

**ADDENDUM
NO. 02**

March 26, 2025

Edwardsburg Public Schools – Middle School and High School Renovation

Middle School
69230 Section Street
Edwardsburg, MI 49112

High School
69358 Section Street
Edwardsburg, MI 49112

TO: ALL BIDDERS OF RECORD

This Addendum forms a part of and modifies the Bidding Requirements, Contract Forms, Contract Conditions, the Specifications and the Drawings dated February 24, 2025, by TowerPinkster. Acknowledge receipt of the Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of Pages ADD 2-4 through ADD 2- 2 and TowerPinkster Middle School Addendum No. 02, dated March 25, 2025, consisting of 7 pages, and High School Addendum No. 02, dated March 25, 2025, consisting of 17 pages.

A. SPECIFICATION SECTION 00 43 50 – SUBCONTRACTORS AND PRODUCTS LIST

A. BID CATEGORY NO. 01 GENERAL TRADES

Add:

Section	08 12 43	Fire Resistance Rated Frames
Section	09 91 14	Exterior Painting

B. BID CATEGORY NO. 02 ROOFING

Remove:

Section 07 54 19 Polyvinyl-Chloride (PVC) Roofing

D. BID CATEGORY NO. 04 ELECTRICAL

Remove:

Section 28 23 00 Video Surveillance

B. SPECIFICATION SECTION 01 12 00 – MULTIPLE CONTRACT SUMMARY

Paragraph 3.03 BID CATEGORIES

A. BID CATEGORY NO. 01 GENERAL TRADES

Add the following Specification

Section 08 12 43 Fire Resistance Rated Frames
Section 09 91 14 Exterior Painting

Add the following clarification

1. Clarification No. 01: **Bid Category No. 01 – General Trades** shall furnish, install, and maintain the crushed stone areas as indicated on the Site Logistics Plan dated 3/24/2025. This includes striping the larger lay-down area prior to stone installation. The timeline for these stone areas to be removed is to be determined, so the removal of the stone, replacement of the striped land, and final re-seeding shall be handled by a separate contractor on a future project.
2. Clarification No. 02: **Bid Category No. 01 - General Trades** shall provide a minimum 4' wide by full height opening in the MS Office mezzanine wall for mechanical equipment and ductwork demolition and installation of new items. **Bid Category No. 01 - General Trades** shall be responsible for protecting existing conditions and restoring the wall back to its original condition.
3. Clarification No. 05: **Bid Category No. 01 – General Trades** shall temporarily install Type X (fire rated) drywall on both sides of the Middle School Office corridor door and window openings to create a one-hour construction separation until June 12, 2025.
4. Clarification No. 06: During abatement testing, sand in the band Practice Room walls was discovered in the Middle School Office. **Bid Category No. 01 – General Trades** shall be responsible for demolition and removal of any sand discovered in the Practice Rooms walls shown on the Demolition Plan AD101D.

5. Clarification No. 07: If Alternate No. 04 is accepted, **Bid Category No. 1 – General Trades** shall be responsible for all demolition and re-installation of the Library Clerestory Window work shown on the Roofing Plan A102B. **Bid Category No. 02 – Roofing** shall coordinate with the General Trades contractor to install the Library Clerestory Window membrane and flashing work as referenced in in detail #2 on sheet A102B.
6. Clarification No. 09: Revised Temp Fencing Spec (01 53 10) to clarify that Skillman will be providing the temp. fencing and the **Bid Category No. 01- General Trades** contractor will maintain it.

B. BID CATEGORY NO. 02 ROOFING

Remove the following Specification

Section 07 54 19 Polyvinyl-Chloride (PVC) Roofing

Add the following clarification

1. Clarification No. 03: **Bid Category No. 02 – Roofing** shall furnish and install all wood blocking required for the new roofing work indicated on the Roofing plans.
2. Clarification No. 04: **Bid Category No. 02 – Roofing** shall furnish dumpsters and trash carts for their own Roofing work, including demolition and new installation. **Bid Category No. 01 – General Trades** shall furnish dumpsters and trash carts for all other trades.
3. Clarification No. 07: If Alternate No. 04 is accepted, **Bid Category No. 1 – General Trades** shall be responsible for all demolition and re-installation of the Library Clerestory Window work shown on the Roofing Plan A102B. **Bid Category No. 02 – Roofing** shall coordinate with the General Trades contractor to install the Library Clerestory Window membrane and flashing work as referenced in in detail #2 on sheet A102B.

D. BID CATEGORY NO. 04 ELECTRICAL

Add the following Specification

Section 28 23 00 Video Surveillance

Add the following clarification

1. Clarification No. 08: Revised Temp. Electric Spec (01 51 10) to remove temporary Skillman trailer power requirement.

C. **SPECIFICATION SECTION 01 32 00 – SCHEDULES AND REPORTS**

a.

Add

1. See Revised Site Logistics Plan.

Refer to the attached Request For Information summary, Pre-Bid RFI No. 01 through 09 are included.

SECTION 00 43 50 - SUBCONTRACTORS AND PRODUCTS LIST

PART 1 - GENERAL

1.01 DESCRIPTION

- A. The two (2) low responsive Bidders in each Bid Category shall furnish electronically, the following Subcontractors and Products List to the Construction Manager within **two (2) working days (48 hrs.) of bid opening, unless submitted with Bid.** The blanks appropriate to the Bid Category(ies) on which they bid shall be completed.
1. The Owner and Architect shall have the right to select any material or equipment named in the Specifications for any particular item where the Bidder either fails to list same or lists more than one name for the item in question.
 2. It is intended that this list will show the manufacturer and supplier of major items of work that will be subcontracted and to whom.

1.02 INSTRUCTIONS FOR SUBCONTRACTORS AND PRODUCTS LISTS

- A. Each Bidder shall submit a copy of his list of subcontractors and manufacturers of products and equipment proposed for work indicated as required above.
- B. The list shall be submitted on forms provided and shall be completely executed. "As Specified" or "With Equipment" type of terminology will not be accepted.
- C. Under "Subcontractor", insert the name of the firm which the Bidder proposes to have perform the respective work. If work will be done by the Prime Bidder and no subcontract will be awarded, state "By Own Forces".
- D. Submission does not constitute acceptance for use of listed manufacturers' products. Materials and subcontractors are subject to the provisions of the General Conditions and "Standard of Product Acceptability" and must be formally reviewed and adjudged acceptable by the Architect/Engineer.
- E. Engineer, Architect and Owner reserve the right to reject submissions of materials, work, or subcontractors that do not, in their opinion, meet the requirements of Drawings, Specifications or job conditions.
- F. Materials and subcontractors used for work on the Project shall be in accordance with accepted material list.
1. The list is intended to assure use of materials and vendors acceptably equivalent to those specified and is not a substitution sheet or complete listing of required materials or services.

2. Substitutions for listed items will not be allowed, except when termed acceptable, in writing by the Architect/Engineer, provided that substitution will result in a cost savings to the Owner , determined by the Owner to be a better product,or is made necessary due to unavailability of listed item. Unavailability shall be confirmed in writing by manufacturer named on accepted list.

1.03 CIVIL AND ARCHITECTURAL WORK SUBCONTRACTORS AND PRODUCTS LIST

BID CATEGORY NO. 01 GENERAL TRADES

NAME OF BIDDER _____

The undersigned hereby submits the following Subcontractors and Products List which becomes a part of the undersigned Contract proposal. Subcontractor purchased material, equipment, and labor shall be under the direct management and control of the Prime Contractor. If a dual listing of manufacturers and subcontractors is herein made, it is understood the Architect/Engineer (not the Contractor) will select the manufacturer or subcontractor of his choice. State the XBE Designation.

CIVIL AND ARCHITECTURAL WORK

<u>Section</u>	<u>Description</u>	<u>Cost \$\$\$</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
00 21 00	Allowances			
01 51 60	Temporary Sanitary Facilities			
01 51 80	Temporary Fire Protection			
01 52 10	Construction Aids and Temporary Enclosures			
01 52 60	Rubbish Container			
01 53 10	Fences (Temporary Security)			
01 55 00	Access Roads and Parking Areas			
01 57 60	Project Signs			
01 72 00	Field Engineering			
02 41 19	Selective Demolition			
03 20 00	Concrete Reinforcing			

<u>Section</u>	<u>Description</u>	<u>Cost \$\$\$</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
03 30 00	Cast-In-Place Concrete			
04 05 11	Masonry Mortaring And Grouting			
04 20 00	Unit Masonry			
05 12 00	Structural Steel Framing			
06 10 00	Rough Carpentry sf0			
06 40 23	Interior Architectural Woodwork			
06 41 16	Plastic-Laminate-Faced Architectural Cabinets			
06 61 16	Solid Surfacing Fabrications			
07 21 00	Thermal Insulation			
07 84 13	Penetration Firestopping			
07 84 43	Joint Firestopping			
07 92 00	Joint Sealants sf0			
08 11 13	Hollow Metal Doors And Frames sf2			
08 12 43	Fire Resistance Rated Frames			
08 14 16	Flush Wood Doors sf0			
08 41 13	Aluminum-Framed Entrances And Storefronts Sf1			
08 71 00	Door Hardware			
08 80 00	Glazing sf0			
08 88 13	Fire-Rated Glazing			
09 22 16	Non-Structural Metal Framing			

<u>Section</u>	<u>Description</u>	<u>Cost \$\$\$</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
09 29 00	Gypsum Board			
09 30 00	Tiling			
09 51 13	Acoustical Panel Ceilings			
09 65 13	Resilient Base And Accessories			
09 66 23	Resinous Matrix Terrazzo Flooring			
09 68 13	Tile Carpeting			
09 91 14	Exterior Painting			
09 91 23	Interior Painting			
09 96 00	High-Performance Coatings sf0			
10 11 00	Visual Display Units			
10 14 19	Dimensional Letter Signage			
10 28 00	Toilet, Bath, And Laundry Accessories			
12 24 13	Roller Window Shades			
12 36 23.13	Plastic-Laminate-Clad Countertops			
12 36 61.16	Solid Surfacing Countertops			

Name of Bidder:	Date:
Address:	
City/State/Zip:	
Telephone:	
By:	

BID CATEGORY NO. 02 ROOFING

NAME OF BIDDER _____

The undersigned hereby submits the following Subcontractors and Products List which becomes a part of the undersigned Contract proposal. Subcontractor purchased material, equipment, and labor shall be under the direct management and control of the Prime Contractor. If a dual listing of manufacturers and subcontractors is herein made, it is understood the Architect/Engineer (not the Contractor) will select the manufacturer or subcontractor of his choice. State the XBE Designation.

CIVIL AND ARCHITECTURAL WORK

<u>Section</u>	<u>Description</u>	<u>Cost \$\$\$</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
00 21 00	Allowances			
01 52 60	Rubish Containers			
02 41 19	Selective Demolition			
07 01 50.19	Preparation For Reroofing			
07 21 00	Thermal Insulation			
07 27 13	Modified Bituminous Sheet Air Barriers			
07 54 16	Ketone Ethylene Ester - Kee Roofing			
07 62 00	Sheet Metal Flashing And Trim			
07 71 00	Roof Specialties			
07 71 29	Manufactured Roof Expansion Joints			
07 72 00	Roof Accessories			
07 84 13	Penetration Firestopping			
07 92 00	Joint Sealants sf0			

Name of Bidder:	Date:
Address:	
City/State/Zip:	
Telephone:	
By:	

1.04 MECHANICAL WORK SUBCONTRACTORS AND PRODUCTS LIST

BID CATEGORY NO. 03 MECHANICAL

NAME OF BIDDER _____

The undersigned hereby submits the following Subcontractors and Products List which becomes a part of the undersigned Contract proposal. Subcontractor purchased material, equipment, and labor shall be under the direct management and control of the Prime Contractor. If dual listing of manufacturers or subcontractors is herein made, it is understood the Architect/Engineer (not the Contractor) will select the manufacturer or subcontractor of his choice.

MECHANICAL WORK

<u>Section</u>	<u>Description</u>	<u>Cost \$\$\$</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
01 21 00	Allowances			
01 51 30	Temporary Heating, Ventilation and Cooling			
01 51 50	Temporary Water			
02 41 19	Selective Demolition			
07 84 13	Penetration Firestopping			
07 92 00	Joint Sealants sf0			
22 05 29	Hangers And Supports For Plumbing Piping And Equipment			
22 05 53	Identification For Plumbing Piping And Equipment			
22 07 19	Plumbing Piping Insulation			
22 10 05	Plumbing Piping			
22 40 00	Plumbing Fixtures			
23 01 30.51	HVAC Air-Distribution System Cleaning			

<u>Section</u>	<u>Description</u>	<u>Cost \$\$\$</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
23 05 17	Sleeves And Sleeve Seals For HVAC Piping			
23 05 23	General-Duty Valves For HVAC Piping			
23 05 29	Hangers And Supports For HVAC Piping And Equipment			
23 05 48	Vibration And Seismic Controls For HVAC			
23 05 53	Identification For HVAC Piping And Equipment			
23 05 93	Testing, Adjusting, And Balancing For HVAC			
23 07 13	Duct Insulation			
23 07 19	HVAC Piping Insulation			
23 08 00	Minimum Commissioning Of HVAC			
23 11 23	Facility Natural-Gas Piping			
23 21 13	Hydronic Piping			
23 21 14	Hydronic Specialties			
23 23 00	Refrigerant Piping			
23 31 00	HVAC Ducts And Casings			
23 33 00	Air Duct Accessories			
23 34 16	Centrifugal HVAC Fans			
23 37 00	Air Outlets And Inlets			

<u>Section</u>	<u>Description</u>	<u>Cost \$\$\$</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
23 62 13	Packaged Air-Cooled Refrigerant Compressor And Condenser Units			
23 73 13	Modular Indoor Central-Station Air-Handling Units			
23 74 16	Packaged Rooftop Air-Conditioning Units			
23 82 00	Convection Heating And Cooling Units			

Plumbing Fixtures:

Manufacturer:

a) _____

b) _____

c) _____

d) _____

e) _____

f) _____

g) _____

h) _____

i) _____

j) _____

k) _____

l) _____

Name of Bidder:	Date:
Address:	
City/State/Zip:	
Telephone:	
By:	

1.05 ELECTRICAL WORK SUBCONTRACTORS AND PRODUCTS LIST

BID CATEGORY NO. 04 ELECTRICAL

NAME OF BIDDER _____

The undersigned hereby submits the following Subcontractors and Products List which becomes a part of the undersigned Contract proposal. Subcontractor purchased material, equipment, and labor shall be under the direct management and control of the Prime Contractor. If dual listing of manufacturers or subcontractors is herein made, it is understood the Architect/Engineer (not the Contractor) will select the manufacturer or subcontractor of his choice.

ELECTRICAL WORK

<u>Section</u>	<u>Description</u>	<u>Cost\$\$\$</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
01 21 00	Allowances			
01 51 10	Temporary Heating, Ventilation and Cooling			
02 41 19	Selective Demolition			
07 84 13	Penetration Firestopping			
07 92 00	Joint Sealants sf0			
26 00 10	Supplemental Requirements For Electrical			
26 05 00	Common Work Results For Electrical			
26 05 05	Selective Demolition For Electrical			
26 05 19	Low-Voltage Electrical Power Conductors And Cables			

<u>Section</u>	<u>Description</u>	<u>Cost\$\$\$</u>	<u>Subcontractor</u>	<u>Manufacturer</u>
26 05 26	Grounding And Bonding For Electrical Systems			
26 05 29	Hangers And Supports For Electrical Systems			
26 05 33	Raceways And Boxes For Electrical Systems			
26 05 33.13	Conduit For Electrical Systems			
26 05 33.16	Boxes For Electrical Systems			
26 05 33.23	Surface Raceways For Electrical Systems			
26 05 44	Sleeves And Sleeve Seals For Electrical Raceways And Cabling			
26 05 53	Identification For Electrical Systems			
26 05 83	Wiring Connections			
26 09 23	Lighting Control Devices			
26 24 16	Panelboards			
26 27 26	Wiring Devices			
26 28 13	Fuses			
26 28 16	Enclosed Switches And Circuit Breakers			
26 28 16.13	Enclosed Circuit Breakers			
26 28 16.16	Enclosed Switches			

26 29 13	Enclosed Controllers			
26 51 00	Interior Lighting			
27 05 00	Common Work Results For Communications			
27 05 26	Grounding And Bonding For Communications Systems			
27 05 28	Pathways For Communications Systems			
27 05 53	Identification For Communications Systems			
27 15 13	Communications Copper Horizontal Cabling			
27 17 00	Testing, Id And Admin Of Balanced Twisted Pair Infrastructure			
28 13 00	Access Control			
28 14 00	Access Control System Hardware			
28 15 00	Access Control Hardware Devices			
28 15 23	Intercom Entry System			
28 20 00	Video Surveillance			
28 31 00	Fire Detection And Alarm			
28 46 00	Fire Detection And Alarm			

Name of Bidder:	Date:
Address:	
City/State/Zip:	
Telephone:	
By:	

END OF SECTION 00 43 50

SECTION 01 12 00 - MULTIPLE CONTRACT SUMMARY

PART 1 GENERAL

1.01 RELATED DOCUMENTS

- A. Drawings and General Provisions of the Prime Contract, including amended General Conditions and other Division 1 Specification Sections, apply to Work of this Section.

1.02 SUMMARY

- A. The intent of this Section is to indicate the Work required by the Contractors and to provide information regarding the duties, responsibilities, and cooperation required by the Contractors, with similar requirements for the subcontractors and suppliers.
- B. Owners right to maintain current operations
- C. Occupancy requirements
- D. Work by Owner
- E. Permits, fees, and notices
- F. Labor and materials
- G. Verifications of existing dimensions
- H. Project security
- I. Coordination of work
- J. Time of commencement and completion
- K. Schedule of contract responsibilities

1.03 WORK UNDER SEPARATE CONTRACTS

- A. Prime Contracts are defined to include the following contracts described in the Schedule of Contract Responsibilities included hereinafter; and each is recognized to be a major part of the project, with Work to be performed concurrently and in close coordination with Work of other Prime Contracts.
- B. The "Contract Documents," as defined in the General Conditions, include "the Drawings." Although Drawings are grouped and identified by classification of the Work, Contractors shall be responsible for their Work as specified herein and as

indicated on the Drawings. Although the majority of the Drawings are "to scale," Contractors are directed to use indicated dimensions for determining material quantities and for other reasons. No additional monies will be allowed due to Contractors using "scaling instruments" to determine material quantities or for other reasons.

