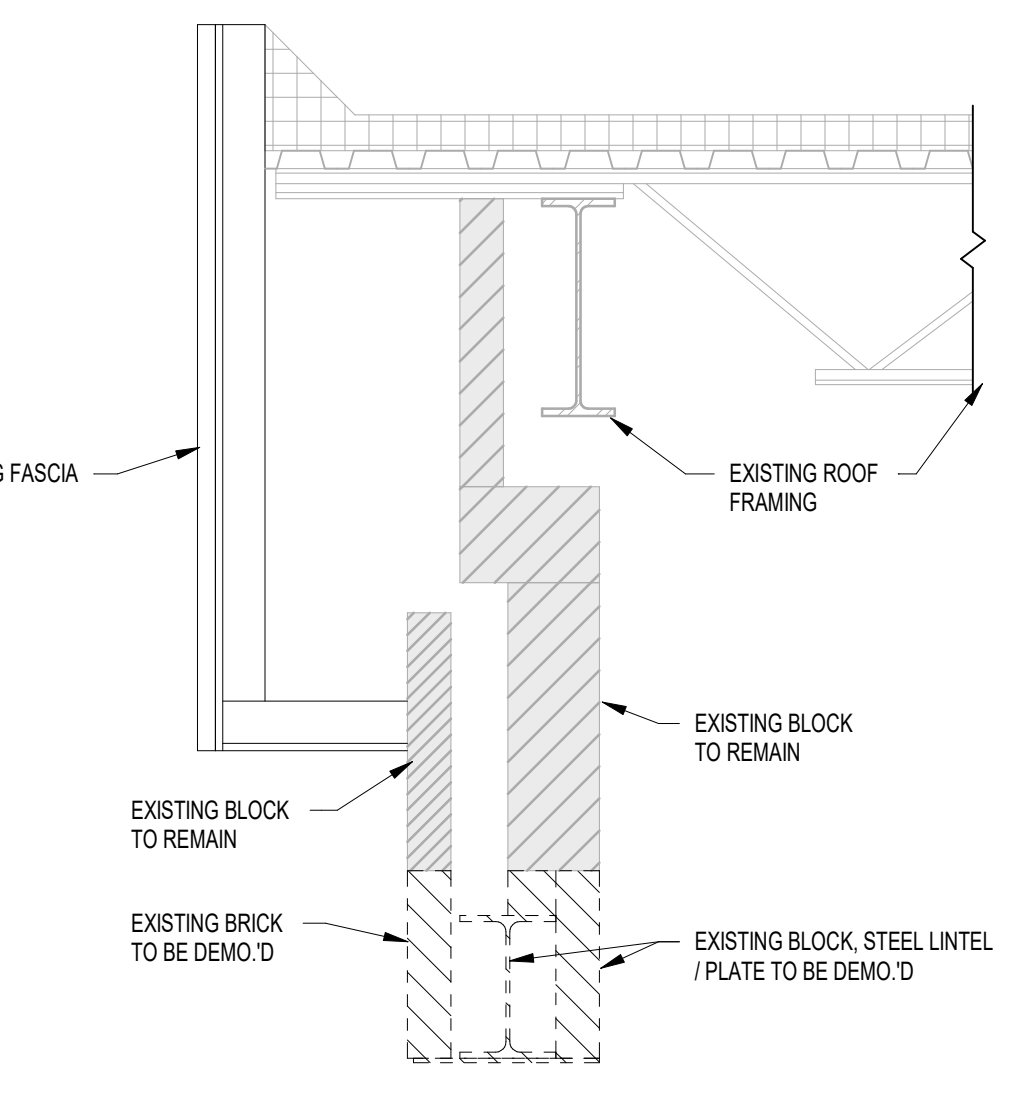
6 STRUCTURAL SECTION-NEW
3/4" = 1'-0"



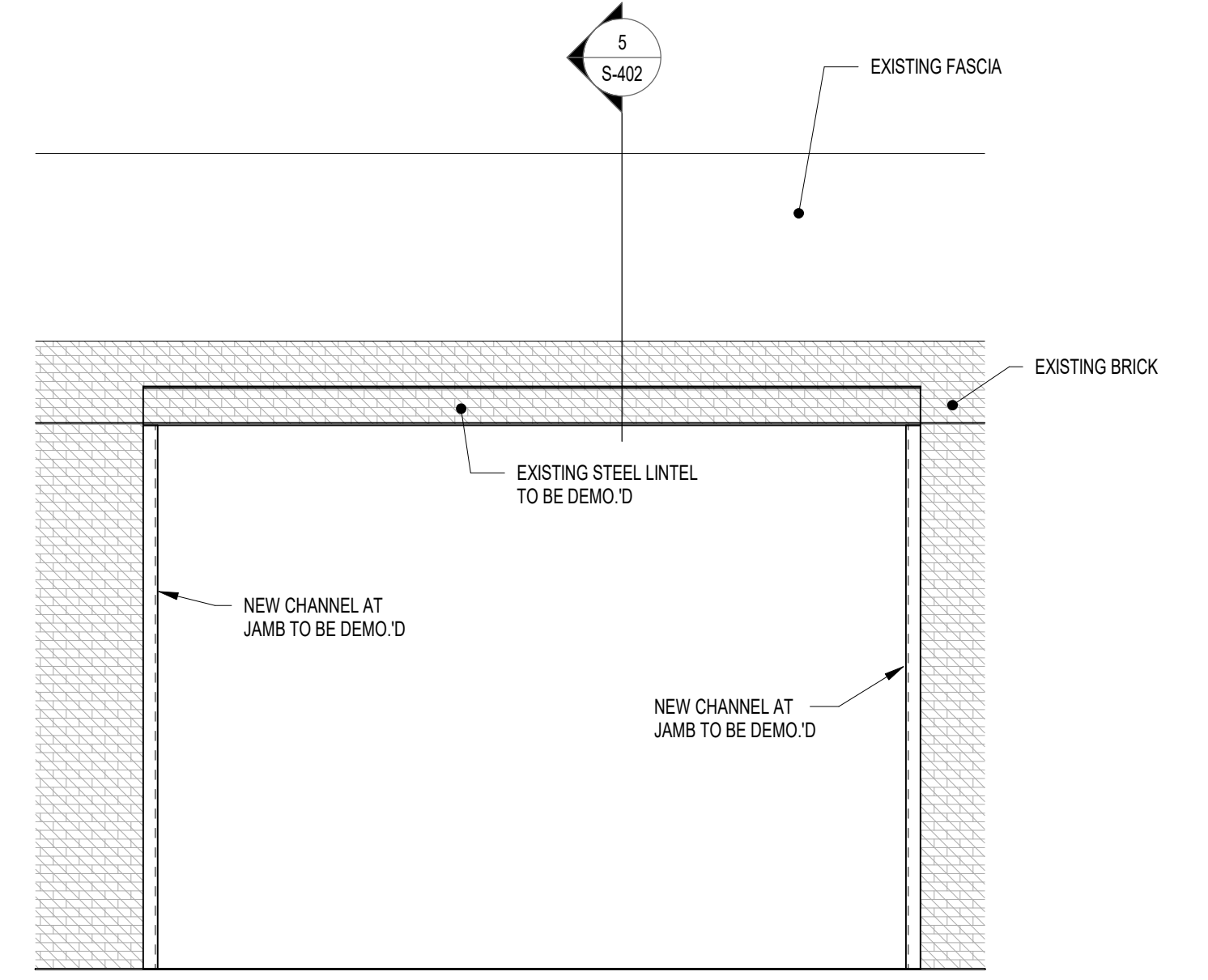
2 STRUCTURAL ELEVATION-NEW
1/4" = 1'-0"



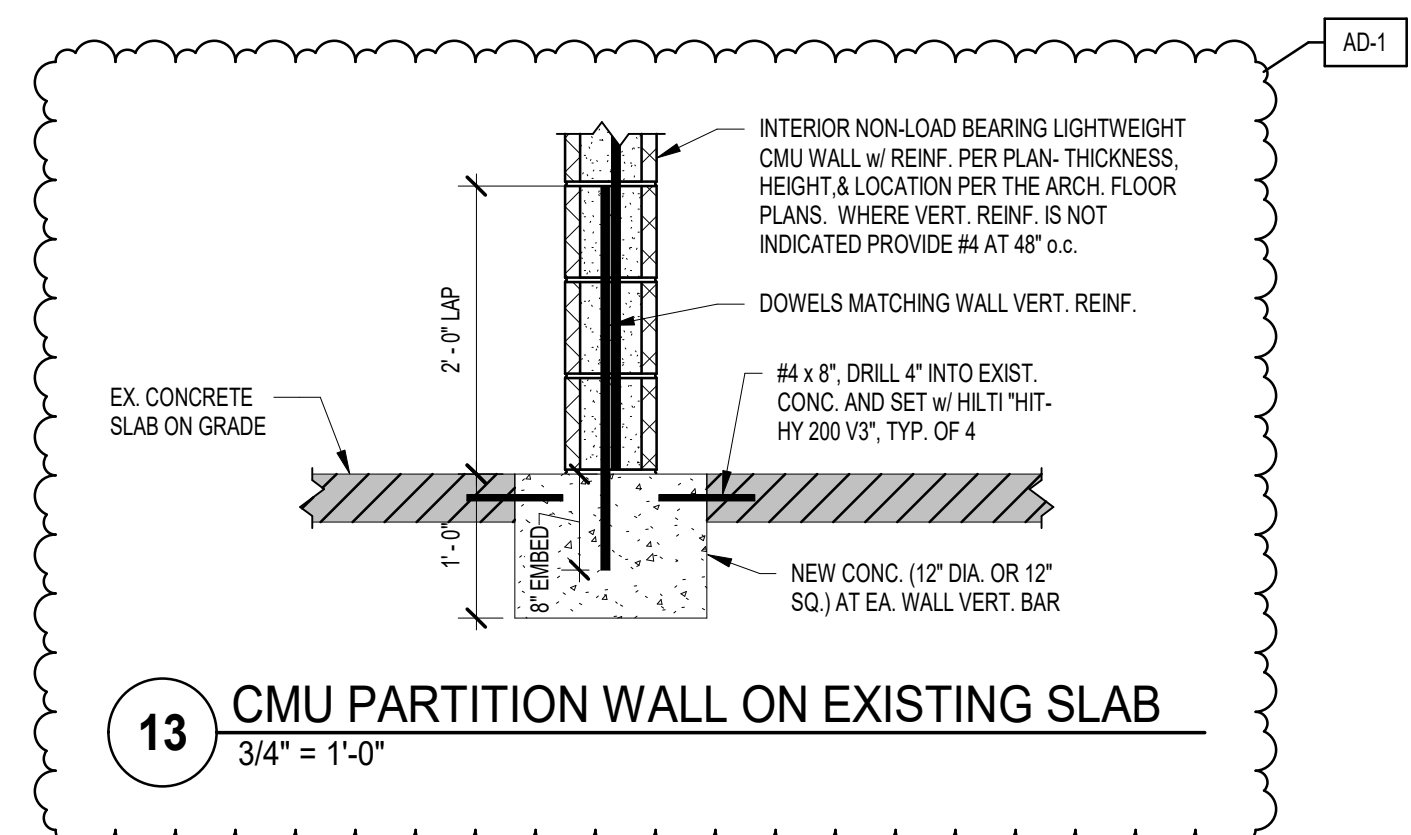
9 FOUNDATION SECTION
3/4" = 1'-0"