- C. Separate prime contracts will be awarded as per the "**Schedule of Contract Responsibilities**" (see Part 3 – Execution). Contractors shall include Work required by the Specifications and Drawings for each contract area defined in the Schedule.
- D. Work for the complete construction of the Project will be under multiple prime contracts with the Owner. The Construction Manager will manage the construction of the Project.
- E. Each Contractor shall be responsible for demolition and disposal of existing items relative to his Contract.

1.04 ADMINISTRATIVE RESPONSIBILITIES OF PRIME CONTRACTORS AND CM

- A. The Construction Manager shall be responsible for the maintenance of the Construction Schedule and management of every phase of the Work.
 - 1. Each Contractor shall read the Specifications and Drawings for other separate Contracts for fixed equipment and the like to be incorporated or attached or built in to the Work; and familiarize himself with the requirements and responsibilities of other Contracts to enable the required coordination and supervision.
 - 2. Each Contractor shall also familiarize himself with other items to be incorporated into the Work including equipment and Work by the Owner.
 - 3. Each Contractor shall cooperate with the Construction Manager in notifying him when the Work is at a stage to require the services of other Contractors and shall notify the Construction Manager in the event that such other Contractors do not carry out their responsibilities in connection with such notification.
- B. Contractors shall cooperate with and assist the Construction Manager in the preparation of construction progress and procedures, schedule of product deliveries, and their effect on the overall project progress and completion. Other Contractors shall cooperate in getting their Work and the Work of their subcontractors completed according to the schedule as prepared and maintained by the Construction Manager. Each Contractor shall immediately notify the Construction Manager of a delay in delivery of products or the scheduled date of completion that may affect the total progress of construction.
- C. The Owner will furnish the topographical survey, either as a part of these Drawings or separately, giving the general topographical lines existing at the site and the property lines.

- D. Contractors required to make connections to existing utilities, especially sewerage where gravity flow occurs, shall verify grades and locations at points of such connections and shall notify the Construction Manager of circumstances which would adversely affect the proper flow or connection to such facilities.

1.05 PRIME CONTRACTORS USE OF PREMISES

- A. Use of the Site: Limit use of the premises to work in areas indicated. Confine operations to areas within contract limits indicated. Do not disturb portions of the site beyond the areas in which the Work is indicated.
 - 1. Owner Occupancy: Allow for Owner occupancy and use by the public.
 - 2. Driveways and Entrances: Keep driveways and entrances serving the premises clear and available to the Owner, the Owner's employees, and emergency vehicles at all times. Do not use these areas for parking or storage of materials. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on site.
- B. Use of the Existing Building: Maintain the existing building in a weathertight condition throughout the construction period. Repair damage caused by construction operations. Take all precautions necessary to protect the building and its occupants during the construction period.

1.06 OWNERS RIGHT TO MAINTAIN OPERATIONS

- A. During the course of this Project, normal and customary functions and operations must be maintained. The Contract Documents are intended to define a strict separation between the school activities of students and staff from the activities of the construction project.
- B. The Construction Manager, Architect, and Owner will not tolerate any visible or audible actions initiated or responded to by any employees of Contractors on this Project toward any students, teachers, or staff members at the school system. Violators shall be promptly removed from the site.
- C. The Owner intends to instruct students, teachers, and staff to refrain from communications with Contractor's personnel working on this Project. All communication with Owner and staff shall be through the Construction Manager.
- D. Contractors must expend their best effort toward protection of the health, safety, and welfare of occupants on the Owner's property during the course of Work on this Project.
- E. Contractors and Subcontractors shall be subject to such rules and regulations for the conduct of the Work as the Owner may establish. Employees shall be properly and completely clothed while working. Bare torsos, legs and feet will not be allowed. Possession or consumption of alcoholic beverages or drugs, tobacco or

other noxious behavior on the site is strictly prohibited. Violators shall be promptly removed from the site. Smoking is not permitted on school property or within school buildings.

1.07 OCCUPANCY REQUIREMENTS

- A. Full Owner Occupancy: The Owner will occupy the site and existing building during the entire construction period. Cooperate with the Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with the Owner's operations.
- B. Partial Owner Occupancy: The Owner reserves the right to occupy and to place and install equipment in completed areas of the building prior to Substantial Completion, provided such occupancy does not interfere with completion of the Work. Such placing of equipment and partial occupancy shall not constitute acceptance of the total Work.
 - 1. The Construction Manager will prepare a Certificate of Substantial Completion for each specific portion of the Work to be occupied prior to Owner occupancy.
 - 2. Party which obtained general building permit shall obtain a Certificate of Occupancy from local building officials prior to Owner occupancy.
 - 3. Prior to partial Owner occupancy, mechanical and electrical systems shall be fully operational. Required inspections and tests shall have been successfully completed. Upon occupancy, the Owner will operate and maintain mechanical and electrical systems serving occupied portions of the building.
 - 4. Upon occupancy, the Owner will assume responsibility for maintenance and custodial service for occupied portions of the building.

1.08 WORK BY OWNER

- A. The Owner intends to complete the following items of Work outside the provisions of these Contract Documents. Contractors shall not restrict or interfere with the Owner's right to the Project to accomplish this Work.
 - 1. Equipment and furniture except as scheduled and specified under Divisions 11 and 12 and shown on the Drawings.
 - 2. Items which may be deleted from Contracts for Work as required by the Contract Documents.
 - 3. Existing school maintenance work.
 - 4. The purchase and supplying of certain materials as noted in the Project Manual.
 - 5. The Owner, under separate contract, shall provide removal of identified asbestos containing materials from the existing structure. The asbestos report is available through the Construction Manager upon request.

1.09 PERMITS, FEES, AND NOTICES

- A. The Construction Manager will secure the general building permit for the Owner. Each Contractor shall secure and pay for other permits, governmental fees, and licenses necessary for the proper execution and completion of the Contractors Work. Fees to relocate utilities on Owner's property shall be included in the bid of the Contractor doing the relocation.
 - 1. The Owner shall pay for the cost of the Building Permit.
 - 2. State filing fees for plan approval are the responsibility of the Owner and will be paid by the Owner.
- B. Utility Tie-Ins: Shall be arranged with local utility company and other involved parties for minimum interruption of service.
- C. Shutdowns of existing systems shall be limited to minimum time required and scheduled with other involved parties. Provide 2 days written notice of shutdown to Construction Manager and Owner.
- D. Inspections of installed work shall be performed by the governing authority as arranged for by the Contractor. Work shall not be covered until approved.
- E. Each Contractor shall give notices and comply with laws, ordinances, rules, regulations, and orders of public authorities bearing on the performance of his Work. If a Contractor observes that the Contract Documents are at variance therewith, he shall promptly notify the Construction Manager in writing, and necessary changes shall be adjusted by appropriate notification. If a Contractor performs Work knowing it to be contrary to such laws, ordinances, rules, and regulations, and without such notice to the Construction Manager, he shall assume full responsibility therefore and shall bear the costs attributable thereto.

1.10 LABOR AND MATERIALS

- A. Unless otherwise specifically noted, the Contractor shall provide and pay for labor, materials, equipment, tools, construction equipment and machinery, water, heat, utilities, transportation, and other facilities and services necessary for the proper execution and completion of his Work, whether temporary or permanent and whether or not incorporated or to be incorporated in the Work.
- B. Each Contractor shall enforce strict discipline and good order among his employees or other persons carrying out Work of his Contract and shall not permit employment of unfit person or persons or anyone not skilled in the task assigned to them.
- C. Prime Contractors must furnish a letter to the Construction Manager, stating that Contractor shall not assign any of its employees, agents or other individuals to perform any services in the District's facilities or program sites if that individual:
 - 1. Is listed on the Michigan Sex Offender Registry, www.mipsor.state.mi.us.
 - 2. Is listed on the Federal Sex Offender Registry www.nsopw.gov.

3. Has not passed a 5-50 drug screen, testing negative for the following drugs:
 - a. Amphetamines
 - b. Methamphetamines
 - c. Cocaine
 - d. Codeine
 - e. Methadone
 - f. Morphine
 - g. Phencyclidine (PCP)
 - h. Marijuana

- D. ID Stickers will be issued by The Skillman Corporation upon receipt of verification from the Contractor that the employee/subcontractor employee or independent contractor has a satisfactory record to work on the Project. Stickers will be numbered and numbers assigned to each worker to be worn on their hardhat. It is the Contractor's responsibility to maintain a record of contractor's name assigned each number and provide to The Construction Manager upon request.
- E. Consistent with Michigan law, possession or consumption of drugs on school property will promptly be reported to the local police. Consumption of alcoholic beverages or tobacco or other noxious behavior on school owned property is strictly prohibited. Violators shall be promptly removed from the site. Smoking is not permitted on school property or within school buildings.

1.11 CUTTING AND PATCHING

- A. Refer to Section 01 73 10 – Cutting and Patching, for provisions on this subject.

1.12 VERIFICATIONS OF EXISTING DIMENSIONS

- A. When verification of existing dimensions is required, the Contractor requiring said verification for the construction or fabrication of his material shall be the Contractor responsible for the procurement of the field information.

1.13 PROJECT SECURITY

- A. Each Prime Contractor shall take all reasonable precautions to prevent injury, damage or loss to people and property in, on and adjacent to the project. This shall include not only their own work or property but that of other contractors and the Owner.
- B. If deemed necessary by The Construction Manager a project wide security program may be developed for the purpose of preventing damage or loss at the project site or property adjacent thereto. Once accepted by the Owner, contractors shall comply.

1.14 SCHEDULE OF CONTRACT RESPONSIBILITIES - SCOPE

- A. Contractors shall submit their proposals based on the work included under each contract area as listed herein. Include Work necessary for a complete project, as shown on the Drawings and called for in the Specifications.
- B. Questions concerning the phasing or "Schedule of Contract Responsibilities" should be directed to the Construction Manager, who will be the interpreter and be responsible for this Schedule of Contract Responsibilities and Contract Breakdown, prior to submitting proposals and during construction.
- C. The requirements of Division 1 are a part of the Work of each and every contract area. The Contractor for any one contract area shall be familiar with the Work and requirements of all other contract areas.
- D. Certain Specification Sections describe Work to be performed under several contract areas. (Example: 06 10 00 - Rough Carpentry.) Provide Work of this nature as required for each contract area whether or not enumerated in the Schedule of Contract Responsibilities.
- E. The following contract areas are broken down by Specifications Section conforming basically to the CSI format.
- F. The Drawings and Specifications as furnished for each of the Contracts is for the convenience of the Contractor in preparing a proposal for this Project. However, each Contractor is responsible to review the complete set of Drawings and Specifications to assure that Work required to be installed to complete his phase of the Work is included in his proposal. This "Schedule of Contract Responsibilities" is a definition of the work as it is to be bid in separate contracts. Where a specific item of Work is not defined, but is normally inherent to a trade, or is included in the scope of the applicable technical revision, it will be the responsibility of that Contractor to include the Work in his proposal.
- G. This "Schedule of Contract Responsibilities" is to aid each Contractor in defining the Scope of Work to be included in his proposal. However, omissions from this "Schedule of Responsibilities" do not relieve the Contractor from including in his proposal that Work which will be required to complete his Contract. Each Contractor should read the "Schedule of Contract Responsibilities" completely to familiarize himself with the Work of other Contractors that may have Work in adjacent areas and to coordinate the interfacing problems that may occur as the work is assembled and constructed.
- H. Where specific Work is to be completed under a particular phase of the Project and the Work is wholly or partially completed by other trades because of the type of work involved or jurisdictional trade agreements, the Contractor will be responsible to subcontract the Work as necessary to complete the Work included in his

Contract. No delay in the Work will be allowed due to the failure of the Contractor to subcontract related work required by jurisdictional trade agreements.

1.15 COORDINATION OF WORK

A. Each Contractor is responsible to coordinate his Work with the Work of other trades and other Contractors and requirements of the school system. The Contractor must make space allowances for Work of other Contractors, provide necessary openings where indicated or implied by the Drawings and Specifications. Each Contractor is responsible to protect his own Work.

1.16 TIME OF COMMENCEMENT AND COMPLETION

A. The Contractor shall commence work within five (15) days after being notified in writing to proceed and shall complete the Work within the time limitations established in the Form of Agreement.

1. It is anticipated that construction will start within **45** calendar days after receipt of bids.
2. Construction shall be complete within **145** consecutive calendar days, or earlier, after Notice to Proceed.

PART 2 PRODUCTS (Not Used)

PART 3 EXECUTION

3.01 SCHEDULE OF CONTRACT RESPONSIBILITIES

3.02 GENERAL REQUIREMENTS

A. PROVIDED BY OWNER THROUGH THE CONSTRUCTION MANAGER

Section	01 32 00	Schedules and Reports
Section	01 45 00S	Masonry Inspection Report
Section	01 45 10	Testing Laboratory Services
Section	01 59 10	Project Office
Section	01 71 50	Final Cleaning

B. PROVIDED BY ALL CONTRACTORS AS APPLICABLE

Section	01 12 00	Multiple Contract Summary
Section	01 2 300	Alternates
Section	01 25 00	Contract Modification Procedures
Section	01 28 00	Schedule of Values
Section	01 29 00	Applications for Payment
Section	01 31 00	Project Meetings
Section	01 32 00	Schedules and Reports
Section	01 33 00	Submittal Procedures
Section	01 45 10	Testing Laboratory Services (Paragraph 1.05)
Section	01 50 50	Temporary Facilities and Controls

Section	01 54 60	Environment Protection
Section	01 54 80	Utility Protection
Section	01 56 30	Water Control
Section	01 56 90	Housekeeping & Safety
Section	01 59 20	Offices and Sheds
Section	01 60 00	Product Requirements
Section	01 72 50	Work Layout
Section	01 73 10	Cutting and Patching
Section	01 77 00	Contract Closeout

Autodesk Build is replacing **PlanGrid**. **Autodesk Build** does not require users to purchase a license. **Contractors** will be invited to the project and required to use this tool. **Autodesk Build** will be used as the **Current Set** and **As-Built Record Drawings**. Additionally, it will be used to track **Issues** for **Safety, QA/QC, Non-Compliance Issues, Work Completion List** and **Punch List**.

C. **PROVIDED BY DESIGNATED CONTRACTORS**

Section	01 21 00	Allowances
Section	01 51 10	Temporary Electricity, Lighting and Warning Systems
Section	01 51 30	Temporary Heating, Ventilation and Cooling
Section	01 51 50	Temporary Water
Section	01 51 60	Temporary Sanitary Facilities
Section	01 51 80	Temporary Fire Protection
Section	01 52 10	Construction Aids and Temporary Enclosures
Section	01 52 60	Rubbish Container
Section	01 53 10	Fences (Temporary Security)
Section	01 55 00	Access Roads and Parking Areas
Section	01 57 60	Project Signs
Section	01 72 00	Field Engineering

3.03 BID CATEGORIES

A. **BID CATEGORY NO. 1 – 01 GENERAL TRADES**

General Requirements in Paragraph 3.02.B above.

Section	01 21 00	Allowances
Section	01 51 60	Temporary Sanitary Facilities
Section	01 51 80	Temporary Fire Protection
Section	01 52 10	Construction Aids and Temporary Enclosures
Section	01 52 60	Rubbish Container
Section	01 53 10	Fences (Temporary Security)
Section	01 55 00	Access Roads and Parking Areas
Section	01 57 60	Project Signs
Section	01 72 00	Field Engineering
Section	02 41 19	Selective Demolition
Section	03 20 00	Concrete Reinforcing
Section	03 30 00	Cast-In-Place Concrete

Section	04 05 11	Masonry Mortaring And Grouting
Section	04 20 00	Unit Masonry
Section	05 12 00	Structural Steel Framing
Section	06 10 00	Rough Carpentry
Section	06 40 23	Interior Architectural Woodwork
Section	06 41 16	Plastic-Laminate-Faced Architectural Cabinets
Section	06 61 16	Solid Surfacing Fabrications Section
Section	07 21 00	Thermal Insulation
Section	07 84 13	Penetration Firestopping
Section	07 84 43	Joint Firestopping
Section	07 92 00	Joint Sealants
Section	08 11 13	Hollow Metal Doors And Frames
Section	08 12 43	Fire Resistance Rated Frames
Section	08 14 16	Flush Wood Doors
Section	08 41 13	Aluminum-Framed Entrances And Storefronts
Section	08 71 00	Door Hardware
Section	08 80 00	Glazing
Section	08 88 13	Fire-Rated Glazing
Section	09 22 16	Non-Structural Metal Framing
Section	09 29 00	Gypsum Board
Section	09 30 00	Tiling
Section	09 51 13	Acoustical Panel Ceilings
Section	09 65 13	Resilient Base And Accessories
Section	09 66 23	Resinous Matrix Terrazzo Flooring
Section	09 68 13	Tile Carpeting
Section	09 91 14	Exterior Painting
Section	09 91 23	Interior Painting
Section	09 96 00	High-Performance Coatings
Section	10 11 00	Visual Display Units
Section	10 14 19	Dimensional Letter Signage
Section	10 28 00	Toilet, Bath, And Laundry Accessories
Section	12 24 13	Roller Window Shades
Section	12 36 23.13	Plastic-Laminate-Clad Countertops
Section	12 36 61.16	Solid Surfacing Countertops

B. BID CATEGORY NO. 02 - ROOFING

General Requirements in Paragraph 3.02.B above.

Section	01 21 00	Allowances
Section	01 52 60	Rubish Containers
Section	02 41 19	Selective Demolition
Section	07 01 50.19	Preparation For Reroofing
Section	07 21 00	Thermal Insulation
Section	07 27 13	Modified Bituminous Sheet Air Barriers
Section	07 54 16	Ketone Ethylene Ester - Kee Roofing
Section	07 62 00	Sheet Metal Flashing And Trim
Section	07 71 00	Roof Specialties
Section	07 71 29	Manufactured Roof Expansion Joints

Section	07 72 00	Roof Accessories
Section	07 84 13	Penetration Firestopping
Section	07 92 00	Joint Sealants

C. BID CATEGORY NO. 03 - MECHANICAL

General Requirements in Paragraph 3.02.B above.

Section	01 21 00	Allowances
Section	01 51 30	Temporary Heating, Ventilation and Cooling
Section	01 51 50	Temporary Water
Section	02 41 19	Selective Demolition
Section	07 84 13	Penetration Firestopping
Section	07 92 00	Joint Sealants
Section	22 05 29	Hangers And Supports For Plumbing Piping And Equipment
Section	22 05 53	Identification For Plumbing Piping And Equipment
Section	22 07 19	Plumbing Piping Insulation
Section	22 10 05	Plumbing Piping
Section	22 40 00	Plumbing Fixtures
Section	23 01 30.51	HVAC Air-Distribution System Cleaning
Section	23 05 17	Sleeves And Sleeve Seals For HVAC Piping
Section	23 05 23	General-Duty Valves For HVAC Piping
Section	23 05 29	Hangers And Supports For HVAC Piping And Equipment
Section	23 05 48	Vibration And Seismic Controls For HVAC
Section	23 05 53	Identification For HVAC Piping And Equipment
Section	23 05 93	Testing, Adjusting, And Balancing For HVAC
Section	23 07 13	Duct Insulation
Section	23 07 19	HVAC Piping Insulation
Section	23 08 00	Minimum Commissioning Of HVAC
Section	23 11 23	Facility Natural-Gas Piping
Section	23 21 13	Hydronic Piping
Section	23 21 14	Hydronic Specialties
Section	23 23 00	Refrigerant Piping
Section	23 31 00	HVAC Ducts And Casings
Section	23 33 00	Air Duct Accessories
Section	23 34 16	Centrifugal HVAC Fans
Section	23 37 00	Air Outlets And Inlets
Section	23 62 13	Packaged Air-Cooled Refrigerant Compressor And Condenser Units
Section	23 73 13	Modular Indoor Central-Station Air-Handling Units
Section	23 74 16	Packaged Rooftop Air-Conditioning Units
Section	23 82 00	Convection Heating And Cooling Units

D. BID CATEGORY NO. 04 - ELECTRICAL

General Requirements in Paragraph 3.02.B above.

Section	01 21 00	Allowances
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Section	01 51 10	Temporary Electricity, Lighting and Warning Systems
Section	02 41 19	Selective Demolition
Section	07 84 13	Penetration Firestopping
Section	07 92 00	Joint Sealants
Section	26 00 10	Supplemental Requirements For Electrical
Section	26 05 00	Common Work Results For Electrical
Section	26 05 05	Selective Demolition For Electrical
Section	26 05 19	Low-Voltage Electrical Power Conductors And Cables
Section	26 05 26	Grounding And Bonding For Electrical Systems
Section	26 05 29	Hangers And Supports For Electrical Systems
Section	26 05 33	Raceways And Boxes For Electrical Systems
Section	26 05 33.13	Conduit For Electrical Systems
Section	26 05 33.16	Boxes For Electrical Systems
Section	26 05 33.23	Surface Raceways For Electrical Systems
Section	26 05 44	Sleeves And Sleeve Seals For Electrical Raceways And Cabling
Section	26 05 53	Identification For Electrical Systems
Section	26 05 83	Wiring Connections
Section	26 09 23	Lighting Control Devices
Section	26 24 16	Panelboards
Section	26 27 26	Wiring Devices
Section	26 28 13	Fuses
Section	26 28 16	Enclosed Switches And Circuit Breakers
Section	26 28 16.13	Enclosed Circuit Breakers
Section	26 28 16.16	Enclosed Switches
Section	26 29 13	Enclosed Controllers
Section	26 51 00	Interior Lighting
Section	27 05 00	Common Work Results For Communications
Section	27 05 26	Grounding And Bonding For Communications Systems
Section	27 05 28	Pathways For Communications Systems
Section	27 05 53	Identification For Communications Systems
Section	27 15 13	Communications Copper Horizontal Cabling
Section	27 17 00	Testing, Id And Admin Of Balanced Twisted Pair Infrastructure
Section	28 13 00	Access Control
Section	28 14 00	Access Control System Hardware
Section	28 15 00	Access Control Hardware Devices
Section	28 15 23	Intercom Entry System
Section	28 20 00	Video Surveillance
Section	28 31 00	Fire Detection And Alarm
Section	28 46 00	Fire Detection And Alarm

END OF SECTION 01 12 00

SECTION 01 51 10 - TEMPORARY ELECTRICITY, LIGHTING & WARNING SYSTEMS

PART 1 - GENERAL

1.01 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including amended General Conditions and other Division-1 Specification Sections, apply to work of this Section.

1.02 TEMPORARY ELECTRICAL AND LIGHTING

- A. Provide temporary electric service to each of the areas of construction and provide temporary lighting and power to be used by all trades for all construction work. Tie-in may be made to Owner's existing permanent service provided that such tie-in does not interfere with the Owner's use of the existing building. If power cannot be made available through Owner's existing service, arrange with utility company for temporary service.
 - 1. Maintain the temporary system, relocate the system as required for construction progress, and remove system at completion of Project.
- B. The energy cost of power consumed during construction shall be paid by the OWNER.
- C. Provide sufficient single phase grounded systems for temporary light and power distribution for all trades.
 - 1. The service amperage shall be adequate for the construction of the Project and the testing of the permanent equipment.
 - 2. Temporary lighting shall be sufficient to enable all trades to complete their work. Minimum lighting requirements are one (1) 150-watt A-21 lamp installed per room or in areas over 300 square feet, stringers shall be installed in rows twenty feet (20') apart with lights spaced fifteen feet (15') apart on the stringers. No more than eight (8) lamps shall be installed on any 20-amp circuit. Lamps for temporary lighting shall be provided and maintained by the contractor at his expense. Every temporary lamp outlet must be properly lamped throughout construction; dark or burned-out lamps shall be immediately replaced. Number 12 wire may be used for temporary lighting circuits.
 - a. Additional lighting required to perform the work, and as required by applicable laws, is specified in Section - 01 50 50.
 - 3. Temporary power shall be sufficient to enable all trades to complete their work. A minimum of a two gang, duplex grounded convenience outlet having 3-wire grounded type receptacles shall be installed within seventy-five feet (75') of outside walls and one hundred fifty feet (150') spacing in any direction within the building. They shall be installed in such a manner that a 100' extension cord connection can reach any part of the building, including enclosed areas, such as offices.

4. In addition to the above temporary power and lighting, provide and subsequently remove circuits for:
 - a. Temporary safety lighting and security lighting. Security lights to work at all hours of darkness; safety lighting shall be continuous during working hours.
 - b. Testing and checking permanent equipment.
5. Complete temporary electrical system, including lighting, power outlets, wiring, etc. shall comply with all federal regulations as issued by the Department of Labor dealing with safety and health for construction projects, and any portions of state and local safety and health regulations that are more stringent.

~~D. Provide minimum of 100 AMP service for the Construction Managers Project office trailer. REMOVED IN ADDENDUM 02.~~

- E. Contractors requiring power requirements other than the above or in Division 26, will make arrangements with the Electrical Contractor and pay for any such electrical services. Such services are listed below but not limited to the examples shown:
 1. Power to temporary offices.
 2. Special power for masonry saws or mixers, floor grinders, floor sanders, welders, etc.
 3. Cost of power for temporary electric heat.

1.03 TEMPORARY WARNING SYSTEMS

- A. Contractor shall provide temporary emergency systems, warning systems, and fire alarm systems in accordance with MIOSHA standards. Contractor to provide alarm stations consisting of an area plan showing alarm station location, escape routes to nearby exits, and a distinctive alarm capable of being heard above ambient noise levels. Remove temporary systems after permanent systems are operational. Refer to Specifications Section 01 57 60 for alarm codes to be included on area plan.

PART 2 - PRODUCTS, PART 3 - EXECUTION (Not Used)

END OF SECTION 01 51 10

Edwardsburg Public Schools

Middle School and High School -
Office Renovations and Roofing



LEGEND:

Temp. Fenced-In Job Trailer and Material Lay-Down Area =	
Skillman Jobsite Trailer =	
Contractor Parking Area =	
Temp. Dumpster Area =	
Large Project Sign =	
Project Traffic and Contractor Entrance Signage =	



Site Logistics Plan
Revised 3/24/2025



The SKILLMAN Corporation
Construction Management

TowerPinkster
Architecture · Engineering · Interiors



RFI #	Company Submitting RFI	Date Received	RFI Description	RFI Response
1	CertaSite	3/19/2025	Is the state going to require the renovated area be voice capable? A lot of the time with projects like office reno and secured vestibules the state will require voice.	TP: According to the 2015 Michigan Rehabilitation Code for Existing Buildings, since the renovation is less than 50% of the building and/or less than 50% of the level of the building being renovated, the existing fire alarm system is not required to be upgraded.
2	CertaSite	3/19/2025	If the State requires voice the existing Simplex 4010 system is not voice capable. The customer will need a new FACP and the appropriate equipment. Will the customer allow Honeywell Gamewell FCI?	TP: According to the 2015 Michigan Rehabilitation Code for Existing Buildings, since the renovation is less than 50% of the building and/or less than 50% of the level of the building being renovated, the existing fire alarm system is not required to be upgraded. Provide Simplex fire alarm devices and/or fire alarm devices compatible with the existing Simplex 4010 system.
3	CertaSite	3/19/2025	What CCTV equipment is the customer going to allow? One CCTV spec says Avigilon/Axis and the other spec has several different manufacturers.	TP: CCTV equipment will be Axis.
4	TSC	3/12/2025	Please revise Alternate language on the cover page to mention the window work shown on A102B.	TP: Will revise alternate language to include library window. To be included in Addendum 02.
5	TSC	3/12/2025	Please include the library window work on the demolition and floor plans.	TP: Added notes on overall plans to reference roof plans for work associated with library window. To be included in Addendum 02.
6	TSC	3/13/2025	Please provide a 3' wide opening (minimum) in the MS Office mezzanine wall.	TSC: Bid Category #1 - General Trades shall provide a minimum 4' wide by full height opening in the MS Office mezzanine wall for mechanical equipment and ductwork demolition and installation of new items. Bid Category #1 - General Trades shall be responsible for protecting existing conditions and restoring the wall back to its original condition.
7	TSC	3/17/2025	Temporary Lay-down Area clarification.	TSC: Bid Category #1 - General Trades shall provide stripping and 6" stone and compaction of the temporary Material Lay-Down Area (200'x100') and small walking path (40'x10') as indicated on the Revised Site Logistics Plan dated 3/24/2025. The Skillman Corporation will provide the temporary fencing as indicated. Bid Category #1 shall maintain the stone lay-down areas and temp. fencing throughout the project per the Skillman Site Manager's direction. The temporary stone and fencing will be removed by a separate contractor at a later time.
8	Olson Architectural Products	3/19/2025	High School door schedule Doors C146A and C146B: a. These openings exceed the 13' max for hollow metal openings b. Hollow metal framing does not meet ASTM E119 c. Since these openings exceed 25% of the rated wall, they must meet ASTM E119 which requires glazing and framing be tested as an assembly. Recommendation: Use SAFTI First GPX framing with our specified Superlite IIXL 60 glazing (See data sheet attached)	TP: Adjusting to aluminum frames and doors, added a fire rated frame spec that includes Safti First GPX frame as an option. Will be included in Addendum 02.
9	Olson Architectural Products	3/19/2025	Middle School door schedule Door 137B: a. This opening exceeds hollow metals 13' max b. This opening exceeds 25% of the rate wall so it needs to meet ASTM E119. Recommendation: Use SAFTI First GPX framing with our specified Superlite IIXL 60. Also note that Vetrotech, which is specified in para 2.4.D.2 is out of business.	TP: Adjusting to aluminum frames and doors, added a fire rated frame spec that includes Safti First GPX frame as an option. Will be included in Addendum 02.
10	H&G	3/20/2025	On sheet E 301 there is note that calls for removing an existing conduit and wire from the roof to be replaced after re-roofing. Is there any time restrictions as to how long this feed can be down? In the event that the existing wiring is damaged when being removed, should we assume that it will have to be replaced with new at the contractors expense?	TP: Coordinate all power disconnects and durations of down time with the owner. Notify A/E if scheduled down time is unacceptable. Damaged elements that are noted for reuse must be repaired or replaced to original/working condition at contractor's expense.
11	H&G	3/20/2025	Can you give us the sizes of the existing conduit and wire on the roof that calls to be removed and replaced for new roofing? Can this existing conduit go back on the roof as is (rusty)?	TP: Based on existing drawings, this is most likely the 3P400A feeder for High School panel DP added during the 1999 addition. Plans indicate 4#500kcm, 3-1/2" conduit. Yes, instructions for refurbishment of existing rooftop conduit will be issued in Addendum 02.
12	Hi-Tech	3/21/2025	On sheet E301, It shows us removing some existing conduits on the roof and replacing them. Do we know the conduit and wire size? Also, 3 of them don't show the entire routing of the conduit, is it just replacing the to where their shown?	TP: Based on existing drawings, this is most likely the 3P400A feeder for High School panel DP added during the 1999 addition. Plans indicate 4#500kcm, 3-1/2" conduit. Entire length of rooftop portion of conduit shown on drawings, will clarify scope as much as possible in Addendum 02. Contractor to field verify exact conditions prior to start of work.
13	Hi-Tech	3/21/2025	On sheet E100, there are notes stating that Card Access and Sound System equipment will be furnished and installed by others and rough-in will be by Electrical Contractor. Please confirm.	TP: Yes, E.C. to provide all raceways for IT/Data/Security devices and equipment. Refer to T-series sheets for details.
14	H&G	3/24/2025	We cannot find what the OL symbol is on sheet T101C is. Can we please get this clarified?	TP: This is an office only lockdown down button. That will lock doors C146B, C146C.
15	Gibson-Lewis	3/24/2025	Please clarify if the wood blocking on the Roof Plans is installed by General Trades or the Roofing Bid Category.	TSC: All wood blocking required for new roofing installation shall be furnished and installed by Bid Category #2 - Roofing.
16	Interior Finishes	3/24/2025	On Middle School Sheet I101C: Please clarify finish for Health C147 & Toilet C137. On Middle School Sheet I101C: C149 Work/Copy room calls for CPTL-2 the adjacent Corridor C148 calls for CPTL-1. Please clarify the location to transition between these two carpets.	TP: Please note that these rooms are in the high school, not the middle school as the question states. The callout bubbles surrounding Health C147 & Toilet C137 direct you to look at sheet I 401 for finish information. Please refer to I 401 for finish information in these spaces. Please align the transition between both carpet tiles at the edge of the north wall of the Work/Copy room

ADDENDUM NO. 2

DATE OF ISSUANCE: March 25, 2025

PROJECT: Edwardsburg Middle School - Renovation
69230 Section St
Edwardsburg, MI 49112

OWNER: Edwardsburg Public Schools

ARCHITECT'S PROJECT NO.: 21-201.040

ORIGINAL BID ISSUE DATE: February 24, 2025

SCOPE OF WORK

This Addendum includes changes to, or clarifications of, the original Bidding Documents and any previously issued addenda, and shall be included in the Bid. All of these Addendum items form a part of the Contract Documents. The Bidder shall acknowledge receipt of this Addendum in the appropriate space provided on the Bid Form. Failure to do so may result in disqualification of the Bid.

DOCUMENTS INCLUDED IN THIS ADDENDUM

This Addendum includes **2** pages of text and the following documents:

- Bidding Documents: **None**
- Contract Conditions: **None**
- Specification Sections: **07 5419, 08 1243, 28 2300**
Drawings: **A 501**

CHANGES TO PREVIOUSLY ISSUED ADDENDA

None.

CHANGES TO SPECIFICATIONS

ADD-2 Item No. S-1 - Spec removed from Project manual.

Refer to Specification Section: 07 5419 Polyvinyl-Chloride (PVC) Roofing, 28 2300 Video Surveillance

Specification listed above shall not be included in the project. All roofing membranes shall use and reference 075419 Ketone Ethylene Ester – KEE Roofing. All Video Surveillance should use 28 2000.

ADD-2 Item No. S-2 - Added spec for fire rated frames

Refer to Specification Section: 08 1243 Fire Resistance Rated Frames

CHANGES TO DRAWINGS

ADD-2 Item No. D-1 - Adjusted door frame type

Refer to Sheet(s): A 501

Changed 2 hollow metal frames to be aluminum to meet ASTM E119, D137B and D142A

Changed D143A and D143B door type.

END OF ADDENDUM.

SECTION 08 1243 - FIRE-RESISTANCE-RATED FRAMES

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes frames for glazing and doors capable of resisting fire and the transfer of radiant heat.
- B. Related Sections:
 - 1. Section 08 1113 "Hollow Metal Doors and Frames" for non-fire-rated and fire-protection-rated doors and frames of steel construction.
 - 2. Section 08 8813 "Fire-Rated Glazing" for glazing installed in fire-resistance-rated frames.

1.2 DEFINITIONS

- A. Fire-Protection-Rated Assemblies: Assemblies consisting of rated framing, doors, and openings up to 45 minutes, limited in size, and not capable of blocking radiant heat.
- B. Fire-Resistance-Rated Assemblies: Assemblies consisting of rated framing, doors, and openings that prevents spread of fire and smoke and radiant heat; used in rated wall and door applications 60 minutes and above without size limitations.

1.3 COORDINATION

- A. Coordinate anchorage installation for fire-resistance-rated frames. Furnish setting drawings, templates, and directions for installing anchorages, including sleeves, concrete inserts, anchor bolts, and items with integral anchors. Deliver such items to Project site in time for installation.
- B. Coordinate requirements for installation of door hardware, electrified door hardware, and access control and security systems.

1.4 ACTION SUBMITTALS

- A. Product Data: For each type of product.
- B. Sustainable Design Submittals:
 - 1. For products having recycled content, documentation indicating percentages by weight of postconsumer and preconsumer recycled content. Include statement indicating cost for each product having recycled content.
 - 2. Environmental product declarations for fire-resistance-rated frames.
- C. Shop Drawings: Include frame details for each frame type, including dimensioned profiles and metal thicknesses.

- D. Product Schedule: For fire-resistance-rated frames, prepared by or under the supervision of supplier, using same reference numbers for details and openings as those on Drawings. Coordinate with final door hardware schedule.