5 STRUCTURAL SECTION-DEMO
3/4" = 1'-0"



1 STRUCTURAL ELEVATION-DEMO
1/4" = 1'-0"



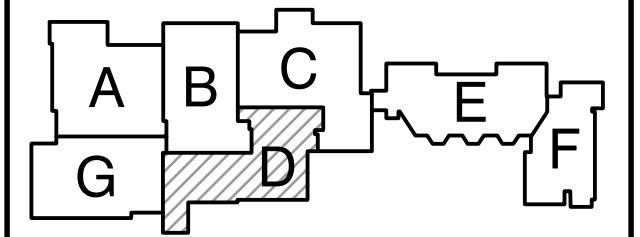
13 CMU PARTITION WALL ON EXISTING SLAB
3/4" = 1'-0"

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KEY PLAN

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PROJECT 24-120
DATE 12/20/24
COORDINATED BY JPB DTB
DRAWN BY DTS
CHECKED BY DTB

JOSEPH P. BRIGGS
REGISTERED
NO. 11600109
STATE OF INDIANA
ARCHITECT
Joseph P. Briggs

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MARK	DATE	ISSUED FOR
AD-1	01/30/25	ADDENDUM NO. 1

DRAWING
UNIT "D" ARCHITECTURAL FIRST FLOOR DEMOLITION PLAN

PROJECT
TRI-COUNTY JR-SR HS ADDITIONS & RENOVATIONS

DRAWING SHEET
D AD103

GENERAL DEMOLITION NOTES:

- A. FOR GENERAL PROJECT NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC., REFER TO G1 SERIES SHEETS.
- B. UNLESS NOTED OTHERWISE ON THIS SHEET, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL WORK INDICATED ON THIS SHEET.
- C. CONTRACTORS ENCOUNTERING EXISTING MATERIAL WHICH IS SUSPECTED OF CONTAINING ASBESTOS SHALL STOP WORK IMMEDIATELY AND NOTIFY THE OWNER AND THE OWNER'S REPRESENTATIVE.
- D. BOLD DASHED LINES INDICATE EXISTING ITEMS TO BE REMOVED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE EXTENT OF DEMOLITION WORK PRIOR TO BIDDING AND FOR COORDINATING THE EXTENT OF DEMOLITION WITH THE INSTALLATION OF NEW SYSTEMS.
- E. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION APPLICABLE TO THEIR SCOPE OF WORK AND AS REQUIRED FOR INSTALLATION OF NEW WORK WHETHER OR NOT IT IS SPECIFICALLY INDICATED OR NOTED IN THESE DOCUMENTS.
- F. REMOVE ALL ITEMS AND FINISHES MADE OBSOLETE BY NEW CONSTRUCTION. VERIFY ITEMS DEEMED OBSOLETE WITH ARCHITECT PRIOR TO REMOVAL. REFER TO NEW CONSTRUCTION DRAWINGS FOR DEMOLITION REQUIRED NOT SHOWN ON DEMOLITION PLANS.
- G. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR OFF SITE REMOVAL OF ALL DEMOLITION MATERIALS AND/OR ITEMS UNLESS NOTED OTHERWISE OR DIRECTED BY THE OWNER.
- H. PRIOR TO STARTING DEMOLITION, CONSTRUCT DUST CONTROL BARRIERS AS REQUIRED TO PREVENT THE SPREAD OF DUST INTO SURROUNDING AREAS (WHERE APPLICABLE).
- I. WHERE BUILDING EGRESS IS REQUIRED TO PASS THROUGH DEMOLITION AREAS, PROVIDE APPROVED BARRIERS, ETC. TO ENSURE SAFETY OF THE PUBLIC.
- J. RELOCATED ITEMS SHALL BE CLEANED AND PLACED IN STORAGE, PER OWNERS' DIRECTION, UNTIL ITEMS ARE READY TO BE INSTALLED. IF ITEMS ARE DAMAGED DURING DEMOLITION OR RELOCATION, THEY SHALL BE REPAIRED OR REPLACED WITH NEW ITEMS AS APPROVED.
- K. DEMOLITION SHALL BE PERFORMED WITHOUT DAMAGE TO EXISTING CONSTRUCTION TO REMAIN. WHERE SUCH DAMAGE OCCURS, PATCH, REPAIR, OR RESTORE WALLS, FLOORS, CEILING, ETC. NEATLY TO MATCH EXISTING ADJACENT SURFACE. PROVIDE SHORING, BRACING, OR SUPPORT AS REQUIRED TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING STRUCTURES.
- L. EACH CONTRACTOR IS RESPONSIBLE FOR CUTTING, PATCHING, AND DISCONNECTION OF ITEMS APPLICABLE TO THEIR SCOPE OF WORK. WHERE EXISTING SERVICES ARE ABANDONED, CAP AT LEAST 1" BEHIND NEW FINISHES AND/OR EXISTING SURFACE AND PATCH AS REQUIRED TO RECEIVE NEW FINISHES OR MATCH EXISTING FINISH.
- M. ON WALLS THAT ARE TO RECEIVE NEW FINISHES, REMOVE AND REINSTALL EXISTING EQUIPMENT TO REMAIN AS REQUIRED FOR INSTALLATION OF NEW FINISHES.
- N. WHERE WALLS OR BULKHEADS ARE REMOVED, PATCH FLOORS, CEILINGS, AND ADJACENT WALLS AS REQUIRED TO MATCH EXISTING OR RECEIVE NEW FINISHES WHERE APPLICABLE. WHERE FINISHING DUCTWORK, PIPING, OR EQUIPMENT IS REMOVED, PATCH OPENINGS AND/OR SURFACES AS REQUIRED TO MATCH ADJACENT SURFACES OR RECEIVE NEW FINISHES WHERE APPLICABLE. REFER TO ALL DEMOLITION DRAWINGS FOR EXTENT OF ITEMS TO BE REMOVED.
- O. OVER CUT NEW OPENINGS IN EXISTING WALL AS REQUIRED FOR NEW CONSTRUCTION. PATCH AND REPAIR WALLS AS REQUIRED TO MATCH EXISTING. WHERE APPLICABLE, TOOTH NEW MASONRY INTO EXISTING MASONRY.
- P. ALL EQUIPMENT AND FURNITURE WHICH ARE CONSIDERED LOOSE FURNISHING SHALL BE REMOVED BY THE OWNER PRIOR TO DEMOLITION.
- Q. MASONRY WALLS TO BE REMOVED SHALL BE REMOVED TO A POINT 2" MINIMUM BELOW THE EXISTING FLOOR SLAB UNLESS SETTING ON A SLAB OR SPECIFICALLY NOTED OTHERWISE. PATCH WITH NEW CONCRETE TO BE FLUSH WITH THE EXISTING FLOOR SLAB.
- R. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR GENERAL REVIEW OF DEMOLITION NOTES AND GENERAL DEMOLITION NOTES AS THEY APPLY TO THEIR SCOPE OF WORK.
- S. THE OWNER SHALL RESERVE THE RIGHT TO CLAIM ANY MATERIALS THAT ARE BEING DEMOLISHED PRIOR TO THE CONTRACTOR DISPOSING OF THEM OFF SITE.
- T. REFER TO THE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND TECHNOLOGY DOCUMENTS FOR COMPLETE SCOPE OF DEMOLITION WORK.
- U. "FLOORING" DENOTES FLOOR COVERING MATERIALS INCLUDING BACKING, ADHESIVES, AND BASES DOWN TO BUT EXCLUSIVE OF FLOOR SLABS AND STRUCTURAL MATERIALS UNLESS NOTED OTHERWISE.
- V. DEMOLITION IS TO FOLLOW ESTABLISHED CONSTRUCTION SEQUENCE. REFER TO SPECIFICATIONS AND DRAWINGS FOR REQUIREMENTS AND SPECIAL CONDITIONS.
- W. WHERE APPLICABLE SALVAGE EXISTING MASONRY (FACE BRICK, GLAZED CMU, FACING TILE) AS REQUIRED FOR PATCHING AND INFILL IN RENOVATED AREAS WHERE INDICATED. DISCARD UNUSED PORTION OFF SITE.

DEMOLITION LEGEND:

(ALL PLAN NOTES MAY NOT BE INDICATED ON THIS SHEET.)

INDICATES AREA WHERE NO WORK IS TO OCCUR.

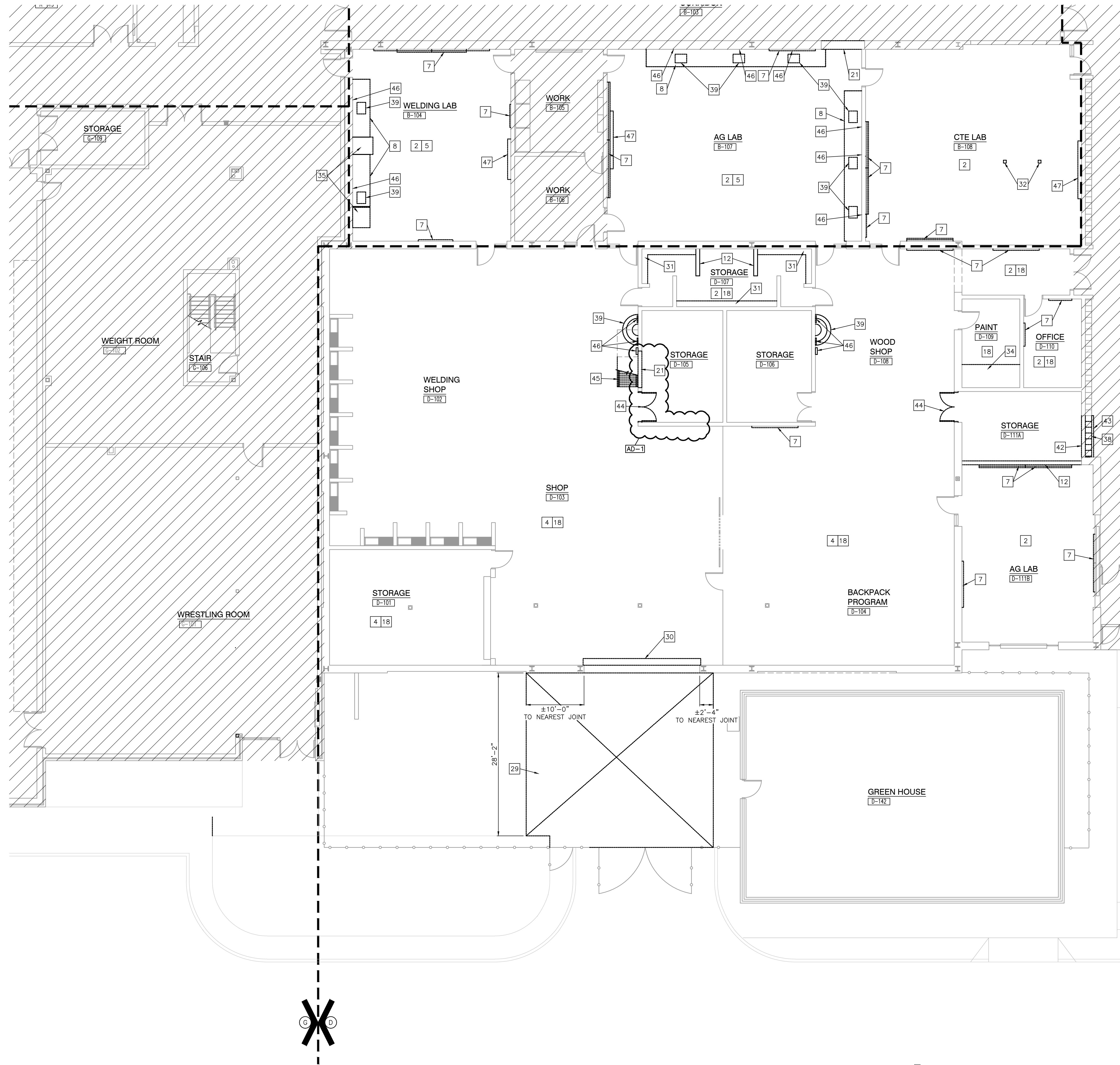
INDICATES APPROXIMATE AREA OF EXISTING CONCRETE SLAB TO BE REMOVED IN ITS ENTIRETY. REFER TO STRUCTURAL DRAWINGS FOR NEW BACK FILLING AND NEW CONCRETE SLAB INFILL.