1.5 DELIVERY, STORAGE, AND HANDLING

- A. Deliver fire-resistance-rated frames palletized, packaged, or crated to provide protection during transit and Project-site storage. Do not use nonvented plastic.
 - 1. Provide additional protection to prevent damage to factory-finished units.
- B. Deliver welded frames that include doors with two removable spreader bars across bottom of frames, tack welded to jambs and mullions.
- C. Store fire-resistance-rated frames vertically under cover at Project site with head up. Place on minimum 4-inch-high wood blocking.

PART 2 - PRODUCTS

2.1 PERFORMANCE REQUIREMENTS

- A. Fire-Rated Assemblies: Listed and labeled by a qualified testing agency acceptable to authorities having jurisdiction for fire-protection ratings indicated, based on testing as an assembly complying with ASTM E119 or UL 263.
 - 1. Smoke- and Draft-Control Assemblies: Provide assemblies with gaskets listed and labeled for smoke and draft control by a qualified testing agency acceptable to authorities having jurisdiction, based on testing according to UL 1784 and installed in compliance with NFPA 105.

2.2 FIRE-RESISTANCE-RATED FRAMES

- A. Fire-Resistance-Rated Frames: Steel or aluminum frames with proprietary intumescent fire-resistant materials as follows:
 - 1. Products: Subject to compliance with requirements, provide one of the following:
 - a. Aluflam North America; Fire Rated Aluminum Storefront Vision Walls
 - b. Curries Company; ASSA ABLOY; Contraflam.
 - c. SAFTI FIRST Fire Rated Glazing Solutions; GPX Architectural Series.
 - d. Technical Glass Products; Fireframes Heat Barrier Series.
 - 2. Fire Rating: As indicated on Drawings.
 - 3. Finish: Refer to drawings

2.3 FRAME ANCHORS

- A. Jamb Anchors:

1. Type: Anchors of minimum size and type required by applicable door and frame standard, and suitable for performance level indicated.
 2. Quantity: Minimum of three anchors per jamb, with one additional anchor for frames with no floor anchor. Provide one additional anchor for each 24 inches of frame height above 7 feet.
 3. Postinstalled Expansion Anchor: Minimum 3/8-inch- diameter bolts with expansion shields or inserts, with manufacturer's standard pipe spacer.
- B. Floor Anchors: Provide floor anchors for each jamb and mullion that extends to floor.

2.4 FABRICATION

- A. Fire-Resistance-Rated Frames: Fabricate in one piece except where handling and shipping limitations require multiple sections. Where frames are fabricated in sections, provide alignment plates or angles at each joint, fabricated of metal of same or greater thickness as frames.
1. Provide countersunk, flat- or oval-head exposed screws and bolts for exposed fasteners unless otherwise indicated.
- B. Hardware Preparation: Factory prepare hollow-metal doors and frames to receive templated mortised hardware, and electrical wiring; include cutouts, reinforcement, mortising, drilling, and tapping according to SDI A250.6, the Door Hardware Schedule, and templates.
1. Reinforce doors and frames to receive nontemplated, mortised, and surface-mounted door hardware.
 2. Comply with BHMA A156.115 for preparing frames for hardware.
- C. Glazed Lites: Provide stops and moldings around glazed lites where indicated. Form corners of stops and moldings with butted or mitered hairline joints.
1. Provide stops and moldings flush with face of door, and with square stops unless otherwise indicated.
 2. Provide fixed frame moldings on outside of exterior and on secure side of interior doors and frames. Provide loose stops and moldings on inside of hollow-metal doors and frames.
 3. Coordinate rabbet width between fixed and removable stops with glazing and installation types indicated.
 4. Provide stops for installation with countersunk flat- or oval-head machine screws spaced uniformly not more than 9 inches o.c. and not more than 2 inches o.c. from each corner.

PART 3 - EXECUTION

3.1 PREPARATION

- A. Remove welded-in shipping spreaders installed at factory. Restore exposed finish by grinding, filling, and dressing, as required to make repaired area smooth, flush, and invisible on exposed faces. Touch up factory-applied finishes where spreaders are removed.
- B. Drill and tap doors and frames to receive nontemplated, mortised, and surface-mounted door hardware.

3.2 INSTALLATION

- A. General: Install fire-resistance-rated frames plumb, rigid, properly aligned, and securely fastened in place. Comply with approved Shop Drawings and with manufacturer's written instructions.
- B. Fire-Resistance-Rated Frames: Comply with ANSI/SDI A250.11.
 - 1. Set frames accurately in position; plumbed, aligned, and braced securely until permanent anchors are set. After wall construction is complete, remove temporary braces without damage to completed Work.
 - a. Where frames are fabricated in sections, field splice at approved locations by welding face joint continuously; grind, fill, dress, and make splice smooth, flush, and invisible on exposed faces. Touch-up finishes.
 - b. Install frames with removable stops located on secure side of opening.
 - 2. Floor Anchors: Secure with postinstalled expansion anchors.
 - a. Floor anchors may be set with power-actuated fasteners instead of postinstalled expansion anchors if so indicated and approved on Shop Drawings.
 - 3. In-Place Concrete or Masonry Construction: Secure frames in place with postinstalled expansion anchors. Countersink anchors, and fill and make smooth, flush, and invisible on exposed faces.
 - 4. In-Place Metal or Wood-Stud Partitions: Secure frames in place with postinstalled expansion anchors through floor anchors at each jamb. Countersink anchors, and fill and make smooth, flush, and invisible on exposed faces.
 - 5. Installation Tolerances: Adjust hollow-metal frames to the following tolerances:
 - a. Squareness: Plus or minus 1/16 inch, measured at door rabbet on a line 90 degrees from jamb perpendicular to frame head.
 - b. Alignment: Plus or minus 1/16 inch, measured at jambs on a horizontal line parallel to plane of wall.
 - c. Twist: Plus or minus 1/16 inch, measured at opposite face corners of jambs on parallel lines, and perpendicular to plane of wall.
 - d. Plumbness: Plus or minus 1/16 inch, measured at jambs at floor.
- C. Glazing: Comply with installation requirements in Section 08 8000 "Glazing" and with hollow-metal manufacturer's written instructions.

3.3 CLEANING AND TOUCHUP

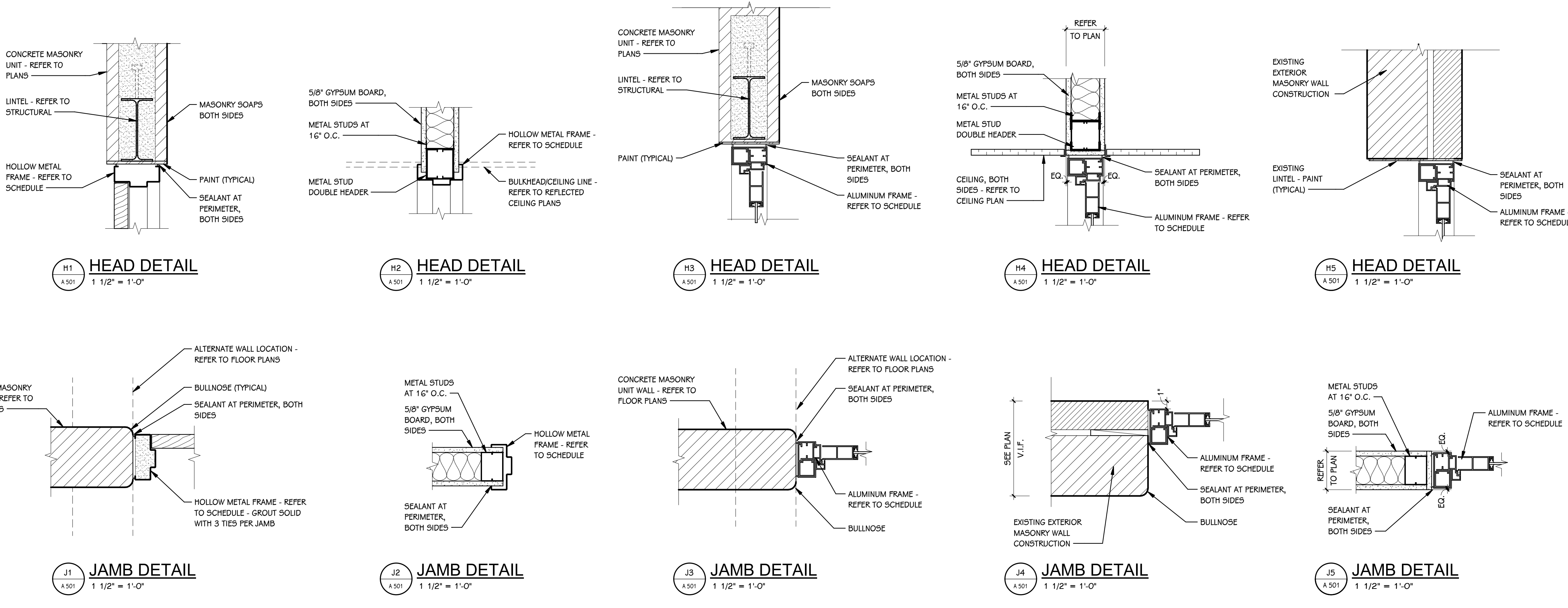
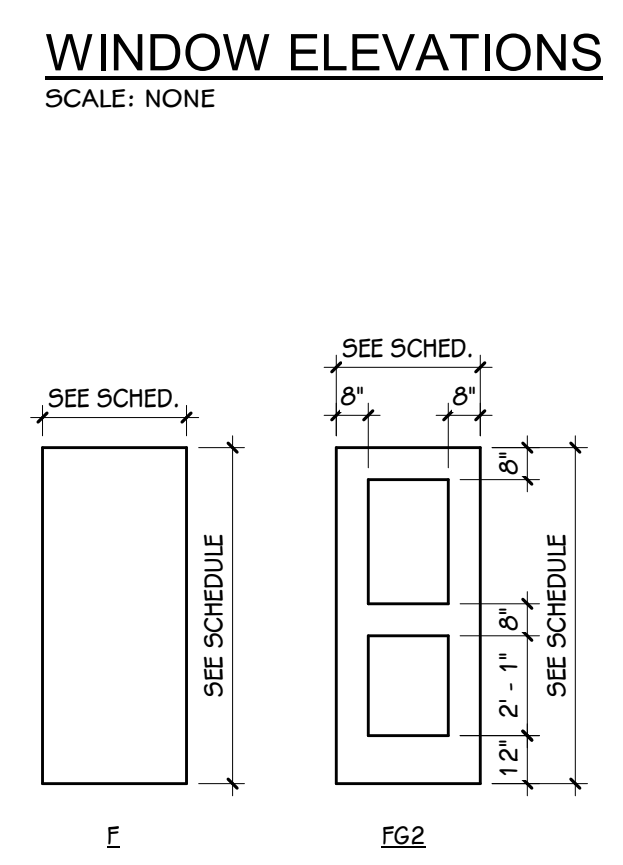
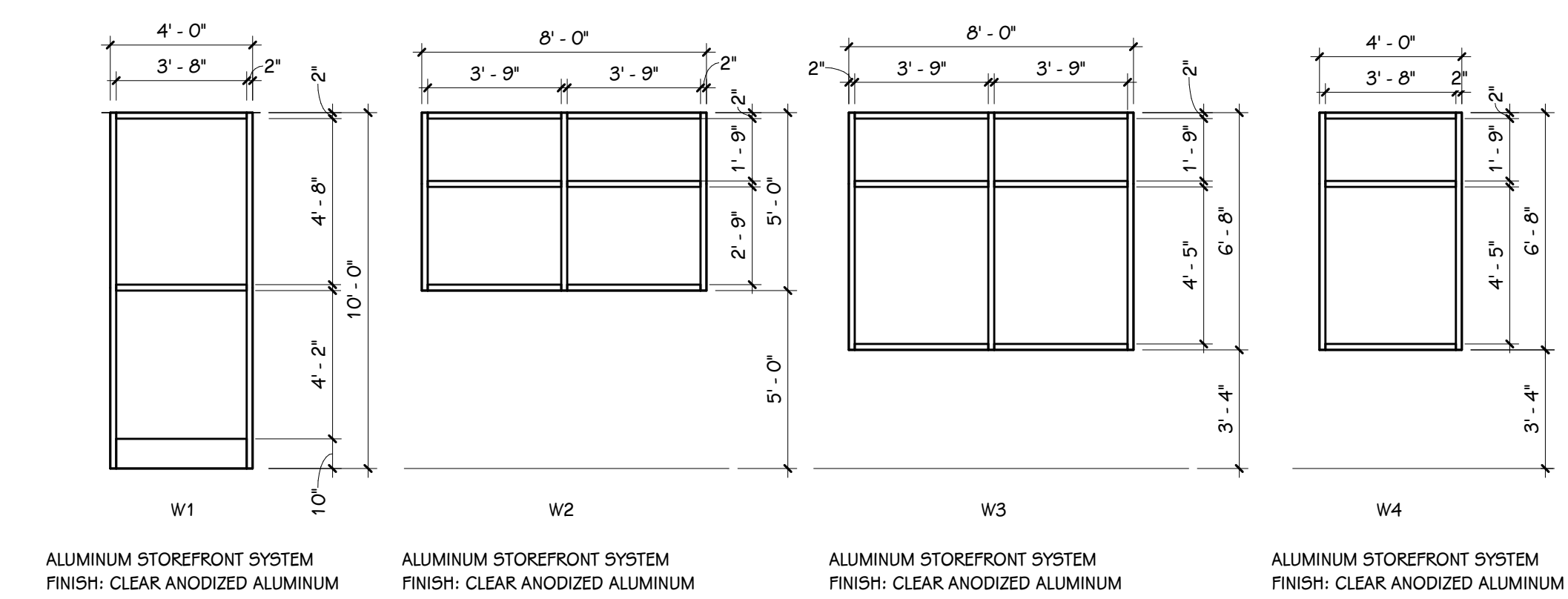
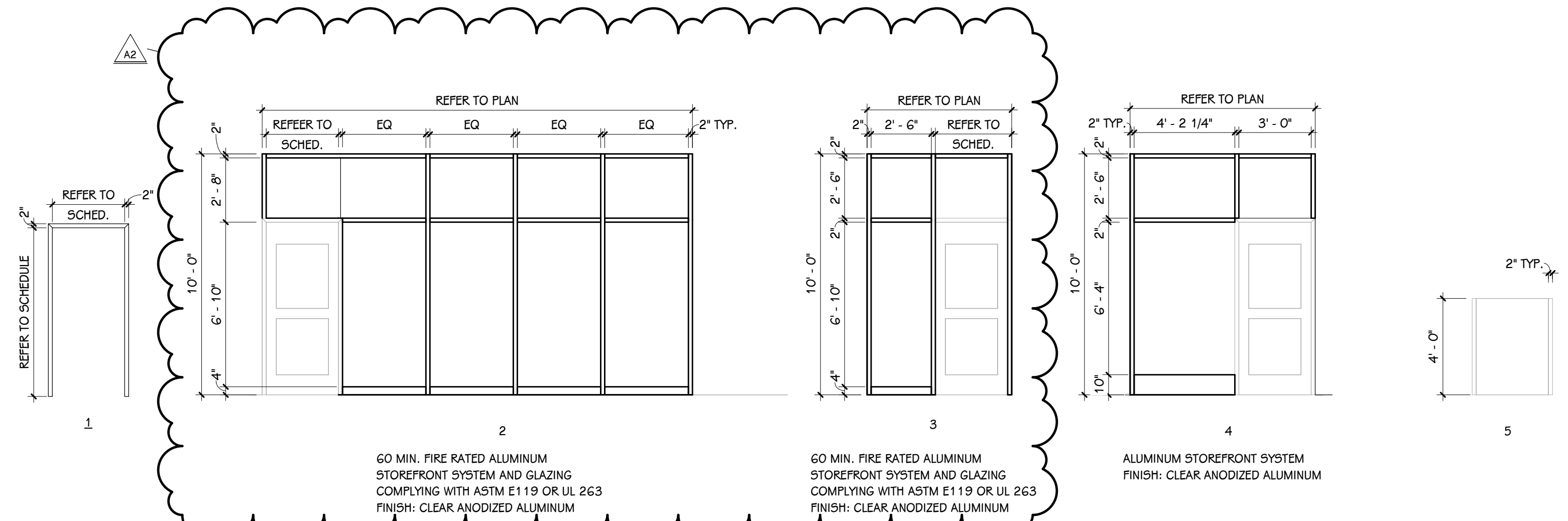
- A. Prime-Coat Touchup: Immediately after erection, sand smooth rusted or damaged areas of prime coat and apply touchup of compatible air-drying, rust-inhibitive primer.