DEMOLITION PLAN NOTES:

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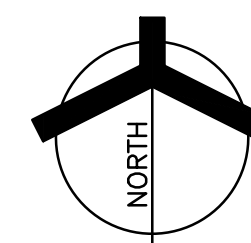
- 1 REMOVE HOOKS IN THEIR ENTIRETY. PREPARE WALL FOR NEW HOOKS AND FINISHES.
- 2 REMOVE ACOUSTICAL BOARD CEILING SYSTEM IN ITS ENTIRETY.
- 3 REMOVE CARPET FLOORING SYSTEM IN ITS ENTIRETY. PREPARE FLOOR FOR NEW FINISHES.
- 4 REMOVE AND REINSTALL ALL WALL ACCESSORIES AS REQUIRED FOR NEW FINISHES.
- 5 REMOVE VCT/SHEET VINYL FLOORING SYSTEM IN ITS ENTIRETY. PREPARE FLOOR FOR NEW FINISHES.
- 6 REMOVE CERAMIC OR PORCELAIN TILE FLOORING SYSTEM IN ITS ENTIRETY. PREPARE FLOOR FOR NEW FINISHES.
- 7 REMOVE TACK BOARD, MARKER BOARD OR CHALKBOARD IN THEIR ENTIRETY. PATCH WALLS AS REQUIRED TO RECEIVE NEW FINISHES. SMARTBOARDS, TECHNOLOGY TO BE REMOVED BY OWNER. CONTRACTOR TO COORDINATE.
- 8 REMOVE MILLWORK/ CASEWORK IN ITS ENTIRETY. PREP AREA TO RECEIVE NEW FINISHES.
- 9 MODIFY EXISTING OPENING IN GYPSUM CEILING AS REQUIRED FOR NEW LIGHTS. REFER TO ELECTRICAL.
- 10 REMOVE AND REINSTALL PLUMBING FIXTURE AS REQUIRED FOR NEW FINISHES.
- 11 REMOVE TOILET/ SHOWER PARTITIONS AND REINSTALL AS REQUIRED FOR FINISHES.
- 12 REMOVE MASONRY WALL. PATCH AND REPAIR FLOOR AND WALL AS REQUIRED TO ACCEPT NEW FINISHES.
- 13 REMOVE DOOR AND HARDWARE. HOLLOW METAL FRAME TO REMAIN.
- 14 BASE BID: PREPARE LOCKERS AS REQUIRED TO BE PAINTED. ALTERNATE: DEMO LOCKERS AND PREPARE CONCRETE BENCH AS REQUIRED FOR NEW LOCKERS.
- 15 CLEAN EXISTING WALL TILE TO MAKE LOOK LIKE NEW.
- 16 CLEAN EXISTING FLOOR TILE TO MAKE LOOK LIKE NEW.
- 17 PATCH, REPAIR, SCRAPE PEELING PAINT ON GYPSUM CEILING AS REQUIRED FOR NEW IF'S.
- 18 CLEAN CONCRETE FLOORING SYSTEM TO MAKE LIKE NEW.
- 19 REMOVE WALL COVERING IN ITS ENTIRETY. PREPARE WALL FOR NEW FINISHES.
- 20 REMOVE AND REINSTALL CEILING MOUNTED MECHANICAL AS REQUIRED FOR NEW CONSTRUCTION.
- 21 REMOVE PORTION OF MASONRY WALL AS REQUIRED TO INSTALL NEW DOOR.
- 22 REMOVE ALUMINUM STOREFRONT FRAMING IN ITS ENTIRETY.
- 23 CLEAN EXISTING FLOOR DRAIN TO MAKE LIKE NEW.
- 24 SAND AND PREP EXISTING WOOD BENCHES AS REQUIRED TO REFINISH.
- 25 REMOVE GYPSUM BOARD BULKHEAD IN ITS ENTIRETY.
- 26 REMOVE CERAMIC TILE WALL SYSTEM IN ITS ENTIRETY. PREPARE EXISTING WALL AS REQUIRED TO RECEIVE NEW FINISHES.
- 27 CLEAN QUARRY TILE FLOORING SYSTEM TO MAKE LIKE NEW.
- 28 REMOVE CENTRAL GANG SHOWER POLE IN ITS ENTIRETY. REFER TO PLUMBING.
- 29 REMOVE CONCRETE SIDEWALK SECTION. REFER TO CIVIL DRAWINGS.
- 30 REMOVE OVERHEAD DOOR IN ITS ENTIRETY. PATCH AND REPAIR WALL.
- 31 REMOVE LOCKER BASE IN ITS ENTIRETY. PATCH CONCRETE FLOOR FOR NEW CONSTRUCTION.
- 32 REMOVE POWER POLES IN ITS ENTIRETY. REFER TO ELECTRICAL.
- 33 REMOVE AND RELOCATE EXISTING AI PHONE. REFER TO ELECTRICAL AND TECHNOLOGY DRAWINGS.
- 34 REMOVE PAINT BOOTH MECH SYSTEM IN ITS ENTIRETY. REFER TO MECH DRAWINGS.
- 35 REMOVE AND RELOCATED APPLIANCE AS REQUIRED. VERIFY WITH OWNER.
- 36 REMOVE CHAIR RAIL IN ALL WALLS. PREP AREA FOR NEW CHAIR RAIL.
- 37 REMOVE AND REINSTALL LOCKERS IN ORDER TO INSTALL NEW WOOD BENCH.

- 38 DEMO EXISTING LOCKERS AND BASE IN THEIR ENTIRETY AS REQUIRED FOR NEW DOOR OPENING, SALVAGE TRIM TO FINISH OFF LOCKERS TO REMAIN. PATCH AND REPAIR FLOOR TO MAKE LIKE NEW.
- 39 REMOVE SINK AND FAUCET AND PREPARE FOR NEW FINISHES, CASEWORK, AND PLUMBING FIXTURE. REFER TO PLUMBING DRAWINGS.
- 40 CUT ACCESS INTO SOFFIT TO ACCESS POWER AND DATA FOR AI PHONE, CARD READER. PATCH AND REPAIR TO BE LIKE NEW.
- 41 REMOVE GYPSUM CEILING IN ITS ENTIRETY AS REQUIRED FOR NEW PLUMBING. REFER TO PLUMBING DRAWINGS.
- 42 REMOVE EXISTING METAL STUD AND PLASTER WALL AS REQUIRED TO THE EXTENT OF WHERE THE LOCKERS WERE REMOVED FOR NEW DOOR OPENING. PATCH AND REPAIR EXISTING WALL TO MAKE LIKE NEW.
- 43 REMOVE EXISTING PLASTER BULKHEAD IN ITS ENTIRETY TO THE EXTENT OF BULKHEAD TO MAKE LIKE NEW.
- 44 REMOVE WOOD DOOR AND HOLLOW METAL FRAME. REPAIR ADJACENT WALL AND FLOOR AS REQUIRED FOR NEW CMU INFILL AND FINISHES.
- 45 REMOVE EXISTING METAL SHIPS LADDER IN ITS ENTIRETY. CONCRETE LANDING TO REMAIN. PATCH AND REPAIR LANDING, FLOOR, AND ADJACENT WALL AS REQUIRED FOR NEW LADDER AND FINISHES.
- 46 REMOVE EXISTING MIRRORS, PAPER TOWEL DISPENSERS, AND SOAP DISPENSERS. REPAIR WALL FOR NEW FINISHES AND ACCESSORIES.
- 47 SMARTBOARD TECHNOLOGY TO BE REMOVED AND REINSTALLED BY OWNER. CONTRACTOR TO COORDINATE WITH OWNER.



UNIT "D" ARCHITECTURAL SECOND FLOOR DEMOLITION PLAN

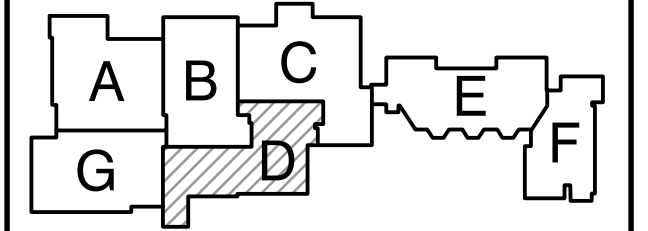
SCALE: 1/8" = 1'-0"





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KEY PLAN

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PROJECT
24-120
DATE
12/20/24
COORDINATED BY
JPB DTB
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DTS
CHECKED BY
DTB

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DRAWING
UNIT "D" ARCHITECTURAL FIRST FLOOR PLAN

PROJECT
TRI-COUNTY JR-SR HS ADDITIONS & RENOVATIONS

DRAWING SHEET
D A-103

GENERAL PLAN NOTES:

- A. FOR GENERAL PROJECT NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC., REFER TO C SERIES SHEETS.
- B. PLAN DIMENSIONS TO MASONRY WALLS ARE TO FACE OF ROUGH MASONRY. PLAN DIMENSIONS TO STUD WALLS ARE TO FACE OF FINISHED GYPSUM BOARD OR PLASTER. PLAN DIMENSIONS TO STUD WALLS WITH CERAMIC TILE FINISH ARE TO THE FACE OF TILE BACKER BOARD.
- C. ALL CMU WALLS THAT DO NOT LAY OUT IN FULL OR HALF LENGTHS SHOULD BE BALANCED SO AS NOT TO HAVE ANY PIECES LESS THAN 4" IN SIZE EXPOSED TO VIEW.
- D. MASONRY WALLS BEARING ON A THICKENED SLAB AT SLAB DEPRESSIONS REQUIRE CUT MASONRY UNITS SO THAT COURSING BEGINS AT THE FLOOR LINE.
- E. THE BASE FIRST FLOOR ELEVATION INDICATED FOR THE PROJECT IS 100'-0". REFER TO SITE PLAN FOR CORRELATION TO USGS DATUM.
- F. HINGE SIDE OF DOOR JAMB AT CMU WALLS SHALL BE LOCATED 8" MINIMUM FROM ADJACENT WALL AND HINGE SIDE OF DOOR JAMB AT GYPSUM BOARD WALLS SHALL BE LOCATED 4" MINIMUM FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- G. PROVIDE WOOD BLOCKING (OR METAL STRAPPING WHERE APPLICABLE) AS REQUIRED WITHIN METAL STUD WALLS FOR WALL MOUNTED ITEMS.
- H. REFER TO LIFE SAFETY PLANS REGARDING FIRE RATED WALL LOCATIONS AND OTHER CODE INFORMATION.
- I. INTERIOR CMU WALLS ARE TO BE RUNNING BOND UNLESS NOTED OTHERWISE.
- J. ALL EXPOSED CONCRETE MASONRY UNITS (CMU) CORNERS ARE TO BE BULLNOSED, EXCEPT AT MASONRY BULKHEADS AND EXTERIOR WINDOW JAMBS.
- K. WHERE NEW CMU WALLS INTERSECT EXISTING CMU WALLS AT A CORNER OR ARE ALIGNED WITH EXISTING CMU WALLS, TOOTH NEW CMU INTO EXISTING CMU UNLESS NOTED OTHERWISE.
- L. REFER TO DEMOLITION SHEETS FOR ADDITIONAL PATCHING AND REPAIR WORK.
- M. REFER TO FINISH PLANS FOR INTERIOR ELEVATIONS, LOCATION AND EXTENT OF FINISHED FLOOR AND WALL MATERIAL.
- N. REFER TO EQUIPMENT PLANS FOR CASEWORK, DISPLAY BOARDS, LOCKERS, AND OTHER ADDITIONAL TYPICAL EQUIPMENT NOTES AND INFORMATION.
- O. REFER TO EQUIPMENT PLANS FOR REFERENCE TO ENLARGED TOILET ROOM PLANS AND TOILET ACCESSORIES.

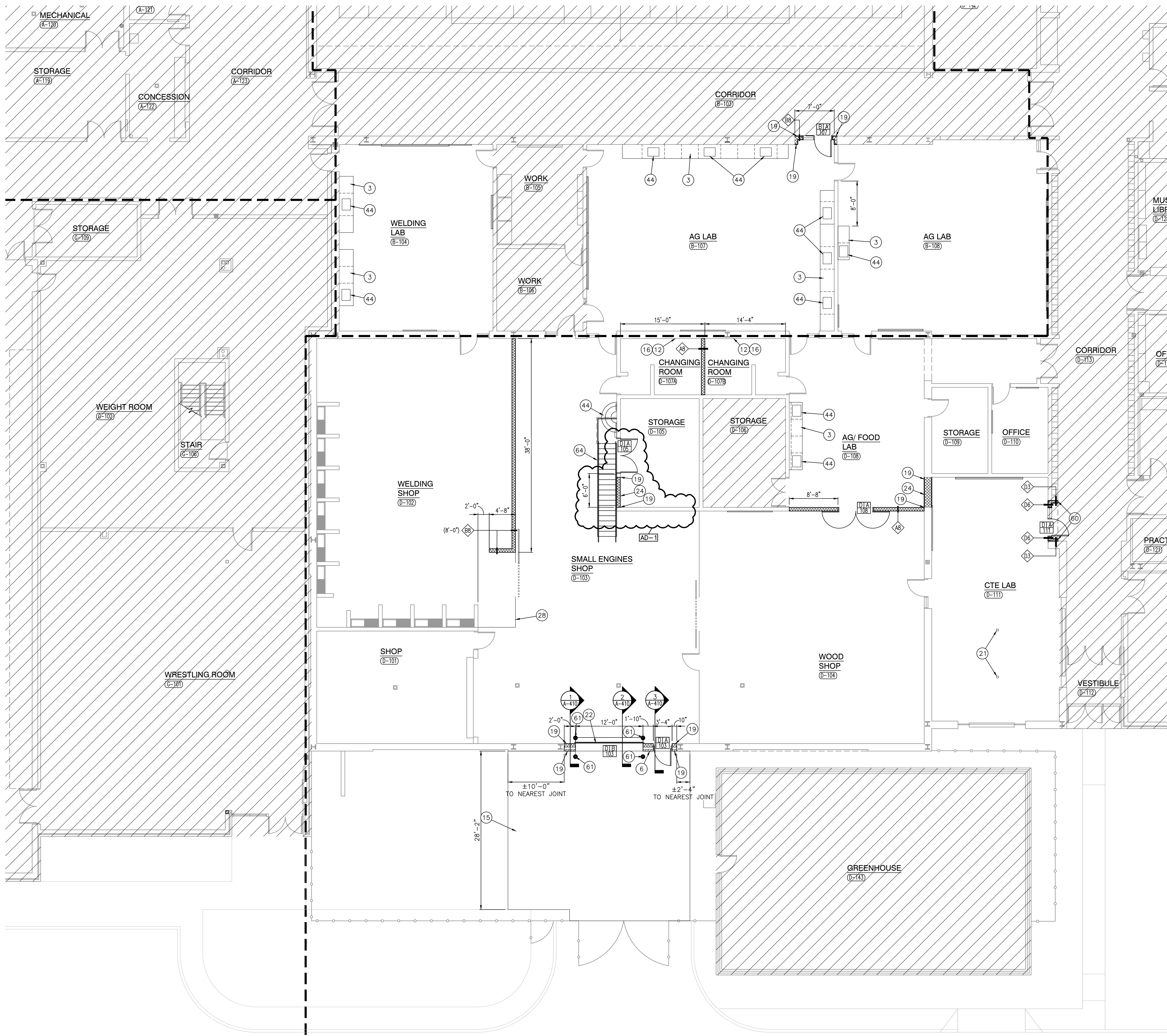
PLAN LEGEND:

- ◻ INDICATES WINDOW SYSTEM. REFER TO A-600 SERIES DRAWINGS FOR ELEVATIONS AND DETAILS.
- ◻ INDICATES DOOR, STOREFRONT, OR CURTAIN WALL SYSTEM. REFER TO A-600 SERIES DRAWINGS FOR ELEVATIONS AND DETAILS.
- ◻ INDICATES WALL TYPES REFER TO G-201 FOR WALL THICKNESS, HEIGHT, AND COMPOSITION.

PLAN NOTES:

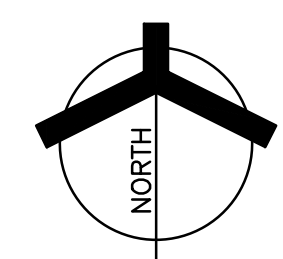
(ALL PLAN NOTES MAY NOT BE INDICATED ON THIS SHEET.)

- 1 NEW ALUMINUM STOREFRONT
- 2 DASHED LINE INDICATES TYPICAL BULKHEAD, REFER TO SECTIONS AND REFLECTED CEILING PLANS. (ALL BULKHEADS MAY NOT BE INDICATED ON THIS PLAN)
- 3 CASEWORK AND/OR MILLWORK (TYPICAL), REFER TO EQUIPMENT PLANS.
- 4 DISPLAY/TV MONITOR (TYP), REFER TO EQUIPMENT PLANS.
- 5 PUSH PAD FOR ADA OPERATOR, REFER TO ELECTRICAL DRAWINGS.
- 6 CARD/FOB READER, REFER TO ELECTRICAL/TECHNOLOGY DRAWINGS.
- 7 SALVAGED AI DEVICE, REFER TO ELECTRICAL/TECHNOLOGY DRAWINGS.
- 8 CONCRETE STOOP/ VOID SLAB. REFER TO STRUCTURAL.
- 9 CHAIN LINK FENCE, REFER TO CIVIL DRAWINGS.
- 10 CABINET HEATER, REFER TO MECHANICAL DRAWINGS.
- 11 FLOOR DRAIN, REFER TO PLUMBING DRAWING.
- 12 WHERE CONNECTING CMU WALL HAS BEEN REMOVED, PATCH WALL TO MATCH EXISTING ADJACENT WALL SURFACES (TYPICAL).
- 13 PROVIDE NEW CONCRETE SIDEWALK. COORDINATE WITH CIVIL.
- 14 WHERE CONNECTING GYPSUM WALL HAS BEEN REMOVED, PATCH WALL TO MATCH EXISTING ADJACENT WALL SURFACES (TYPICAL).
- 15 NEW CONCRETE SLAB. REFER TO CIVIL DRAWINGS.
- 16 PATCH CONCRETE SLAB WHERE WALLS WERE REMOVED.
- 17 CLEAN AND THEN PAINT EXPOSED STRUCTURE CEILING IN ITS ENTIRETY.
- 18 BASE BID: PAINT EXISTING LOCKERS
ALTERNATE: NEW METAL LOCKERS
- 19 TOOTH IN NEW MASONRY INTO EXISTING AS REQUIRED TO MATCH EXISTING MASONRY SIZE AND LAYOUT.
- 20 PATCH END OF WALL AND PREP FOR NEW FINISH.
- 21 TELE/POWER POLE. REFER TO ELECTRICAL.
- 22 NEW OVERHEAD DOOR, FRAME AND HARDWARE, REFER TO A-601
- 23 NOT USED
- 24 INFILL EXIST MASONRY, MATCH EXISTING CMU SIZE AND LAYOUT
- 25 WALL MOUNTED SHOWER HEAD. REFER TO PLUMBING.
- 26 INFILL WALL OPENING WITH CMU, SKIN COAT CMU FOR SMOOTH LEVEL FINISH MATCHING EXISTING ADJACENT WALLS. PREP TO RECEIVE NEW FINISHES.
- 27 NEW WOOD BENCH
- 28 NEW FENCE WITH 6' SLIDING GATE. REFER TO SPECIFICATIONS
- 29 ALUMINUM DOWNSPOUT AND BOOT CONNECTED INTO STORM SEWER
- 30 ALUMINUM FASCIA
- 31 ALUMINUM GUTTER
- 32 METAL PANEL SIDING BY BUILDING MANUFACTURER
- 33 METAL PANEL CEILING BY BUILDING MANUFACTURER ATTACHED TO BOTTOM OF TRUSSES.
- 34 METAL PANEL INTERIOR WALLS BY BUILDING MANUFACTURER
- 35 METAL PANEL ROOF BY BUILDING MANUFACTURER
- 36 LINE FOR GRADE
- 37 LINE FOR SHED ROOF ABOVE
- 38 COLUMN BY PRE-ENGINEERED BUILDING MANUFACTURER
- 39 7H ALUMINUM DOOR WITH ALUMINUM FRAME
- 40 12'x12' OVERHEAD DOOR
- 41 4" CONCRETE SLAB. REFER TO STRUCTURAL
- 42 GRAVEL STONE - REFER TO SPECIFICATIONS.
- 43 3 HOUR RATED 12" CMU WALL CONSTRUCTION.
- 44 NEW SINK AND FAUCET. REFER TO PLUMBING DRAWINGS
- 45 ALUMINUM DOWNSPOUT DISCHARGED ON GROUND
- 46 SLIDING WINDOW BY BUILDING MANUFACTURER
- 47 R-19 BATT INSULATION IN WALL
- 48 2'-0"W X 5'-0"H MIRROR BOTTOM MOUNTED AT 1'-4" AFF
- 49 ACCESSIBLE FACILITIES.
- 50 ACCESSIBLE FIXTURE (LAVATORY/URNAL). REFER TO PLUMBING DRAWINGS.
- 51 TOILET PAPER HOLDER. (OFCI)
- 52 SOAP DISPENSER. (OFCI)
- 53 PAPER TOWEL DISPENSER. (OFCI)
- 54 24"x24" ACCESS PANEL. MOUNT TOP OF PANEL AT 5'-4" A.F.F. COORDINATE LOCATION W/ SENSOR HEIGHT.
- 55 1'-6" W X 3'-0" H MIRROR WITH BOTTOM OF REFLECTIVE SURFACE MOUNTED AT 40"x4" F.F.
- 56 FLOOR DRAIN. REFER TO PLUMBING DRAWINGS.
- 57 R-38 INSULATION IN ATTIC.
- 58 12'x12' OVERHEAD DOOR WITH WINDOWS
- 59 4" HIGH X 6" WIDE MARKER BOARD, REFER TO MOUNTING HEIGHT DRAWING.
- 60 ALIGN END OF WALL TO EDGE OF LOCKERS
- 61 PIPE BOLLARD.
- 62 OWNER PROVIDED EQUIPMENT.
- 63 WALL TO BE 2X6 WOOD CONSTRUCTION 16" OC WITH 5/8" ABUSE RESISTANT GYPSUM BOARD (PAINTED W1). WALL TO EXTEND TO BOTTOM OF WOOD TRUSSES. GYPSUM BOARD NOT REQUIRED ON INSIDE FACE OF PLUMBING CHASES.
- 64 NEW METAL STAIR CONNECTED TO EXISTING CONCRETE LANDING.