END OF SECTION 08 1243

FIRST FLOOR DOOR SCHEDULE

NUMBER	DOOR	ROOM	ROOM NAME	FIRE RATING		DOOR			SIZE		FRAME			DETAILS			GLASS	ACCESS CONTROLS					HDWR. SET	REMARKS
				DOOR	FRAME	TYPE	MAT	FIN	WIDTH	HEIGHT	ELEV	MAT	FIN	HEAD	JAMB	SILL		A-PHONE	BARRIER-F REE	CARD READER	ELEC. LOCK HDWR.	MAG HOLD		
A123	A123	CHILL		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	1	HM	P-6	H1	J1	-	-	No	No	No	No	No	02	-
A126	A126	CHILL		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	1	HM	P-6	H1	J1	-	-	No	No	No	No	No	02	-
A129A	A129	SPECIAL EDUCATION		20 MIN.	20 MIN.	FG2	WD	PREFIN	3'-0"	7'-2"	1	HM	P-6	H2	J2	-	-	No	No	No	No	No	07	2
A129B	A129	SPECIAL EDUCATION		20 MIN.	20 MIN.	F	WD	PREFIN	3'-0"	7'-2"	1	HM	P-6	H1	J1	-	-	No	No	No	No	No	08	-
A130A	A130	SPECIAL EDUCATION		20 MIN.	20 MIN.	FG2	WD	PREFIN	3'-0"	7'-2"	1	HM	P-6	H2	J2	-	-	No	No	No	No	No	07	2
A130B	A130	SPECIAL EDUCATION		30 MIN.	30 MIN.	F	WD	PREFIN	3'-0"	7'-2"	1	HM	P-6	H1	J1	-	-	No	No	No	No	No	08	-
D136A	D137	RECEPTION / WAITING		20 MIN.	60 MIN.	FG2	AL	ANOD	3'-0"	7'-2"	1	AL	ANOD	H3	J3	-	-	No	No	Yes	Yes	No	12	1,2
D137	D137	RECEPTION / WAITING		20 MIN.	20 MIN.	F	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H1	J1	-	-	No	No	Yes	Yes	No	12	-
D136	D136	OA FILES		45 MIN.	45 MIN.	F	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H1	J1	-	-	No	No	No	No	No	06	-
D139	D139	HEALTH		-	-	F	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H1	J1	-	-	No	No	No	No	No	05	-
D140	D140	TOILET		-	-	F	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H2	J2	-	-	No	No	No	No	No	04	-
D141A	D141	WORK / COPY		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H2	J2	-	-	No	No	No	No	No	05	-
D141B	D141	WORK / COPY		20 MIN.	20 MIN.	F	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H1	J1	-	-	No	No	No	No	No	05	-
D142A	D142	RECEPTION / WAITING		20 MIN.	60 MIN.	FG2	AL	ANOD	3'-0"	7'-2"	1	AL	ANOD	H3	J3	-	-	No	No	Yes	Yes	No	12	1,2
D142B	D142	RECEPTION / WAITING		20 MIN.	20 MIN.	F	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H1	J1	-	-	No	No	Yes	Yes	No	12	-
D143A	D143	VEST.		-	-	FG2	AL	ANOD	3'-0"	7'-2"	4	AL	ANOD	H4	J4	-	-	No	No	Yes	Yes	No	09	-
D143B	D143	VEST.		-	-	FG2	AL	ANOD	3'-0"	7'-2"	1	AL	ANOD	H5	J4	-	-	Yes	No	Yes	Yes	No	14	-
D144A	D144	CONF		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H2	J2	-	-	No	No	No	No	No	03	-
D144B	D144	CONF		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H2	J2	-	-	No	No	No	No	No	03	-
D146	D146	COUNSELOR		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H2	J2	-	-	No	No	No	No	No	03	-
D147	D147	COUNSELOR		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H2	J2	-	-	No	No	No	No	No	03	-
D148A	D148	CONFERENCE		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H1	J1	-	-	No	No	No	No	No	03	-
D148B	D148	CONFERENCE		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H1	J1	-	-	No	No	No	No	No	03	-
D152	D152	PRINCIPAL		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H2	J2	-	-	No	No	No	No	No	03	-
D153	D153	STORAGE		45 MIN.	45 MIN.	F	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H1	J1	-	-	No	No	No	No	No	06	-
D154	D154	OFFICE		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H2	J2	-	-	No	No	No	No	No	03	-
D155	D155	ASSISTANT PRINCIPAL		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H2	J2	-	-	No	No	No	No	No	03	-
D156	D156	OFFICE		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H2	J2	-	-	No	No	No	No	No	03	-

REMARKS:
 1.) 60 MIN. FIRE RATED ALUMINUM STOREFRONT SYSTEM AND GLAZING COMPLYING WITH ASTM E119 OR UL 263.
 2.) 45 MIN. RATED GLAZING IN DOOR PANEL.



ADDENDUM #2 03-25-2025
 ISSUED FOR DATE

PROJECT TITLE
 EDWARDSBURG MIDDLE SCHOOL

OWNER
 EDWARDSBURG PUBLIC SCHOOLS

SHEET TITLE
 DOOR SCHEDULES

Edwardsburg, Michigan

DATE
 FEBRUARY 24, 2025
 SHEET NUMBER
A 501
 21-201.040

ADDENDUM NO. 2

DATE OF ISSUANCE: March 25, 2025

PROJECT: Edwardsburg High School - Renovation
69358 Section St
Edwardsburg, MI 49112

OWNER: Edwardsburg Public Schools

ARCHITECT'S PROJECT NO.: 21-201.060

ORIGINAL BID ISSUE DATE: February 24, 2025

SCOPE OF WORK

This Addendum includes changes to, or clarifications of, the original Bidding Documents and any previously issued addenda, and shall be included in the Bid. All of these Addendum items form a part of the Contract Documents. The Bidder shall acknowledge receipt of this Addendum in the appropriate space provided on the Bid Form. Failure to do so may result in disqualification of the Bid.

DOCUMENTS INCLUDED IN THIS ADDENDUM

This Addendum includes **2** pages of text and the following documents:

- Bidding Documents: **None**
- Contract Conditions: **None**
- Specification Sections: **07 5419, 08 1243, 09 9114, 28 2300**
Drawings: **G 001, AD 101, A 101, A 501, E 301**

CHANGES TO PREVIOUSLY ISSUED ADDENDA

None.

CHANGES TO SPECIFICATIONS

ADD-2 Item No. S-1 - Spec removed from Project manual.

Refer to Specification Section: 07 5419 Polyvinyl-Chloride (PVC) Roofing, 28 2300 Video Surveillance

Specification listed above shall not be included in the project. All roofing membranes shall use and reference 075419 Ketone Ethylene Ester – KEE Roofing. All Video Surveillance should use 28 2000.

ADD-2 Item No. S-2 - Added spec for fire rated frames

Refer to Specification Section: 08 1243 Fire Resistance Rated Frames

ADD-2 Item No. S-3 - Added spec for exterior painting

Refer to Specification Section: 09 9114 Exterior Painting for roof top conduit painting

CHANGES TO DRAWINGS

ADD-2 Item No. D-1 - Update alternate language

Refer to Sheet(s): G 001

Added language to include reference to the clerestory window in the library to be replaced in the alternate.

ADD-2 Item No. D-2 - Clarified scope of demolition

Refer to Sheet(s): AD 101

Added note for clarity, identifying scope of demo work also shown on roof demolition plan.

ADD-2 Item No. D-3 - Clarified scope of new work

Refer to Sheet(s): A 101

Added note for clarity, identifying scope of new work also shown on roof plan.

ADD-2 Item No. D-4 - Adjusted door frame type

Refer to Sheet(s): A 501

Changed 2 hollow metal frames to be aluminum to meet ASTM E119, C146A and C146B

ADD-2 Item No. D-5 - Clarified scope of work

Refer to Sheet(s): E 301

Added notes and images for clarity, identifying scope of work as shown on plan.

END OF ADDENDUM.

SECTION 08 1243 - FIRE-RESISTANCE-RATED FRAMES

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes frames for glazing and doors capable of resisting fire and the transfer of radiant heat.
- B. Related Sections:
 - 1. Section 08 1113 "Hollow Metal Doors and Frames" for non-fire-rated and fire-protection-rated doors and frames of steel construction.
 - 2. Section 08 8813 "Fire-Rated Glazing" for glazing installed in fire-resistance-rated frames.

1.2 DEFINITIONS

- A. Fire-Protection-Rated Assemblies: Assemblies consisting of rated framing, doors, and openings up to 45 minutes, limited in size, and not capable of blocking radiant heat.
- B. Fire-Resistance-Rated Assemblies: Assemblies consisting of rated framing, doors, and openings that prevents spread of fire and smoke and radiant heat; used in rated wall and door applications 60 minutes and above without size limitations.

1.3 COORDINATION

- A. Coordinate anchorage installation for fire-resistance-rated frames. Furnish setting drawings, templates, and directions for installing anchorages, including sleeves, concrete inserts, anchor bolts, and items with integral anchors. Deliver such items to Project site in time for installation.
- B. Coordinate requirements for installation of door hardware, electrified door hardware, and access control and security systems.

1.4 ACTION SUBMITTALS

- A. Product Data: For each type of product.
- B. Sustainable Design Submittals:
 - 1. For products having recycled content, documentation indicating percentages by weight of postconsumer and preconsumer recycled content. Include statement indicating cost for each product having recycled content.
 - 2. Environmental product declarations for fire-resistance-rated frames.
- C. Shop Drawings: Include frame details for each frame type, including dimensioned profiles and metal thicknesses.

- D. Product Schedule: For fire-resistance-rated frames, prepared by or under the supervision of supplier, using same reference numbers for details and openings as those on Drawings. Coordinate with final door hardware schedule.

1.5 DELIVERY, STORAGE, AND HANDLING

- A. Deliver fire-resistance-rated frames palletized, packaged, or crated to provide protection during transit and Project-site storage. Do not use nonvented plastic.
 - 1. Provide additional protection to prevent damage to factory-finished units.
- B. Deliver welded frames that include doors with two removable spreader bars across bottom of frames, tack welded to jambs and mullions.
- C. Store fire-resistance-rated frames vertically under cover at Project site with head up. Place on minimum 4-inch-high wood blocking.

PART 2 - PRODUCTS

2.1 PERFORMANCE REQUIREMENTS

- A. Fire-Rated Assemblies: Listed and labeled by a qualified testing agency acceptable to authorities having jurisdiction for fire-protection ratings indicated, based on testing as an assembly complying with ASTM E119 or UL 263.
 - 1. Smoke- and Draft-Control Assemblies: Provide assemblies with gaskets listed and labeled for smoke and draft control by a qualified testing agency acceptable to authorities having jurisdiction, based on testing according to UL 1784 and installed in compliance with NFPA 105.

2.2 FIRE-RESISTANCE-RATED FRAMES

- A. Fire-Resistance-Rated Frames: Steel or aluminum frames with proprietary intumescent fire-resistant materials as follows:
 - 1. Products: Subject to compliance with requirements, provide one of the following:
 - a. Aluflam North America; Fire Rated Aluminum Storefront Vision Walls
 - b. Curries Company; ASSA ABLOY; Contraflam.
 - c. SAFTI FIRST Fire Rated Glazing Solutions; GPX Architectural Series.
 - d. Technical Glass Products; Fireframes Heat Barrier Series.
 - 2. Fire Rating: As indicated on Drawings.
 - 3. Finish: Refer to drawings

2.3 FRAME ANCHORS

- A. Jamb Anchors:

1. Type: Anchors of minimum size and type required by applicable door and frame standard, and suitable for performance level indicated.
 2. Quantity: Minimum of three anchors per jamb, with one additional anchor for frames with no floor anchor. Provide one additional anchor for each 24 inches of frame height above 7 feet.
 3. Postinstalled Expansion Anchor: Minimum 3/8-inch- diameter bolts with expansion shields or inserts, with manufacturer's standard pipe spacer.
- B. Floor Anchors: Provide floor anchors for each jamb and mullion that extends to floor.

2.4 FABRICATION

- A. Fire-Resistance-Rated Frames: Fabricate in one piece except where handling and shipping limitations require multiple sections. Where frames are fabricated in sections, provide alignment plates or angles at each joint, fabricated of metal of same or greater thickness as frames.
1. Provide countersunk, flat- or oval-head exposed screws and bolts for exposed fasteners unless otherwise indicated.
- B. Hardware Preparation: Factory prepare hollow-metal doors and frames to receive templated mortised hardware, and electrical wiring; include cutouts, reinforcement, mortising, drilling, and tapping according to SDI A250.6, the Door Hardware Schedule, and templates.
1. Reinforce doors and frames to receive nontemplated, mortised, and surface-mounted door hardware.
 2. Comply with BHMA A156.115 for preparing frames for hardware.
- C. Glazed Lites: Provide stops and moldings around glazed lites where indicated. Form corners of stops and moldings with butted or mitered hairline joints.
1. Provide stops and moldings flush with face of door, and with square stops unless otherwise indicated.
 2. Provide fixed frame moldings on outside of exterior and on secure side of interior doors and frames. Provide loose stops and moldings on inside of hollow-metal doors and frames.
 3. Coordinate rabbet width between fixed and removable stops with glazing and installation types indicated.
 4. Provide stops for installation with countersunk flat- or oval-head machine screws spaced uniformly not more than 9 inches o.c. and not more than 2 inches o.c. from each corner.

PART 3 - EXECUTION

3.1 PREPARATION

- A. Remove welded-in shipping spreaders installed at factory. Restore exposed finish by grinding, filling, and dressing, as required to make repaired area smooth, flush, and invisible on exposed faces. Touch up factory-applied finishes where spreaders are removed.
- B. Drill and tap doors and frames to receive nontemplated, mortised, and surface-mounted door hardware.

3.2 INSTALLATION

- A. General: Install fire-resistance-rated frames plumb, rigid, properly aligned, and securely fastened in place. Comply with approved Shop Drawings and with manufacturer's written instructions.
- B. Fire-Resistance-Rated Frames: Comply with ANSI/SDI A250.11.
 - 1. Set frames accurately in position; plumbed, aligned, and braced securely until permanent anchors are set. After wall construction is complete, remove temporary braces without damage to completed Work.
 - a. Where frames are fabricated in sections, field splice at approved locations by welding face joint continuously; grind, fill, dress, and make splice smooth, flush, and invisible on exposed faces. Touch-up finishes.
 - b. Install frames with removable stops located on secure side of opening.
 - 2. Floor Anchors: Secure with postinstalled expansion anchors.
 - a. Floor anchors may be set with power-actuated fasteners instead of postinstalled expansion anchors if so indicated and approved on Shop Drawings.
 - 3. In-Place Concrete or Masonry Construction: Secure frames in place with postinstalled expansion anchors. Countersink anchors, and fill and make smooth, flush, and invisible on exposed faces.
 - 4. In-Place Metal or Wood-Stud Partitions: Secure frames in place with postinstalled expansion anchors through floor anchors at each jamb. Countersink anchors, and fill and make smooth, flush, and invisible on exposed faces.
 - 5. Installation Tolerances: Adjust hollow-metal frames to the following tolerances:
 - a. Squareness: Plus or minus 1/16 inch, measured at door rabbet on a line 90 degrees from jamb perpendicular to frame head.
 - b. Alignment: Plus or minus 1/16 inch, measured at jambs on a horizontal line parallel to plane of wall.
 - c. Twist: Plus or minus 1/16 inch, measured at opposite face corners of jambs on parallel lines, and perpendicular to plane of wall.
 - d. Plumbness: Plus or minus 1/16 inch, measured at jambs at floor.
- C. Glazing: Comply with installation requirements in Section 08 8000 "Glazing" and with hollow-metal manufacturer's written instructions.

3.3 CLEANING AND TOUCHUP

- A. Prime-Coat Touchup: Immediately after erection, sand smooth rusted or damaged areas of prime coat and apply touchup of compatible air-drying, rust-inhibitive primer.

END OF SECTION 08 1243

SECTION 09 9114 - EXTERIOR PAINTING

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes: Surface preparation and application of paint systems on exterior substrates.
 - 1. Surface preparation and application of paint systems on the following exterior substrates:
 - a. Steel and iron.
 - b. Galvanized metal.

1.2 ACTION SUBMITTALS

- A. Product Data: For each type of product.
 - 1. Include preparation requirements and application instructions.
 - 2. Include printout of current "MPI Approved Products List" for each product category specified, with the proposed product highlighted.
- B. Samples for Initial Selection: For each type of topcoat product.
- C. Samples for Verification: For each type of paint system and each color and gloss of topcoat.
 - 1. Submit Samples on rigid backing, 8 inches square.
 - 2. Apply coats on Samples in steps to show each coat required for system.
 - 3. Label each coat of each Sample.
 - 4. Label each Sample for location and application area.
- D. Product List: Cross-reference to paint system and locations of application areas. Use same designations indicated on Drawings and in the Exterior Painting Schedule to cross-reference paint systems specified in this Section. Include color designations.

1.3 INFORMATIONAL SUBMITTALS

- A. Qualification Data: For qualified Installer.

1.4 MAINTENANCE MATERIAL SUBMITTALS

- A. Furnish extra materials that match products installed and that are packaged with protective covering for storage and identified with labels describing contents.
 - 1. Paint: 5 percent, but not less than 1 gal. of each material and color applied.

1.5 QUALITY ASSURANCE

- A. Regulatory Requirements: Comply with EPA requirements for lead-based paint activities and renovation for portions of the building built prior to 1978.
- B. Installer Qualifications: Certified by EPA to conduct lead-based paint activities and renovation.

1.6 DELIVERY, STORAGE, AND HANDLING

- A. Store materials not in use in tightly covered containers in well-ventilated areas with ambient temperatures continuously maintained at not less than 45 deg F.
 - 1. Maintain containers in clean condition, free of foreign materials and residue.
 - 2. Remove rags and waste from storage areas daily.

1.7 FIELD CONDITIONS

- A. Apply paints only when temperature of surfaces to be painted and ambient air temperatures are between 50 and 95 deg F.
- B. Do not apply paints in snow, rain, fog, or mist; when relative humidity exceeds 85 percent; at temperatures less than 5 deg F above the dew point; or to damp or wet surfaces.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Products: Subject to compliance with requirements, provide one of the products listed in the Exterior Painting Schedule for the paint category indicated.
- B. Source Limitations: For each system, provide products by the same manufacturer as the topcoat.

2.2 PAINT PRODUCTS

- A. MPI Standards: Provide products complying with MPI standards indicated and listed in its "MPI Approved Products List."
- B. Material Compatibility:
 - 1. Provide materials for use within each paint system that are compatible with one another and substrates indicated, under conditions of service and application as demonstrated by manufacturer, based on testing and field experience.
 - 2. For each coat in a paint system, provide products recommended in writing by topcoat manufacturers for use in paint system and on substrate indicated.
- C. Colors: Where colors are indicated or scheduled, provide colors to match those colors. Where colors are not indicated, provide colors as selected by Architect from manufacturer's full range.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates and conditions, with Applicator present, for compliance with requirements for maximum moisture content and other conditions affecting performance of the Work.
- B. Verify suitability of substrates, including surface conditions and compatibility, with existing finishes and primers.
- C. Proceed with coating application only after unsatisfactory conditions have been corrected.
 - 1. Application of coating indicates acceptance of surfaces and conditions.

3.2 PREPARATION

- A. Comply with manufacturer's written instructions and recommendations in "MPI Manual" applicable to substrates and paint systems indicated.
- B. Remove hardware, covers, plates, and similar items already in place that are removable and are not to be painted. If removal is impractical or impossible because of size or weight of item, provide surface-applied protection before surface preparation and painting.
 - 1. After completing painting operations, use workers skilled in the trades involved to reinstall items that were removed. Remove surface-applied protection.
- C. Clean substrates of substances that could impair bond of paints, including dust, dirt, oil, grease, and incompatible paints and encapsulants.
 - 1. Remove incompatible primers and reprime substrate with compatible primers or apply tie coat as required to produce paint systems indicated.
- D. Steel Substrates: Remove rust, loose mill scale, and shop primer if any. Clean using methods recommended in writing by paint manufacturer.
- E. Shop-Primed Steel Substrates: Clean field welds, bolted connections, and areas where shop paint is abraded. Paint exposed areas with the same material as used for shop priming to comply with SSPC-PA 1 for touching up shop-primed surfaces.
- F. Galvanized-Metal Substrates: Remove grease and oil residue from galvanized sheet metal by mechanical methods to produce clean, lightly etched surfaces that promote adhesion of subsequently applied paints.

3.3 INSTALLATION

- A. Apply paints in accordance with manufacturer's written instructions and recommendations in "MPI Manual."
 - 1. Use applicators and techniques suited for paint and substrate indicated.

2. Paint surfaces behind movable items same as similar exposed surfaces. Before final installation, paint surfaces behind permanently fixed items with prime coat only.
 3. Paint both sides and edges of exterior doors and entire exposed surface of exterior door frames.
 4. Do not paint over labels of independent testing agencies or equipment name, identification, performance rating, or nomenclature plates.
 5. Primers specified in the Exterior Painting Schedule may be omitted on items that are factory primed or factory finished if compatible with intermediate and topcoat coatings and acceptable to intermediate and topcoat paint manufacturers.
- B. If undercoats or other conditions show through topcoat, apply additional coats until cured film has a uniform paint finish, color, and appearance.
- C. Apply paints to produce surface films without cloudiness, spotting, holidays, laps, brush marks, roller tracking, runs, sags, ropiness, or other surface imperfections. Cut in sharp lines and color breaks.
- D. Painting Fire Suppression, Plumbing, HVAC, Electrical, Communication, and Electronic Safety and Security Work:
1. Paint the following work where exposed to view:
 - a. Equipment, including panelboards and switch gear.
 - b. Uninsulated metal piping.
 - c. Pipe hangers and supports.
 - d. Metal conduit.
 - e. Tanks that do not have factory-applied final finishes.

3.4 CLEANING AND PROTECTION

- A. After completing paint application, clean spattered surfaces. Remove spattered paints by washing, scraping, or other methods. Do not scratch or damage adjacent finished surfaces.
- B. Protect work of other trades against damage from paint application. Correct damage to work of other trades by cleaning, repairing, replacing, and refinishing, as approved by Architect, and leave in an undamaged condition.
- C. At completion of construction activities of other trades, touch up and restore damaged or defaced painted surfaces.

3.5 EXTERIOR PAINTING SCHEDULE

- A. Steel and Iron Substrates:
 1. Water-Based Light Industrial Coating System MPI EXT 5.1C:
 - a. Alkyd Prime Coat: Primer, alkyd, anti-corrosive for metal, MPI #79.
 - 1) VOC Content: E Range of E2.
 - b. Intermediate Coat: Light industrial coating, exterior, water based, matching topcoat.

c. Semigloss Topcoat: Light industrial coating, exterior, water based, semigloss (MPI Gloss Level 5), MPI #163.

1) VOC Content: E Range of E2.

B. Galvanized-Metal Substrates:

1. Water-Based Light Industrial Coating System MPI EXT 5.3J:

a. Acrylic Prime Coat: Primer, galvanized, water based, MPI #134.

1) VOC Content: E Range of E2.

2) Environmental Performance Rating: EPR 2.

b. Intermediate Coat: Light industrial coating, exterior, water based, matching topcoat.

c. Semigloss Topcoat: Light industrial coating, exterior, water based, semigloss (MPI Gloss Level 5), MPI #163.

1) VOC Content: E Range of E2.

END OF SECTION 09 9114

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EDWARDSBURG HIGH SCHOOL

EDWARDSBURG PUBLIC SCHOOLS Edwardsburg, Michigan CONSTRUCTION DOCUMENTS - BP2

DESIGN TEAM

ARCHITECT/ENGINEER

TowerPinkster
Architecture · Engineering · Interiors

242 E. KALAMAZOO AVE, SUITE 100
KALAMAZOO, MICHIGAN 49007
PHONE: 269.343.6133
FAX: 269.343.6633

REFERENCED CODES

BUILDING: 2015 MICHIGAN BUILDING CODE AND 2012 NFPA 101 LIFE SAFETY CODE
BUILDING: 2015 MICHIGAN REHABILITATION CODE
ENERGY: 2015 MICHIGAN ENERGY CODE
PLUMBING: 2021 MICHIGAN PLUMBING CODE
MECHANICAL: 2021 MICHIGAN MECHANICAL CODE
FUEL GAS: (IFGC) 2021 INTERNATIONAL FUEL GAS CODE
ELECTRICAL: 2023 NATIONAL ELECTRICAL CODE WITH MICHIGAN AMENDMENTS
BARRIER-FREE: 2015 MICHIGAN BUILDING CODE AND 2009 ICC & C A117.1
USE GROUP: E AND A-1
CONSTRUCTION TYPE: TYPE IIB
AUTOMATIC SPRINKLERS: UNSPRINKLED

PROJECT AREA

TOTAL BUILDING AREA* 162,600 SQ. FT.
AREA OF RENOVATION: 2,989 SQ. FT.

DRAWING INDEX

GENERAL

G 001 COVER SHEET
G 002 TYPICAL SYMBOLS AND REFERENCES, ABBREVIATIONS, DEVICE ALIGNMENT
G 101 FIRST FLOOR CODE COMPLIANCE PLAN

STRUCTURAL GENERAL

S 001 STRUCTURAL NOTES

STRUCTURAL

S 101C FOUNDATION PLAN - UNIT C
S 301 OVERALL ROOF FRAMING PLAN
S 301B ROOF FRAMING PLAN - UNIT B
S 301C ROOF FRAMING PLAN - UNIT C
S 401 FRAMING DETAILS

ARCHITECTURAL GENERAL

AG 001 GENERAL ARCHITECTURAL NOTES, INTERIOR PARTITION TYPES AND DEVICE ALIGNMENT GUIDELINES

ARCHITECTURAL DEMOLITION

AD 101 OVERALL FIRST FLOOR DEMOLITION PLAN
AD 101C FIRST FLOOR DEMOLITION PLAN - UNIT C
AD 102 OVERALL ROOF DEMOLITION PLAN
AD 102B ROOF DEMOLITION PLAN - UNIT B
AD 102C ROOF DEMOLITION PLAN - UNIT C
AD 102D ROOF DEMOLITION PLAN - UNIT D

ARCHITECTURAL

A 101 OVERALL FIRST FLOOR PLAN
A 101C FIRST FLOOR PLAN - UNIT C
A 102 OVERALL ROOF PLAN
A 102B ROOF PLAN - UNIT B
A 102C ROOF PLAN - UNIT C
A 102D ROOF PLAN - UNIT D
A 103 ROOF PLAN DETAILS
A 201 OVERALL FIRST FLOOR REFLECTED CEILING PLAN
A 201C FIRST FLOOR REFLECTED CEILING PLAN - UNIT C
A 401 ENLARGED TOILET ROOM PLANS, DETAILS AND ELEVATIONS, BARRIER-FREE DETAILS, TYPICAL MOUNTING HEIGHTS, ETC.
A 501 DOOR SCHEDULES

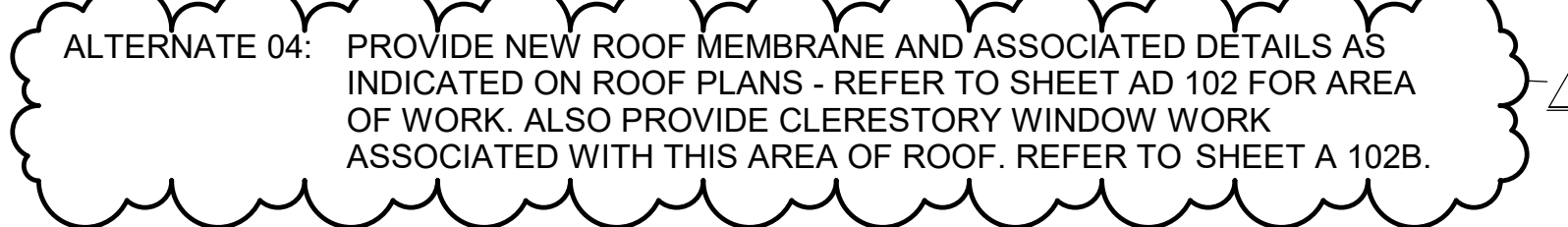
ALTERNATES

ALTERNATE 01: PROVIDE NEW ROOF MEMBRANE AND ASSOCIATED DETAILS AS INDICATED ON ROOF PLANS - REFER TO SHEET AD 102 FOR AREA OF WORK.

ALTERNATE 02: PROVIDE NEW ROOF MEMBRANE AND ASSOCIATED DETAILS AS INDICATED ON ROOF PLANS - REFER TO SHEET AD 102 FOR AREA OF WORK.

ALTERNATE 03: PROVIDE NEW ROOF MEMBRANE AND ASSOCIATED DETAILS AS INDICATED ON ROOF PLANS - REFER TO SHEET AD 102 FOR AREA OF WORK.

ALTERNATE 04: PROVIDE NEW ROOF MEMBRANE AND ASSOCIATED DETAILS AS INDICATED ON ROOF PLANS - REFER TO SHEET AD 102 FOR AREA OF WORK. ALSO PROVIDE CLERESTORY WINDOW WORK ASSOCIATED WITH THIS AREA OF ROOF. REFER TO SHEET A 102B.



E 301C FIRST FLOOR POWER AND SYSTEMS PLAN - UNIT C

TECHNOLOGY - GENERAL

TG001 TECHNOLOGY SYMBOLS AND GENERAL NOTES

TECHNOLOGY DEMO

TD101C FIRST FLOOR TECHNOLOGY DEMOLITION PLAN - UNIT C

TECHNOLOGY

T101C FIRST FLOOR TECHNOLOGY PLAN - UNIT C
T 401 TECHNOLOGY DETAILS
T 421 AV DETAILS
T 441 CAMERA DETAILS
T 442 ACCESS CONTROL DETAILS
T 443 ACCESS CONTROLLED DOOR ELEVATIONS
T 444 ACCESS CONTROLLED DOOR ELEVATIONS

INTERIORS GENERAL

IG 001 TYPICAL SYMBOLS & GENERAL NOTES
IG 002 MATERIAL SELECTION SCHEDULE, TYPICAL DETAILS, AND INTERIOR ELEVATIONS

INTERIORS

I 101C FIRST FLOOR FINISH PLAN - UNIT C
I 401 ENLARGED TOILET FINISH PLANS AND DETAILS
I 501 ENLARGED MILLWORK FINISH PLANS AND DETAILS

PLUMBING

P 000 PLUMBING GENERAL INFORMATION

PLUMBING DEMOLITION

PD 101 OVERALL FIRST FLOOR PLUMBING DEMOLITION PLAN
PD 301 ENLARGED PLUMBING DEMOLITION PLAN

PLUMBING

P 101 OVERALL FIRST FLOOR PLUMBING PLAN
P 301 ENLARGED PLUMBING PLAN

HVAC GENERAL

H 000 HVAC GENERAL INFORMATION

HVAC DEMOLITION

HD 001 OVERALL FIRST FLOOR HVAC DEMOLITION PLAN

HVAC

H 102 ROOF HVAC PLAN
H 301 ENLARGED HVAC PLANS

ELECTRICAL GENERAL

E 100 ELECTRICAL SYMBOL/FIXTURE LEGEND

ELECTRICAL DEMOLITION

ED 001C FIRST FLOOR ELECTRICAL DEMOLITION PLAN - UNIT C

ELECTRICAL

E 201C FIRST FLOOR LIGHTING PLAN - UNIT C
E 301 OVERALL FIRST FLOOR ELECTRICAL PLAN

CONSTRUCTION MANAGER



8120 MOORSBRIDGE RD., SUITE 101
PORTAGE, MI 49024
PHONE: 269.350.5757
FAX: 269.903.2869

SITE ADDRESS

EDWARDSBURG HIGH SCHOOL
69358 SECTION ST
EDWARDSBURG, MI 49112

PROJECT TITLE
EDWARDSBURG HIGH SCHOOL

OWNER
EDWARDSBURG PUBLIC SCHOOLS

Edwardsburg, Michigan

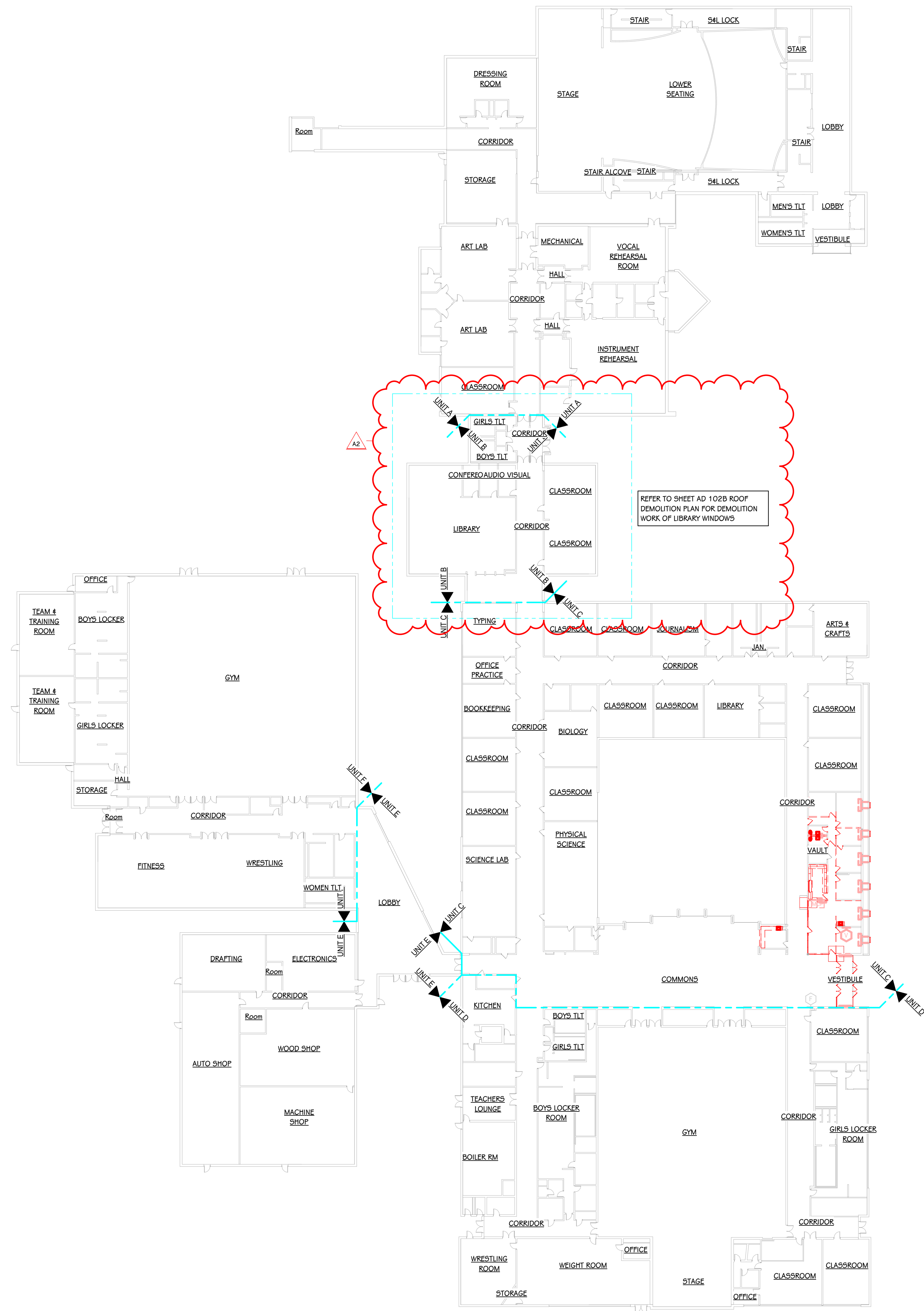
SHEET TITLE
COVER SHEET

DATE
FEBRUARY 24, 2025

SHEET NUMBER
G 001
21-201.060

KEYED NOTES - ARCHITECTURAL - DEMOLITION	
1	REMOVE CMU WALL
2	REMOVE DOOR, FRAME, AND HARDWARE
3	REMOVE PORTION OF CMU WALL FOR NEW OPENING - REFER TO CONSTRUCTION PLAN
4	REMOVE STOREFRONT SYSTEM, DOOR, AND HARDWARE
5	REMOVE CARPET AND/OR VINYL TILE, BASE AND ADHESIVE. PREPARE FLOOR FOR NEW FINISH
6	REMOVE LAY-IN CEILING SYSTEM, GRID AND TILE
7	REMOVE BASE, TALL AND/OR WALL CABINETS AND COUNTERTOP
8	REMOVE OVERHEAD COILING DOOR
9	REMOVE COMPLETELY WOOD TRANSACTION BASE AND FRAME WITH COUNTER AND COILING DOOR
10	REMOVE STUD FRAMED WALL PARTITION AND OR FURRED PARTITION
11	REMOVE CLERESTORY WINDOWS RUNNING THE LENGTH OF THE ROOM
12	REMOVE DOOR, FRAME, SIDELITE AND OR TRANSOM AND HARDWARE
13	REMOVE CMU BASE AT STOREFRONT SYSTEM
14	SAW CUT, REMOVE CONCRETE SLAB AS REQUIRED FOR NEW WORK - REFER TO CONSTRUCTION PLAN AND OTHER DISCIPLINES
15	REMOVE DUCTWORK AND LOUVER. REFER TO MECHANICAL. REMOVE SOIL FROM PLANTER AS NEEDED TO DO THIS WORK.
16	REMOVE AND SALVAGE PORTION OF LAY-IN CEILING SYSTEM, GRID AND TILE AT LOCATION OF NEW WALLS - INDICATED BY DIAGONAL HATCH
17	REMOVE PLASTER CEILING SYSTEM COMPLETELY
18	REMOVE PORTION OF CMU WALL FOR NEW COLUMN - REFER TO STRUCTURAL
19	REMOVE ASBESTOS FLOORING - TO BE REMOVED BY SCHOOL ABATEMENT CONTRACTOR
20	SAW CUT, REMOVE AND DISCARD TERRAZZO FLOOR AND CONCRETE SLAB TO THE NEAREST METAL DIVIDER STRIP AS REQUIRED FOR WORK. REFER TO STRUCTURAL