UNIT "D" ARCHITECTURAL FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



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ADDITION AND RENOVATIONS\24-120 DRAWINGS\05
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PROJECT
TRI-COUNTY JR-SR HIGH SCHOOL - ADDITIONS AND RENOVATIONS
TRI-COUNTY SCHOOL CORPORATION
WOLCOTT, INDIANA

ENTIRE SHEET ADDED IN THIS ADDENDUM
AD-1

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PROJECT: 24-120
DATE: 12/20/24
COORDINATED BY: JPB DTB
DRAWN BY: DTS
CHECKED BY: DTB

JOSEPH P. BRIGGS
REGISTERED ARCHITECT
NO. 11600109
STATE OF INDIANA

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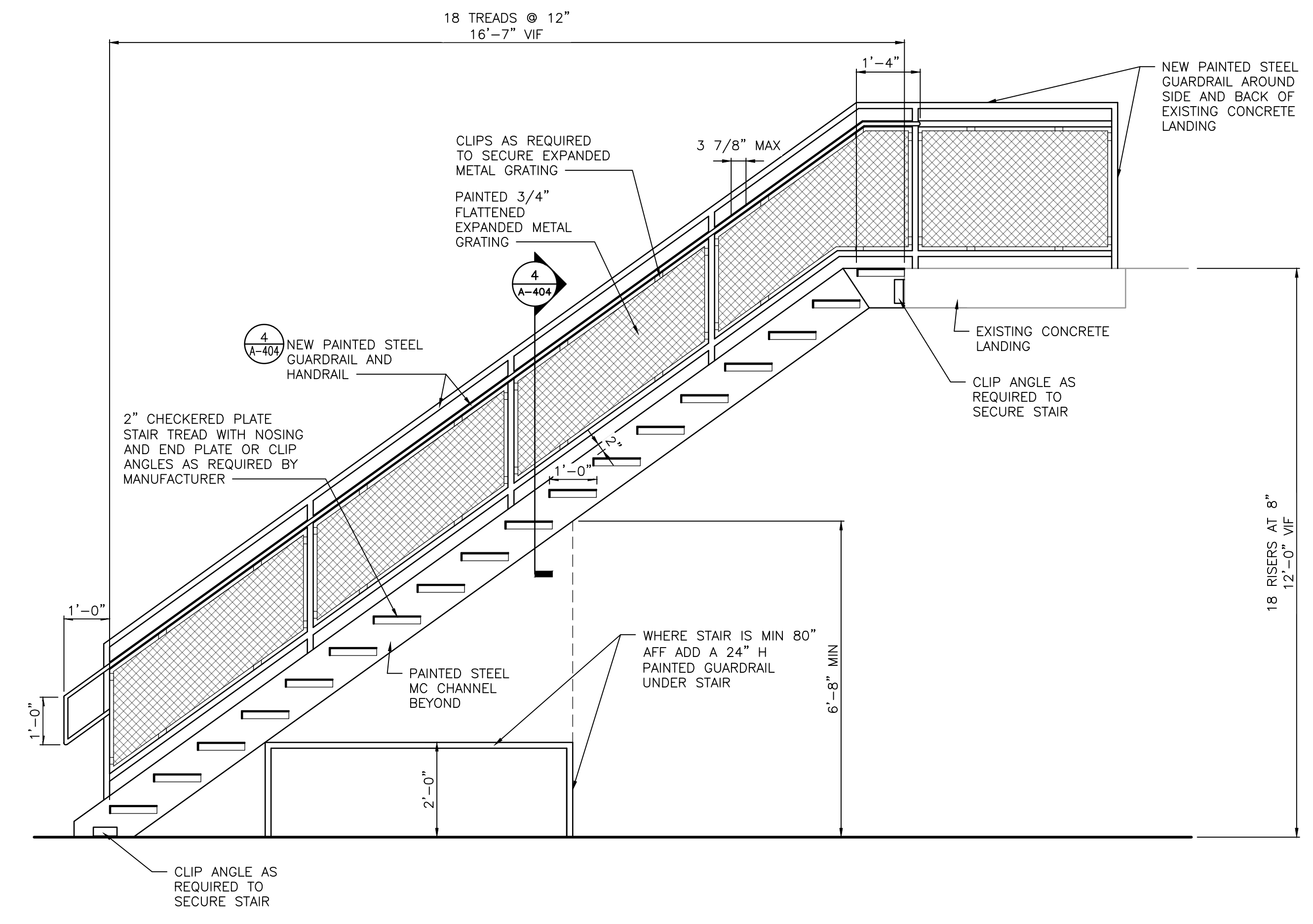
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REVISIONS	MARK	DATE	ISSUED FOR
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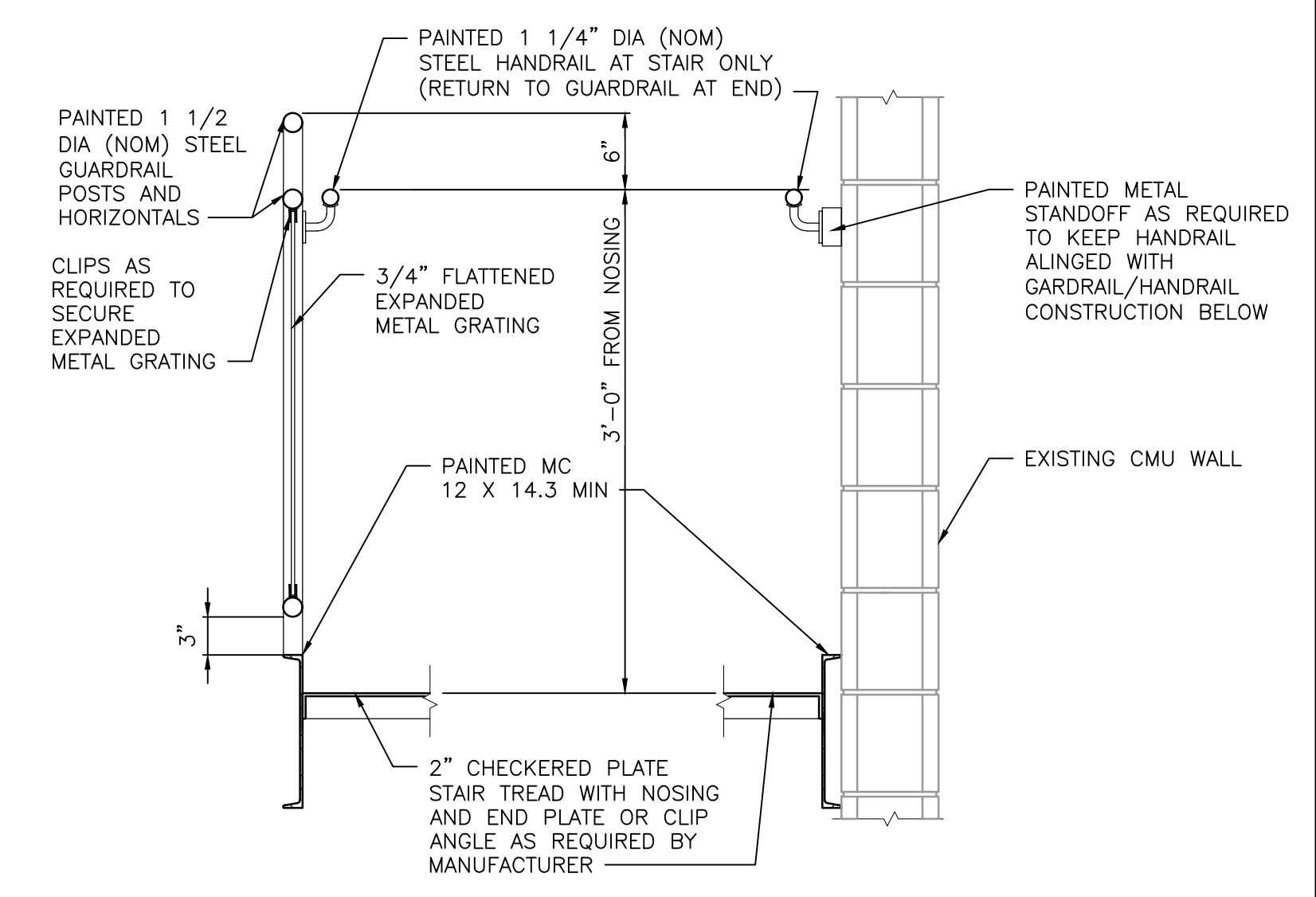
DRAWING
STAIR PLAN, SECTIONS, AND DETAILS