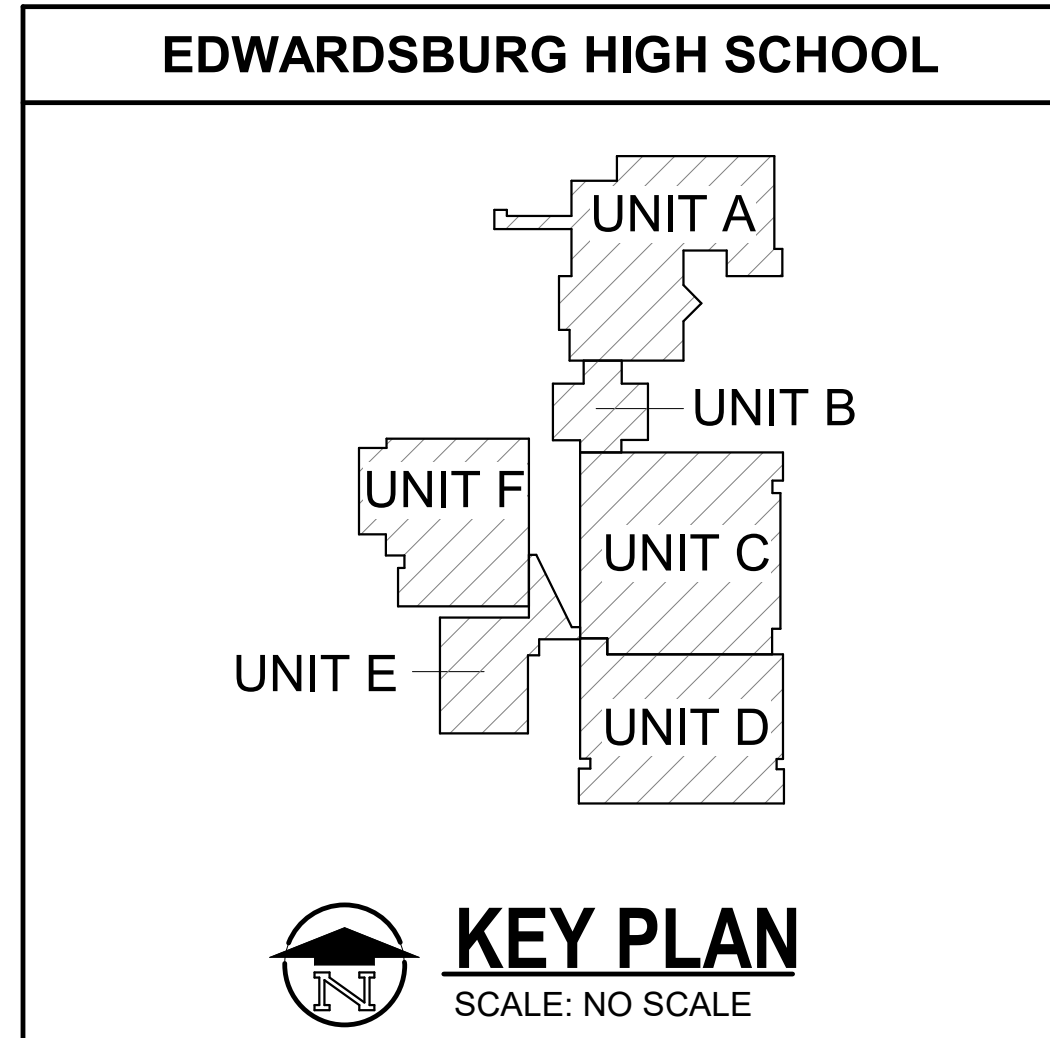
ADDENDUM #2 03-25-2025
ISSUED FOR DATE



THIS DRAWING SHEET IS INTENDED TO BE PLOTTED IN COLOR. IF THIS TEXT APPEARS IN BLACK AND WHITE, IT IS PLOTTED INCORRECTLY. DISCARD AND OBTAIN AN ACCURATE DRAWING

PROJECT TITLE
EDWARDSBURG HIGH SCHOOL
OWNER
EDWARDSBURG PUBLIC SCHOOLS

Edwardsburg, Michigan

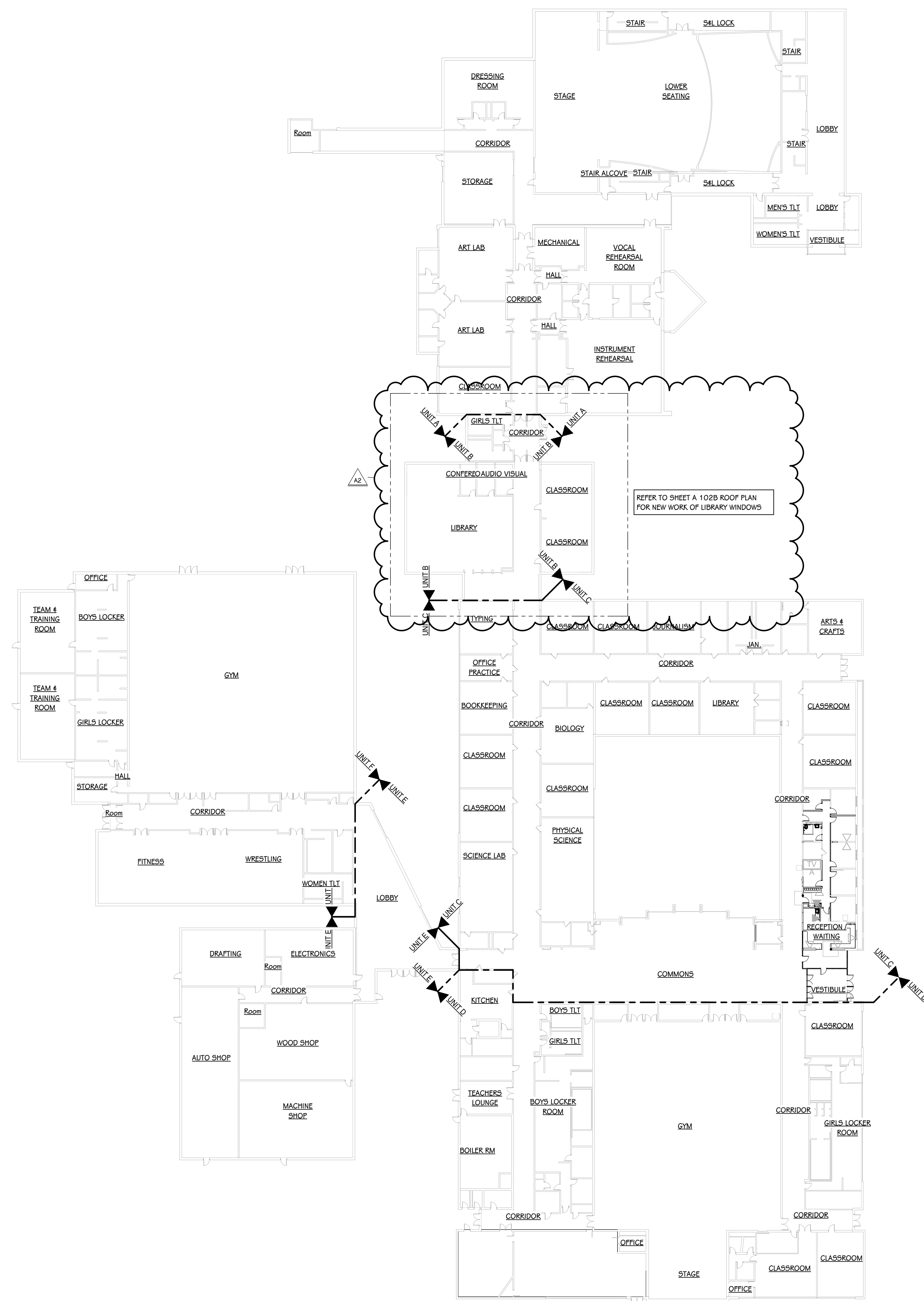


SHEET TITLE
OVERALL FIRST FLOOR DEMOLITION PLAN

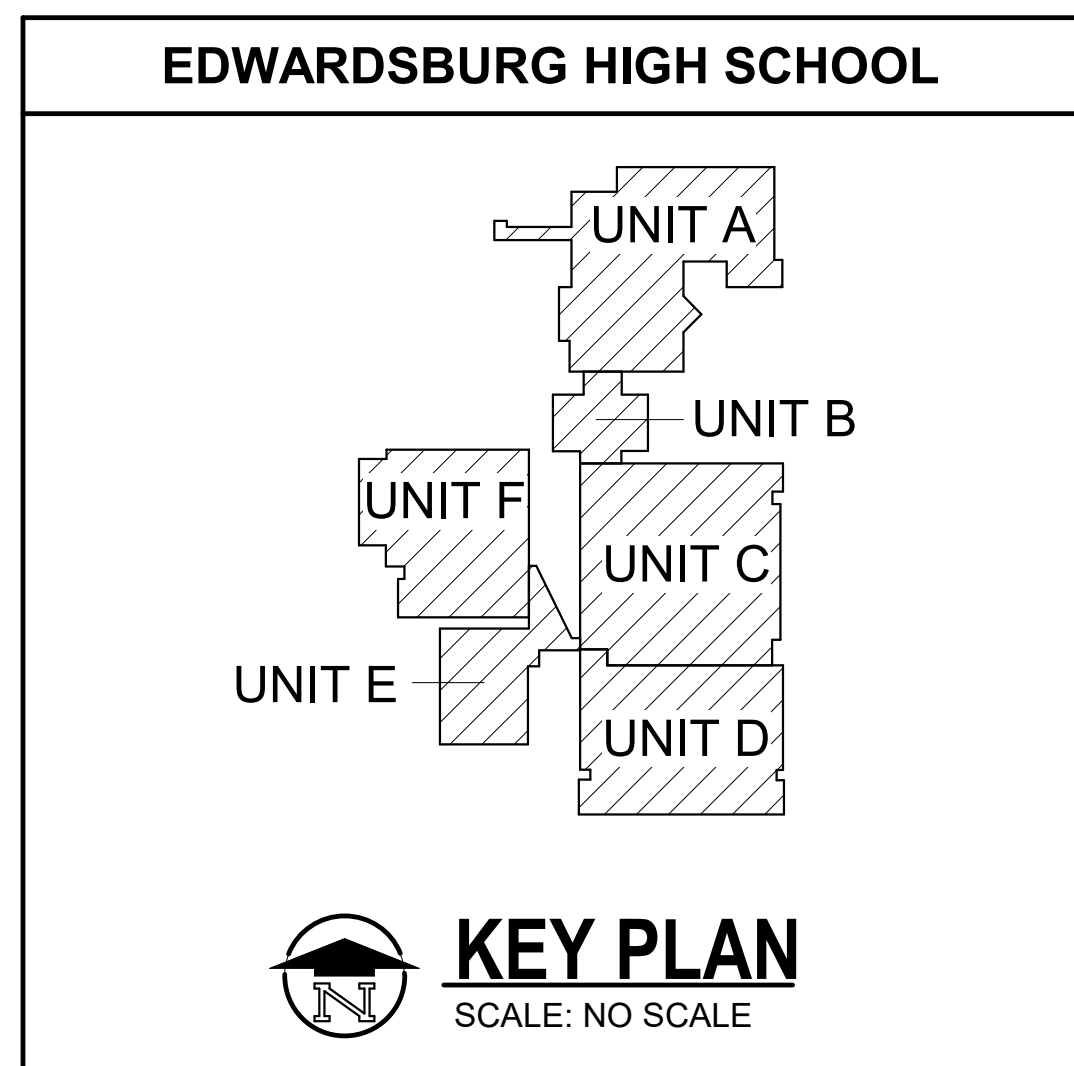
DATE
FEBRUARY 24, 2025
SHEET NUMBER
AD 101
21-201.060

OVERALL FIRST FLOOR DEMOLITION PLAN
1" = 30'-0"

NOTES - ARCHITECTURAL	
1	REFER TO CODE COMPLIANCE PLAN FOR WALL RATING LINES.
2	REFER TO FLOOR FINISH PLANS FOR INTERIOR ELEVATION CALLOUTS.
3	REFER TO SHEET A 500 FOR WALL AND CEILING ACCESS PANEL INFORMATION.
KEYED NOTES - ARCHITECTURAL - CONSTRUCTION	
1	ALIGN NEW FACE OF WALL WITH EXISTING FACE OF WALL CONSTRUCTION
2	CONCRETE SLAB - REFER TO STRUCTURAL
3	TOOTH-IN NEW MASONRY WITH SAME WALL CONSTRUCTION AS ADJACENT WALLS AT THE REMOVAL OF DUCT AND LOUVER. ADD SOIL TO PLANTER SO THAT SOIL IS LEVEL WITH ADJACENT SOILS
4	PATCH AND REPAIR CONCRETE FLOOR AND PROVIDE NEW TERRAZZO TO MATCH ADJACENT
5	PATCH AND REPAIR END OF CMU WALL WITH LIKE MATERIALS TO CLOSE CAVITY
6	SOLID SURFACE, SSM-1, WALL CAP WITH 1/2" OVERHANG ALIGN COUNTER WITH EDGE OF COLUMN GYPSUM BOARD. HEIGHT TO MATCH ADJACENT STAND UP HEIGHT COUNTER, REFER TO INTERIORS



OVERALL FIRST FLOOR PLAN
 1" = 30'-0"



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 ISSUED FOR DATE

PROJECT TITLE
 EDWARDSBURG HIGH SCHOOL

OWNER
 EDWARDSBURG PUBLIC SCHOOLS

Edwardsburg, Michigan

SHEET TITLE
 OVERALL FIRST FLOOR PLAN

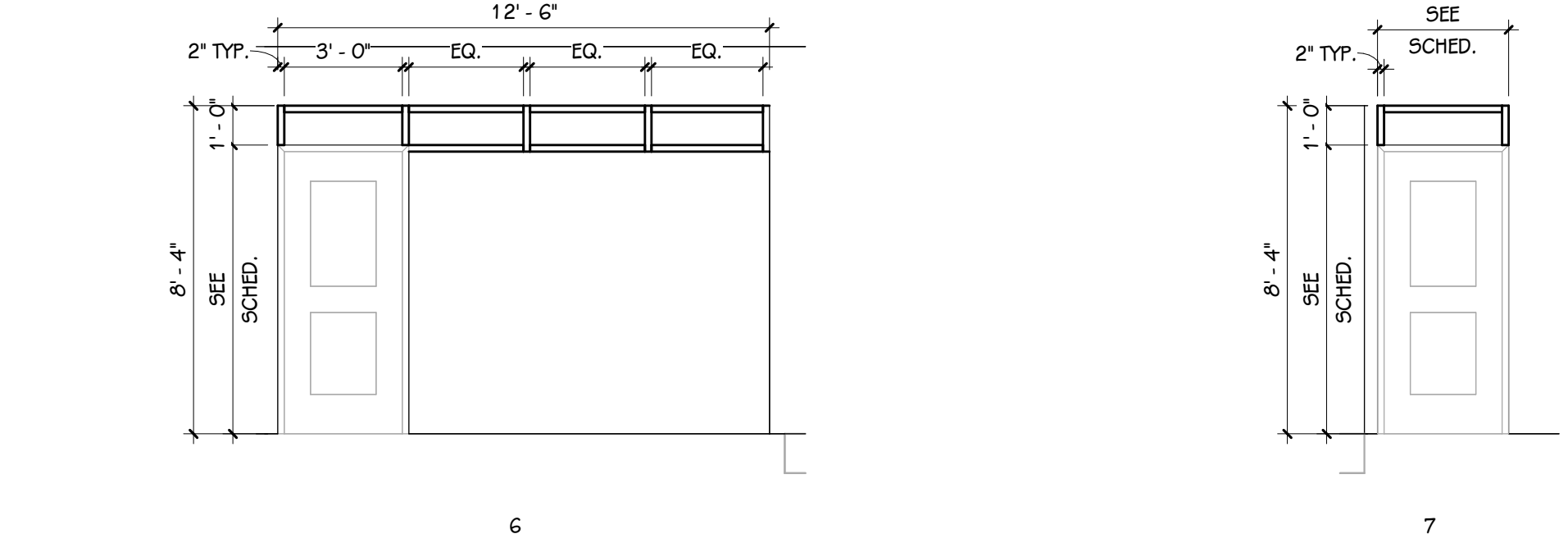
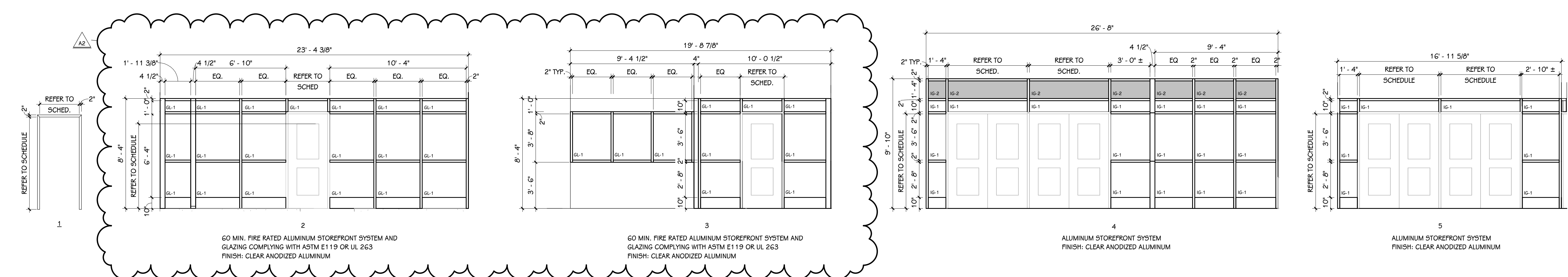
DATE
 FEBRUARY 24, 2025

SHEET NUMBER
A 101
 21-201.060

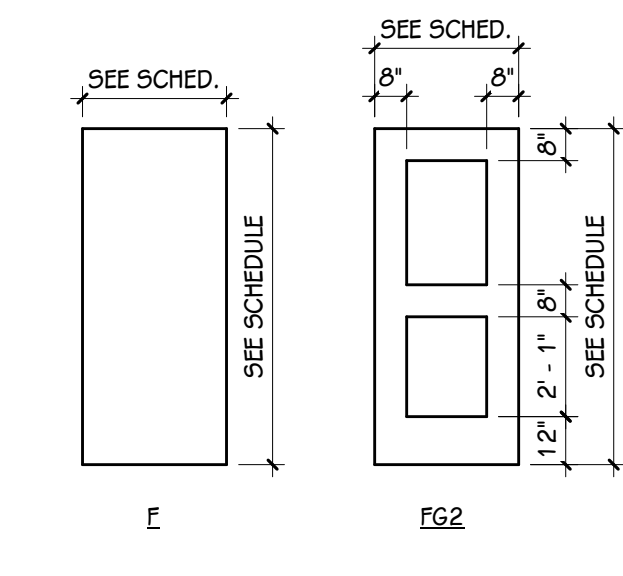
FIRST FLOOR DOOR SCHEDULE

NUMBER	DOOR	ROOM	ROOM NAME	FIRE RATING		DOOR			SIZE		FRAME			DETAILS			GLASS	ACCESS CONTROLS					HDWR. SET	REMARKS
				DOOR	FRAME	TYPE	MAT	FIN	WIDTH	HEIGHT	ELEV	MAT	FIN	HEAD	JAMB	SILL		A-PHONE	BARRIER-FREE	CARD READER	ELEC. LOCK HDWR.	MAG HOLD		
C137	C137	TOILET		-	-	F	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H1	J1	-	-	No	No	No	No	No	02	-
C139	C139	CONFERENCE		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H2	J2	-	-	No	No	No	No	No	01	-
C140	C140	OFFICE		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	7	HM	P-4	H2	J2	-	-	No	No	No	No	No	01	-
C141	C141	PRINCIPAL		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	7	HM	P-4	H2	J2	-	-	No	No	No	No	No	01	-
C142	C142	ASSISTANT PRINCIPAL		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	6	HM	P-4	H2	J2	-	-	No	No	No	No	No	01	-
C143	C143	COUNSELOR		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	6	HM	P-4	H2	J2	-	-	No	No	No	No	No	01	-
C144	C144	COUNSELOR		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	6	HM	P-4	H2	J2	-	-	No	No	No	No	No	01	-
C145	C145	COUNSELOR		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	6	HM	P-4	H2	J2	-	-	No	No	No	No	No	01	-
C146A	C146	RECEPTION / WAITING		20 MIN.	60 MIN.	FG2	AL	ANOD	3'-0"	7'-2"	-	AL	ANOD	H3	J3	-	-	No	No	Yes	Yes	No	05	1, 2
C146B	C146	RECEPTION / WAITING		20 MIN.	60 MIN.	FG2	AL	ANOD	3'-0"	7'-2"	-	AL	ANOD	H3	J3	-	-	No	No	Yes	Yes	No	07	1, 2
C146C	C146	RECEPTION / WAITING		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H2	J2	-	-	No	No	Yes	Yes	No	04	-
C147	C147	HEALTH		-	-	FG2	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H2	J2	-	-	No	No	No	No	No	03	-
C148	C148	CORRIDOR		20 MIN.	20 MIN.	F	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H1	J1	-	-	No	No	Yes	Yes	No	06	-
C149	C149	WORK / COPY		20 MIN.	20 MIN.	F	WD	PREFIN	3'-0"	7'-2"	1	HM	P-4	H1	J1	-	-	No	No	Yes	Yes	No	06	-
C153A	C153	VESTIBULE		-	-	FG2	AL	ANOD	6'-0"	7'-2"	5	AL	ANOD	H3	J3	-	-	No	No	No	Yes	No	09	-
C153B	C153	VESTIBULE		-	-	FG2	AL	ANOD	6'-0"	7'-2"	5	AL	ANOD	H3	J3	-	-	No	No	No	Yes	No	08	-
C153C	C153	VESTIBULE		-	-	FG2	AL	ANOD	6'-0"	7'-2"	4	AL	ANOD	H3	J3	-	-	No	No	Yes	Yes	No	11	-
C153D	C153	VESTIBULE		-	-	FG2	AL	ANOD	6'-0"	7'-2"	4	AL	ANOD	H3	J3	-	-	No	No	No	Yes	No	10	-

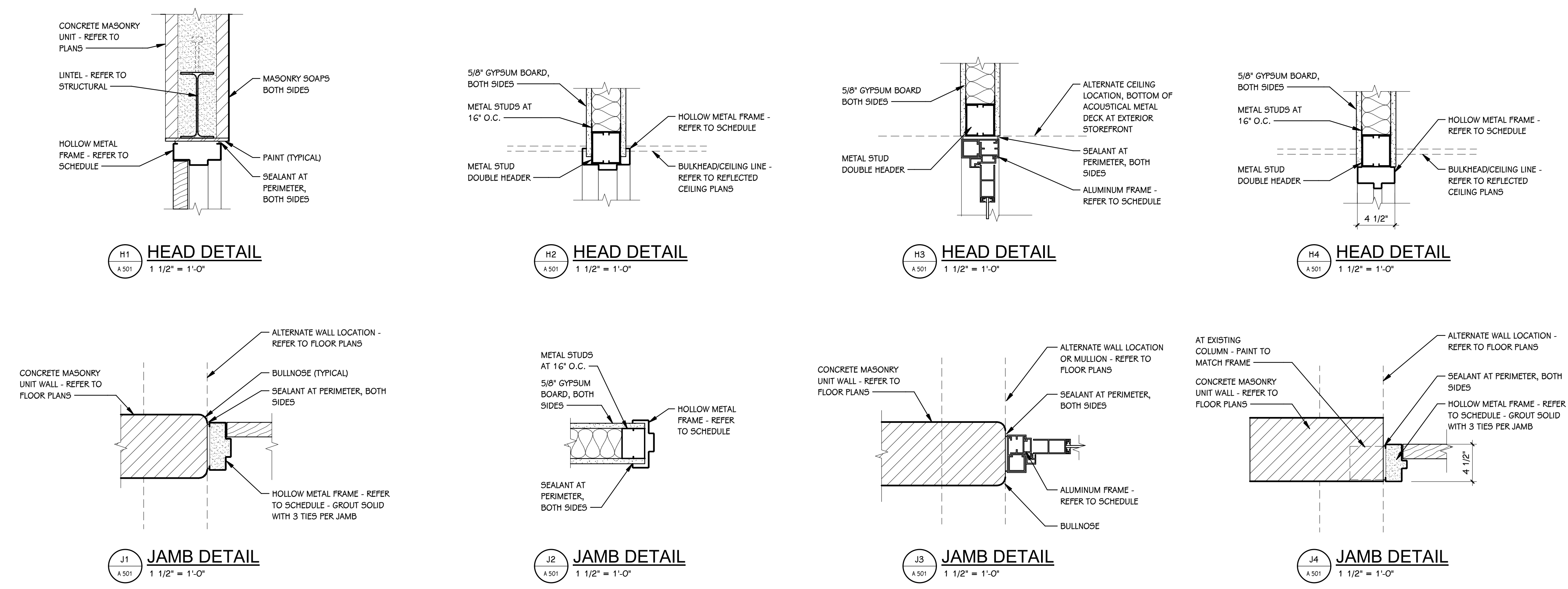
REMARKS:
 1.) 60 MIN. FIRE RATED ALUMINUM STOREFRONT SYSTEM AND GLAZING COMPLYING WITH ASTM E119 OR UL 263
 2.) 45 MIN. RATED GLAZING IN DOOR PANEL



FRAME ELEVATIONS
SCALE: NONE



DOOR PANEL ELEVATIONS
SCALE: NONE



ADDENDUM #2 03-25-2025
 ISSUED FOR DATE

PROJECT TITLE
 EDWARDSBURG HIGH SCHOOL

OWNER
 EDWARDSBURG PUBLIC SCHOOLS

Edwardsburg, Michigan

SHEET TITLE
 DOOR SCHEDULES

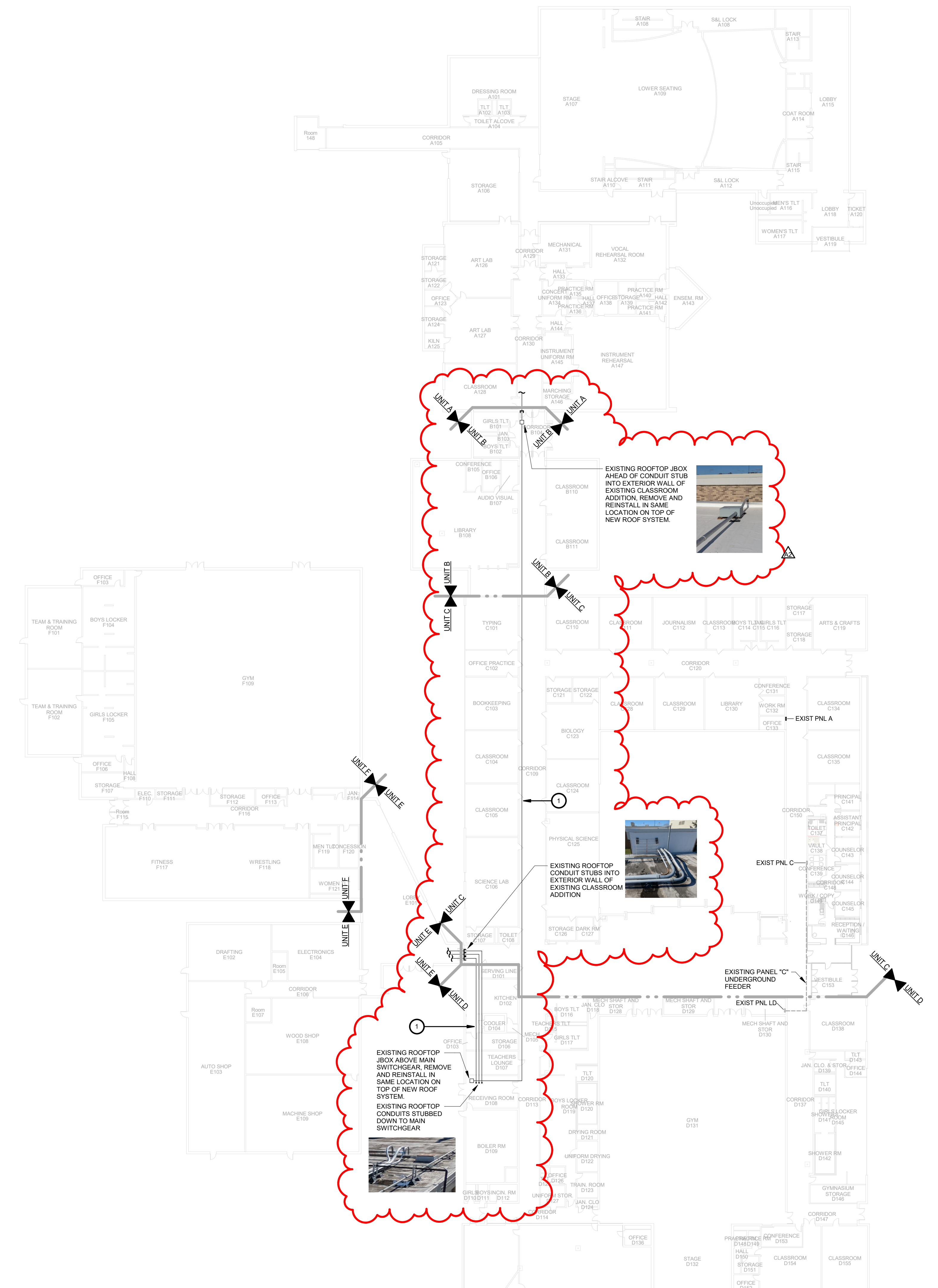
DATE
 FEBRUARY 24, 2025
 SHEET NUMBER
 A 501
 21-201.060

GENERAL OVERALL ELECTRICAL PLAN NOTES

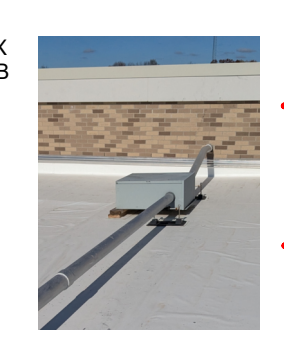
- A FUSING: ALL FUSIBLE SAFETY DISCONNECT SWITCHES SHALL BE PROVIDED WITH DUAL-ELEMENT TIME DELAY TYPE FUSES SIZED AND RATED PER EQUIPMENT MANUFACTURERS RECOMMENDATIONS. VERIFY WITH EQUIPMENT NAMEPLATE BEFORE INSTALLATION.
- B INSTALL SEPARATE NEUTRALS FOR EACH BRANCH CIRCUIT SERVING ISOLATED GROUND RECEPTACLES.
- C MOTOR OVERLOAD PROTECTION: WHERE REQUIRED BY NEC ARTICLE 430 PART C AND NOT SHOWN ON PLAN OR PROVIDED INTEGRAL WITH EQUIPMENT, PROVIDE AND INSTALL THERMAL OVERLOAD PROTECTION FOR ALL MOTORS.
- D SPARE CONDUIT FOR RECESSED PANELS: PROVIDE (1) 3/4" SPARE CONDUIT STUB UP TO ACCESSIBLE ABOVE CEILING SPACE AND/OR ACCESSIBLE SPACE BELOW FOR EVERY (3) SPARE BREAKER SPACES AS INDICATED ON PANEL SCHEDULES.
- E DEVICE LOCATIONS SHOWN ARE SCHEMATIC AND APPROXIMATE. EXACT LOCATIONS SHALL BE FIELD VERIFIED DURING ROUGH-IN WITH ARCHITECTURAL ELEVATIONS, CASEWORK SHOP DRAWINGS, FURNITURE, ETC. AND SHALL BE COORDINATED WITH OTHER TRADES TO AVOID CONFLICT WITH OTHER EQUIPMENT.
- F ELECTRICAL AND COMMUNICATIONS OUTLETS SHOWN IN THE SAME LOCATION, SHALL BE MOUNTED ON OPPOSITE SIDES OF THE SAME STUD. COORDINATE BETWEEN ELECTRICAL AND COMMUNICATIONS PLANS.
- G WHERE APPLICABLE, CONDUITS RUN ARE TO BE WITHIN JOIST WEBBING.

OVERALL ELECTRICAL PLAN KEYED NOTES

- 1 DISCONNECT FEEDERS FROM NEAREST TERMINATION POINT INSIDE BUILDING AND PULL WIRES FROM CONDUIT. REMOVE EXISTING CONDUIT AND CONDUIT SUPPORT SYSTEMS FROM ROOF SALVAGING FOR REUSE. FOR METALLIC CONDUITS, REMOVE LOOSE SET AND DEBRIS WITH WIRE BRUSH OR SANDPAPER, CLEAN SURFACE WITH DEGREASER, AND APPLY RUST-INHIBITING WHITE PRIMER/PAIN PRIOR TO REINSTALLATION. REINSTALL CONDUIT IN SAME LOCATIONS ON TOP OF NEW ROOF SYSTEM (+1" MIN. ELEVATION). PULL EXISTING FEEDERS THROUGH REINSTALLED CONDUIT AND RECONNECT ALL TERMINATIONS, EXTENDING FEEDERS AS REQUIRED FOR NEW LENGTH.



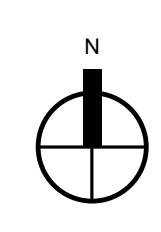
EXISTING ROOFTOP JBOX AHEAD OF CONDUIT STUB INTO EXTERIOR WALL OF EXISTING CLASSROOM ADDITION. REMOVE AND REINSTALL IN SAME LOCATION ON TOP OF NEW ROOF SYSTEM.



EXISTING ROOFTOP CONDUIT STUBS INTO EXTERIOR WALL OF EXISTING CLASSROOM ADDITION.

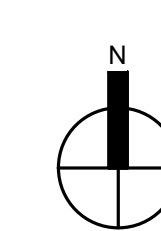
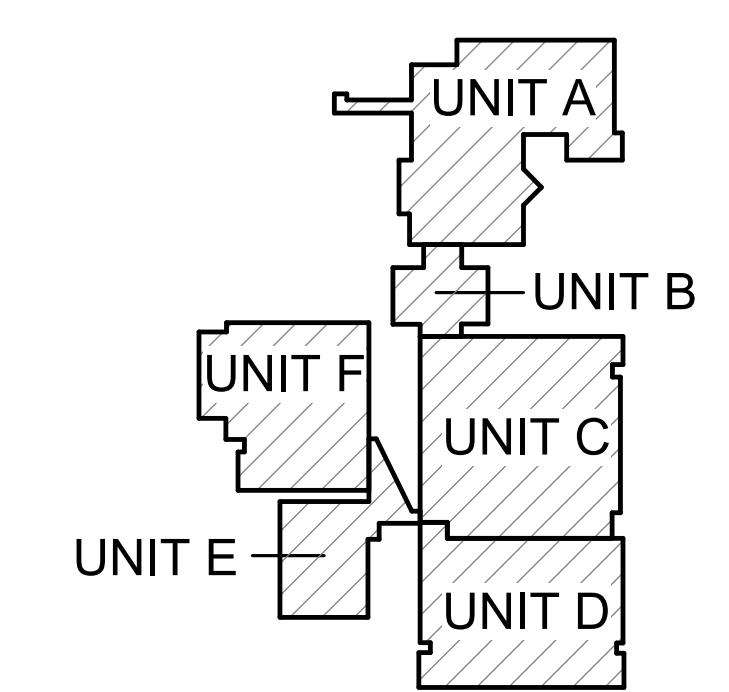


EXISTING ROOFTOP JBOX ABOVE MAIN SWITCHGEAR. REMOVE AND REINSTALL IN SAME LOCATION ON TOP OF NEW ROOF SYSTEM. EXISTING ROOFTOP CONDUITS STUBBED DOWN TO MAIN SWITCHGEAR.



OVERALL FIRST FLOOR ELECTRICAL PLAN
SCALE: 1" = 30'-0"

EDWARDSBURG HIGH SCHOOL



KEY PLAN
SCALE: NO SCALE

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PROJECT TITLE
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OWNER
EDWARDSBURG PUBLIC SCHOOLS

Edwardsburg, Michigan

SHEET TITLE
OVERALL FIRST FLOOR ELECTRICAL PLAN

DATE
FEBRUARY 24, 2025

SHEET NUMBER
E 301
21-201.060