PROJECT
TRI-COUNTY JR-SR HS ADDITIONS & RENOVATIONS

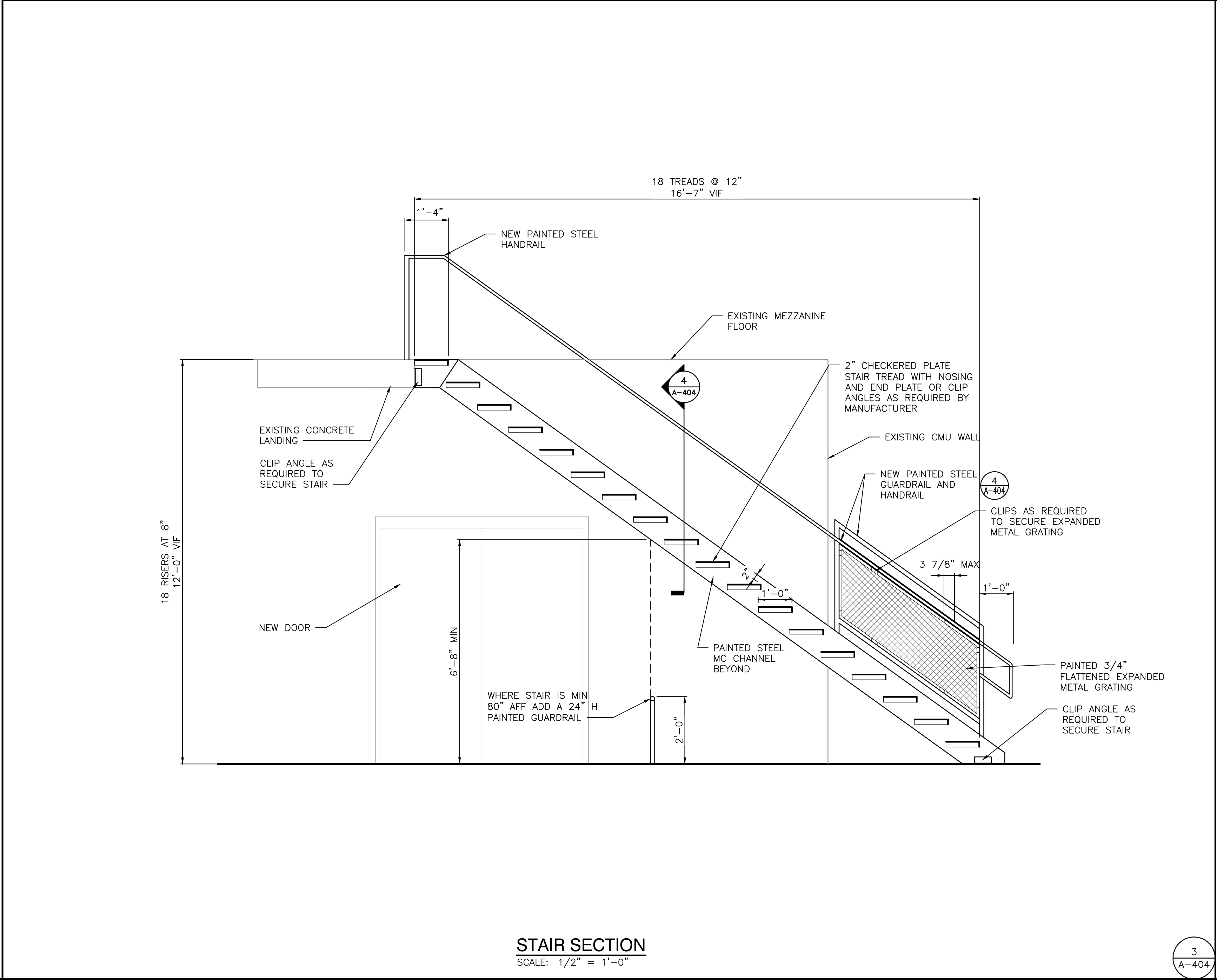
GIBRALTAR DESIGN SHEET
A-404



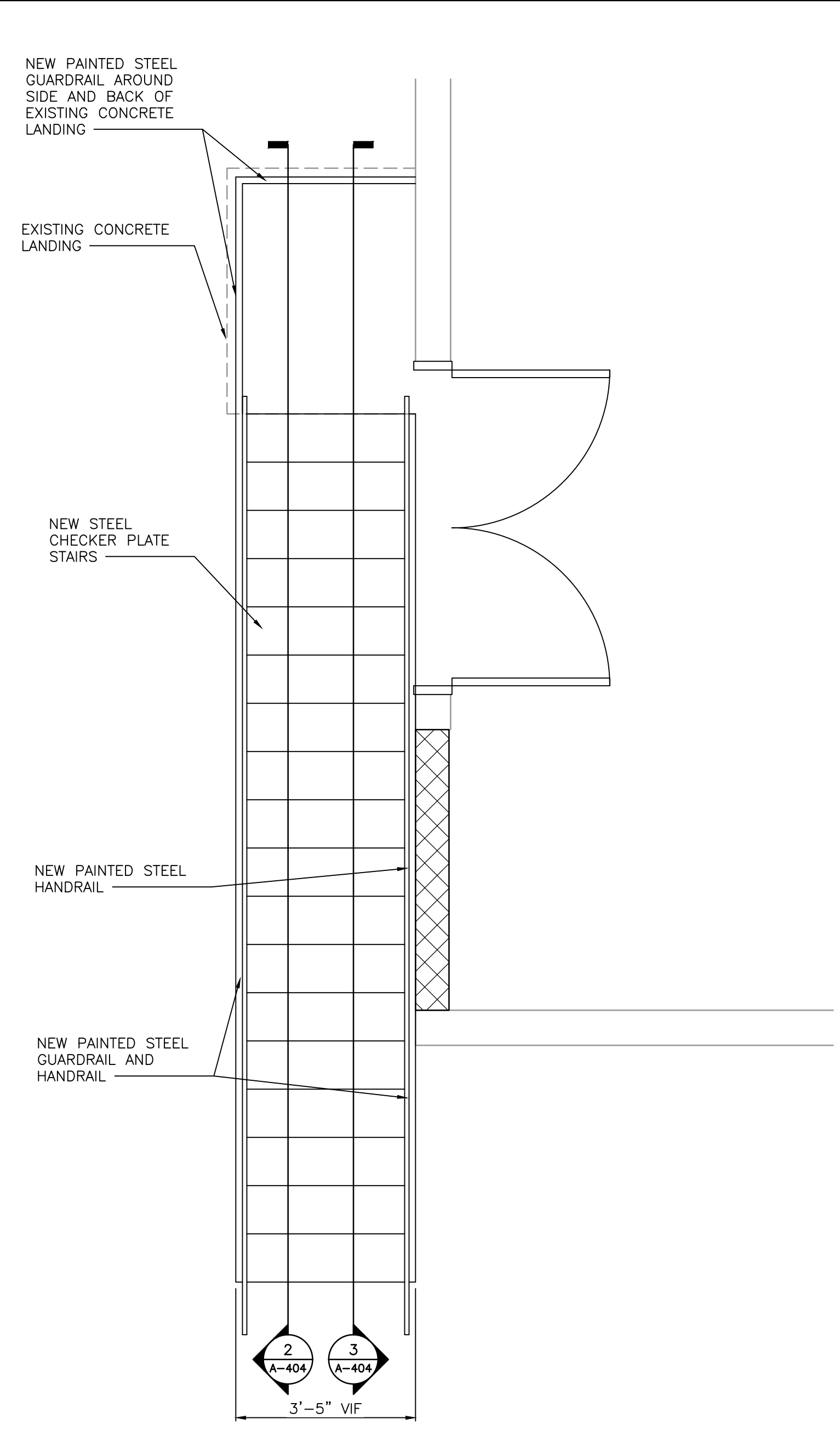
STAIR SECTION
SCALE: 1/2" = 1'-0"



GUARDRAIL/HANDRAIL DETAIL
SCALE: 1" = 1'-0"



STAIR SECTION
SCALE: 1/2" = 1'-0"



ENLARGED STAIR PLAN
SCALE: 1/2" = 1'-0"

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**TRI-COUNTY
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TRI-COUNTY SCHOOL
CORPORATION
WOLCOTT, INDIANA

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PROJECT

24-120

DATE

12/20/24

COORDINATED BY

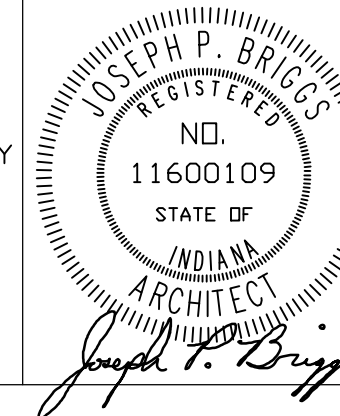
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DRAWING
FINISH LEGEND

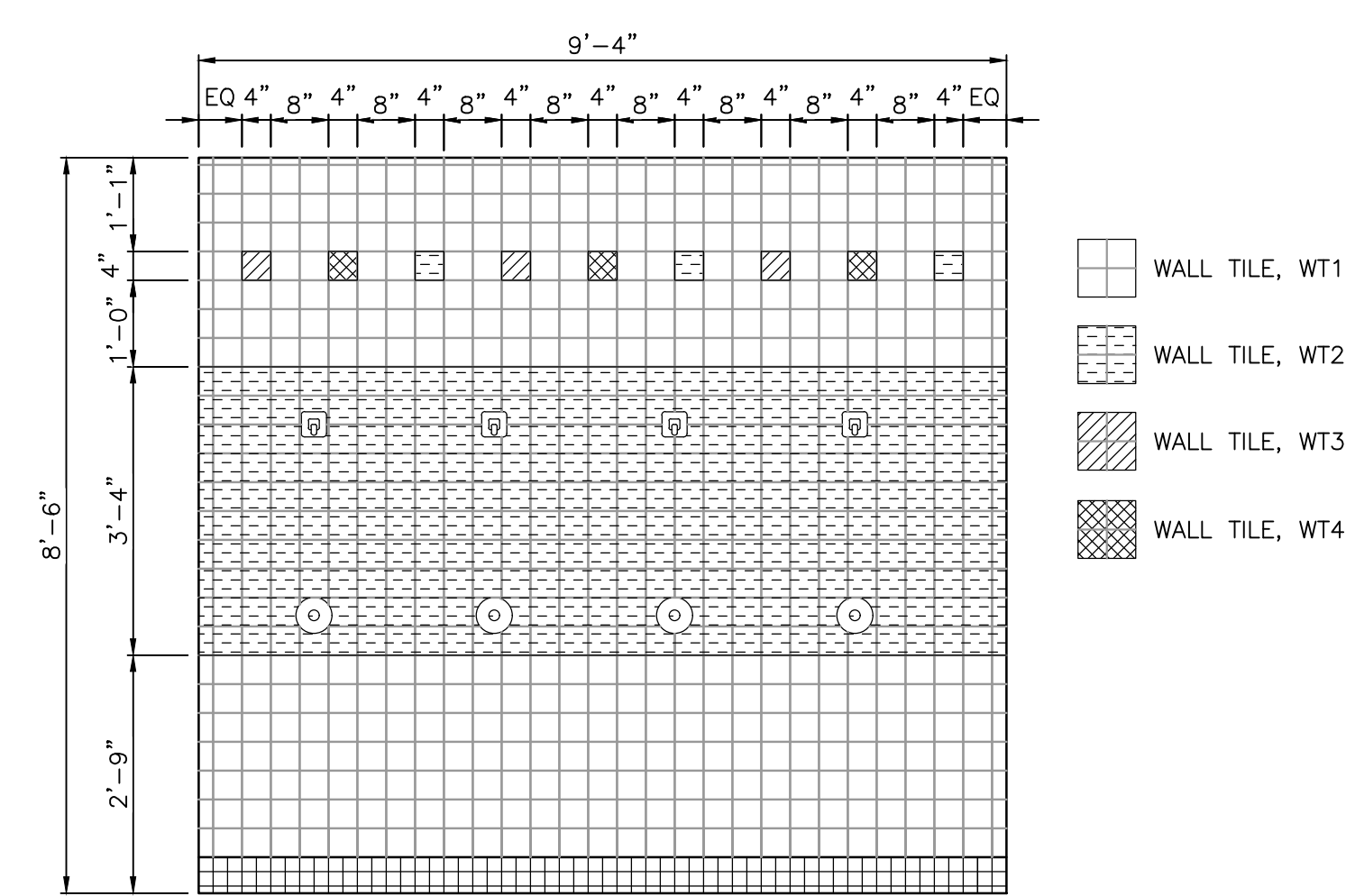
PROJECT
**TRI-COUNTY JR-SR HS
ADDITIONS & RENOVATIONS**

DRAWING SHEET
A-820

FINISH LEGEND

SURFACE	MARK	DESCRIPTION	MANUFACTURER	PATTERN/FINISH	NUMBER/COLOR	SIZE	COMMENTS
CEILING MATERIALS							
ACT1		ACOUSTICAL CEILING	ARMSTRONG	FINE FISSURED	1728 WHITE	24" X 24"	WITH HUMIGUARD
ACT2		ACOUSTICAL CEILING	ARMSTRONG	CLEAN BOOM LV	868 WHITE	24" X 24"	VINYL FACED WITH HUMIGUARD PLUS
ACT3		ACOUSTICAL CEILING	ARMSTRONG	ARMATUFF	861 WHITE	24" X 24"	--- [AD-1]
PT0		PAINT	SHERWIN WILLIAMS		SW7007 CEILING BRIGHT WHITE		
WALL BASE							
B1		WALL BASE	TARKETT	---	FAWN	4" COVE	---
B2		WALL BASE	TARKETT	---	MINN	4" COVE	---
B3		WALL BASE	TARKETT	---	CHARCOAL	4" COVE	---
TB1		TILE BASE	DALTILE	KEYSTONES	DESERT GRAY SPECKLE D200	5" BUILT-UP COVE	---
QT8		QUARRY TILE BASE	---	---	---	---	USE OWNER'S ATTIC STOCK/MATCH EXISTING
FLOOR MATERIALS							
C1		CARPET TILE	SHAW CONTRACT	CORRESPOND TILE 5T353	CONNECT 52531	24" X 24"	INSTALL: ASHLAR
C2		CARPET TILE	SHAW CONTRACT	WELCOME II 5T031	STERLING 31557	24" X 24"	INSTALL: QUARTER TURN
FT1		FLOOR TILE	DALTILE	KEYSTONES	DESERT GRAY SPECKLE D200	2" X 2"	---
QT		QUARRY TILE	---	---	---	---	USE OWNER'S ATTIC STOCK/MATCH EXISTING
RF1		RESINOUS FLOOR	SHERWIN WILLIAMS	DECO FLAKE	REBEL BLUE	1/4" FLAKE	---
WALL MATERIALS							
FIELD		PAINT	SHERWIN WILLIAMS	---	REPOSE GRAY SW 7015	---	---
P2		NOT USED	---	---	---	---	---
P3		PAINT	SHERWIN WILLIAMS	---	---	---	BASE BID: LOCKERS
P4		PAINT	SHERWIN WILLIAMS	---	MATCH EXISTING	---	DOOR FRAMES
P5		PAINT	SHERWIN WILLIAMS	---	ACIER SW 9170	---	---
W1		WALL COATING	SHERWIN WILLIAMS	---	REPOSE GREY SW 7015	---	---
W2		WALL COATING	SHERWIN WILLIAMS	---	MINDFUL GRAY SW 7016	---	---
WC1		WALL COVERING	MDC	TAHITIAN LINEN	DENIM BBT01	---	---
WC2		WALL COVERING	MOMENTUM	DOURO	AVF25-399 GREAT DEPTHS	---	---
WT1		CERAMIC WALL TILE	DALTILE	COLOR WHEEL CLASSIC	DESERT GRAY X114	4" X 4"	---
WT2		CERAMIC WALL TILE	DALTILE	COLOR WHEEL CLASSIC	SUEDE GRAY 182	4" X 4"	---
WT3		CERAMIC WALL TILE	DALTILE	COLOR WHEEL CLASSIC	SEA BREEZE 1174	4" X 4"	---
WT4		CERAMIC WALL TILE	DALTILE	COLOR WHEEL CLASSIC	CURRENT SH17	4" X 4"	---
CASEWORK AND MILLWORK							
PL1		PLASTIC LAMINATE	FORMICA	MATTE	STORM SOLIDZ	---	---
PL2		PLASTIC LAMINATE	FORMICA	MATTE	FOLKSTONE GRAFIX	---	---
PL3		PLASTIC LAMINATE	PIONITE	TEXTURED/SUEDE (SD)	ROCK OF AGES	---	---
PL4		PLASTIC LAMINATE	PIONITE	TEXTURED/SUEDE (SD)	JUMPING IN PUDDLES	---	---
PL5		PLASTIC LAMINATE	PIONITE	TEXTURED/SUEDE (SD)	OLD FRIEND	---	---
SS1		SOLID SURFACE	CORIAN	---	EXCAVAGE	---	---
MISCELLANEOUS							
L1		LOCKERS	LYON	---	---	---	ALTERNATE BID
CG1		CORNER GUARD	---	---	---	---	---
CG2		CORNER GUARD	---	---	---	---	---
SP		SHOWER PARTITIONS	---	---	---	---	MATCH EXISTING TOILET PARTITIONS

ETR = EXISTING TO REMAIN



TYPICAL SHOWER TILE ELEVATION

SCALE: 1/2" = 1'-0"

1
A-820

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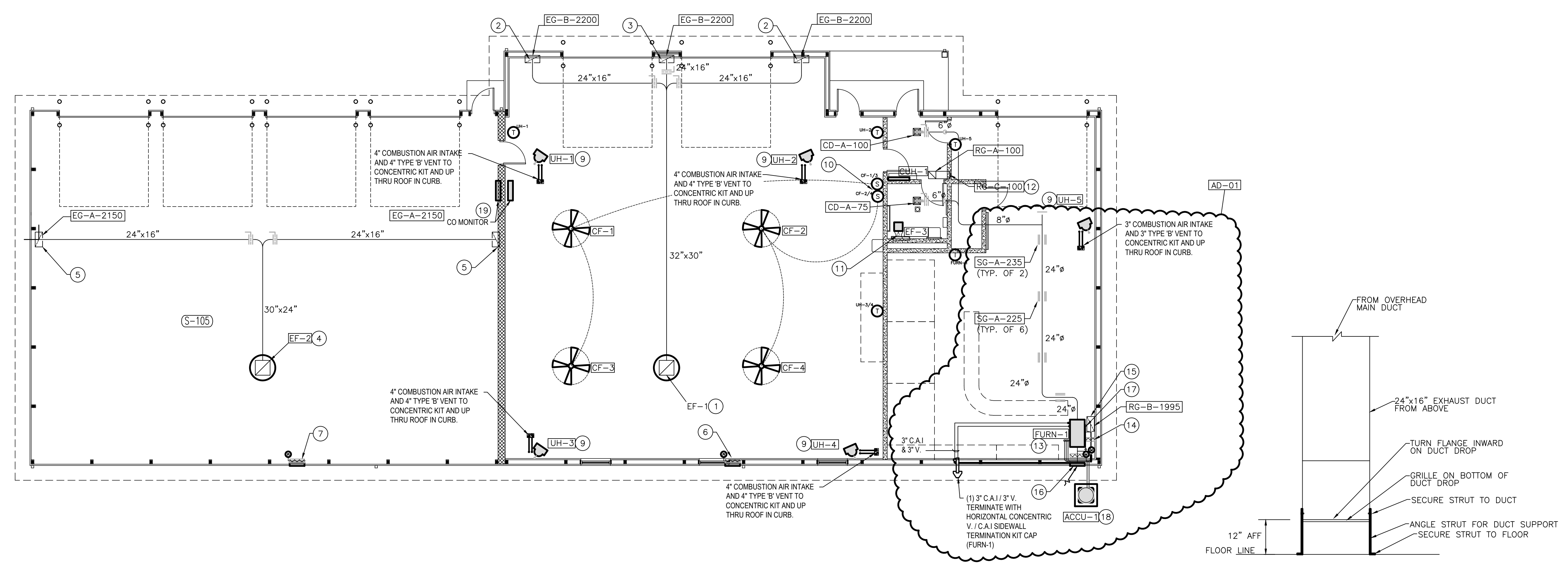
PROJECT
TRI-COUNTY JR-SR HIGH SCHOOL - ADDITIONS AND RENOVATIONS
TRI-COUNTY SCHOOL CORPORATION
WOLCOTT, INDIANA

GENERAL NOTES:

- 1. SEE SHEET M-001 FOR GENERAL MECHANICAL NOTES AND LEGEND.

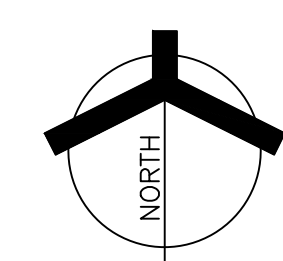
PLAN NOTES:

- 24"x24" EXHAUST DUCT UP THROUGH ROOF TO EF-1 SET ON SLOPED ROOF CURB.
- 24"x16" EXHAUST DUCT DOWN TO GRILLE MOUNTED ON BOTTOM OF DUCT AT 12" ABOVE FINISHED FLOOR.
- 24"x16" EXHAUST DUCT DOWN TO GRILLE MOUNTED ON BOTTOM OF DUCT AT 12" BELOW CEILING LEVEL.
- 24"x24" EXHAUST DUCT UP THROUGH ROOF TO EF-2 SET ON SLOPED ROOF CURB.
- 24"x16" EXHAUST DUCT DOWN TO GRILLE MOUNTED ON BOTTOM OF DUCT AT 12" ABOVE GRAVEL FLOOR LEVEL.
- 24"x36" INTAKE LOUVER IN WALL WITH DAMPER INTERLOCKED WITH EF-1 OPERATION. MOUNT TOP OF LOUVER 6" BELOW STRUCTURE.
- 24"x36" INTAKE LOUVER IN WALL WITH DAMPER INTERLOCKED WITH EF-2 OPERATION. MOUNT TOP OF LOUVER LEVEL WITH EF-1 INTAKE LOUVER.
- NOT USED
- GAS FIRED UNIT HEATER MOUNTED 12" BELOW CEILING WITH 4" COMBUSTION AIR UP THROUGH ROOF TO RAIN CAP.
- 2-WALL MOUNTED SWITCHES FOR OPERATION OF OVERHEAD CEILING FANS.
- 8"x4" EXHAUST DUCT WITH TRANSITION TO 4" EXHAUST DUCT UP THROUGH ROOF FROM EF-3.
- 12"x8" TRANSFER GRILLE IN WALL FROM RETURN GRILLE IN CEILING.
- HORIZONTAL GAS FIRED FURNACE SUSPENDED FROM STRUCTURE, MOUNTED BELOW CEILING AS HIGH AS POSSIBLE.
- RETURN AIR DAMPER INTERLOCKED WITH OUTSIDE AIR DAMPER.
- 24"x20" RETURN DROP ELBOW WITH RETURN GRILLE ON BOTTOM OF DUCT. MAINTAIN MAXIMUM HEADROOM. HOLD BOTTOM OF DROP 36" BELOW CEILING.
- 24"x20" OUTSIDE AIR INTAKE LOUVER IN WALL. MOUNT TOP LEVEL WITH EXHAUST FAN INTAKE. INTERFACE DAMPER WITH RETURN AIR DAMPER.
- 3/4" CONDENSATE PIPE FROM FURNACE COOLING COIL EXPOSED ALONG WALL DISCHARGING TO FLOOR DRAIN BELOW FURNACE. RUN GAS FLUE CONDENSATE TO SAME LOCATION.
- CONDENSING UNIT SET ON CONCRETE HOUSEKEEPING PAD WITH SUCTION AND LIQUID REFRIGERANT LINES THROUGH WALL SLEEVE TO HORIZONTAL FURNACE COOLING COIL.
- CARBON MONOXIDE GAS DETECTOR EQUIVALENT TO MACURCO 12-SERIES. WHEN CO LEVELS ARE ABOVE SET POINT, DETECTOR SHALL OPEN OUTSIDE AIR DAMPER AND INITIATE EXHAUST FAN.



MAINTENANCE GARAGE MECHANICAL PLAN

SCALE: 1/8" = 1'-0"



EXHAUST DROP AT FLOOR

SCALE: NO SCALE

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PROJECT	24-120
DATE	12/20/24
COORDINATED BY	ZM
DRAWN BY	JC
CHECKED BY	DJ

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MAINTENANCE GARAGE MECHANICAL PLAN	TRI-COUNTY JR-SR HS ADDITIONS & RENOVATIONS

PROJECT	TRI-COUNTY JR-SR HS ADDITIONS & RENOVATIONS
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PROJECT	TRI-COUNTY JR-SR HS ADDITIONS & RENOVATIONS
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ALTERNATE BID



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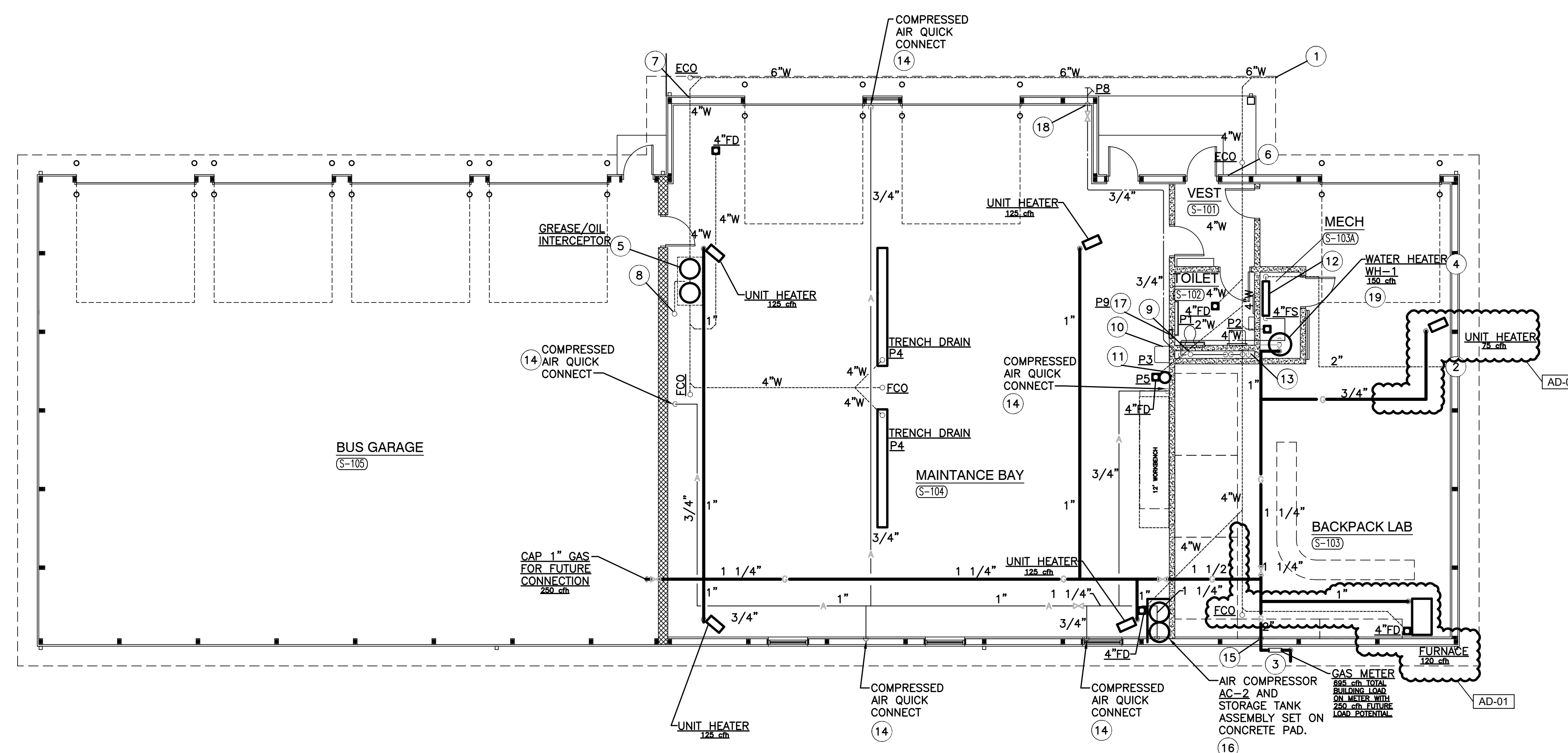
PROJECT
**TRI-COUNTY
JR-SR HIGH
SCHOOL -
ADDITIONS AND
RENOVATIONS**
TRI-COUNTY SCHOOL
CORPORATION
WOLCOTT, INDIANA

GENERAL NOTES:

1. SEE SHEET P-001 FOR GENERAL PLUMBING NOTES, LEGEND AND SCHEDULES.
2. SEE SHEET P-501 FOR PLUMBING DETAILS.

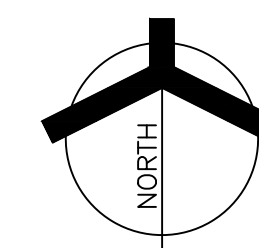
PLAN NOTES:

- 1 6" SANITARY WASTE PIPE, SEE CIVIL DRAWINGS FOR CONTINUATION.
- 2 2" UNDERGROUND INCOMING DOMESTIC WATER, SEE CIVIL DRAWINGS FOR CONTINUATION.
- 3 INCOMING NATURAL GAS PIPING TO METER, SEE CIVIL DRAWINGS FOR CONTINUATION.
- 4 DOMESTIC WATER HEATER SET ON 4" CONCRETE PAD WITH THERMOSTATIC MIXING VALVE ON WALL.
- 5 GREASE/OIL INTERCEPTOR SET BELOW FLOOR WITH ACCESS AT FLOOR LEVEL.
- 6 4" SANITARY WASTE EXITING BUILDING AT 3'-0" BELOW FINISHED FLOOR LEVEL. SLEEVE PIPING THROUGH FOUNDATION AS REQUIRED.
- 7 4" SANITARY WASTE FROM INTERCEPTOR LEAVING BUILDING AT 3'-0" BELOW FINISHED FLOOR. SLEEVE PIPING THROUGH FOUNDATION AS REQUIRED.
- 8 2" VENT UP THROUGH ROOF FROM INTERCEPTOR.
- 9 3" VENT FROM FIXTURES TO 4" VENT THROUGH ROOF.
- 10 WASH UP SINK WITH 2" WASTE, 1 1/2" VENT AND 3/4" H&CW FROM PIPING IN TOILET CHASE.
- 11 EMERGENCY SHOWER/EYEWASH WITH 2" WASTE, 1 1/2" VENT AND 3/4" H&CW FROM PIPING IN TOILET CHASE. PROVIDE WITH INDIVIDUAL MIXING VALVE.
- 12 INCOMING WATER SERVICE BACKFLOW PREVENTER.
- 13 1 1/2" HOT WATER DOWN IN CHASE TO SERVE PLUMBING FIXTURES WITH WATER HAMMER ARRESTOR. 2" COLD WATER HEADER IN CHASE TO SERVE PLUMBING FIXTURES WITH WATER HAMMER ARRESTOR.
- 14 QUICK CONNECT COUPLING AT BOTTOM OF COMPRESSED AIR DROP MOUNTED AT 48" ABOVE FINISHED FLOOR. PROVIDE 6" DIRT LEG AT END OF DROP. PROVIDE PRESSURE REGULATOR AHEAD OF QUICK CONNECT COUPLING.
- 15 2" NATURAL GAS TIGHT TO WALL AND UP TO UNDERSIDE OF ROOF JOISTS AND BELOW CEILING.
- 16 AIR COMPRESSOR AND TANK ON CONCRETE PAD TIGHT TO CORNER.
- 17 HOT AND COLD WATER HOSE BIBBS IN LOCKABLE WALL BOX AT 3'-0" ABOVE FINISHED FLOOR FOR MAINTENANCE WASH DOWN USAGE.
- 18 3/4" COLD WATER TO NON-FREEZE WALL HYDRANT FROM WATER LINE HELD TIGHT TO WALL AND EXPOSED TIGHT TO CEILING. CONNECT TO WATER MAIN PIPING WITHIN TOILET ROOM CHASE.
- 19 3" WATER HEATER INTAKE AND EXHAUST PIPE UP THRU ROOF IN ROOF CURB. TERMINATE 18" ABOVE ROOF LINE WITH MANUFACTURERS TERMINATION KIT.



MAINTENANCE GARAGE PLUMBING PLAN

SCALE: 1/8" = 1'-0"



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DRAWING
**MAINTENANCE GARAGE
PLUMBING PLAN**

PROJECT
**TRI-COUNTY JR-SR HS
ADDITIONS & RENOVATIONS**

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