

ADDENDUM NO. 2

February 11, 2026

Richland Bean Blossom Schools Roofing & Mechanical Renovations
Various Schools Locations
Ellettsville, IN 47429

TO: ALL BIDDERS OF RECORD

This Addendum forms a part of and modifies the Bidding Requirements, Contract Forms, Contract Conditions, the Specifications, and the Drawings dated January 15, 2026, by Lancer Associates Architecture. Acknowledge receipt of the Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of Pages ADD 2-1 through ADD 2-2, Specification Section 01 32 00 – Schedule and Reports, and attached Lancer Associates Architecture Addendum No. 1, dated February 10, 2026, consisting of 2 pages, and Addendum Drawings: Junior High D141, A141, A142, A201, Intermediate School A142, and Primary School A142.

A. SPECIFICATION SECTION - 01 12 00 MULTIPLE CONTRACT SUMMARY

1. 3.03/A – Bid Category No. 1 – Roofing. Clarifications:

- a. See Section 01 32 00, Guideline Schedule. Any roof work not completed by August 4, 2026, shall be completed after regular school hours and on weekends at no additional cost to the Owner. The Roofing Contractor shall remove all fencing and clear site of materials to allow the Owner full use of the site by August 4. Remaining materials required shall be brought to the site as needed on a daily basis.
- b. The Skillman Corporation reserves the right to charge the Bid Category No. 1 – Roofing Contractor for any oversight by it or its consultants relative to the roof work after August 4.
- c. Drawing Sheets including but not limited to A142. Details indicate new recovery board attached to existing masonry. Remove any copings, flashings or other existing sheet metal required to achieve these details or similar conditions.

- d. All details must meet the manufacturer's criteria for warranty, any additional materials or activities required to meet these criteria shall be provided by the Bid Category No. 1 – Roofing Contractor at no additional cost to the Owner.
 - e. The color of the roof coating system at the Intermediate and Primary schools metal roofs shall match the existing.
2. 3.03/B – Bid Category No. 2 – Mechanical Renovations:
- a. Any roof work required at Edgewood High School, including but not limited to curb flashing, vents or any other mechanical roof penetrations shall be the responsibility of the Bid Category No. 2 – Mechanical Renovations at no additional cost to the Owner.
 - b. Any roof work required at Edgewood Junior High School, including but not limited to curb flashing, vents or any other mechanical roof penetrations shall be the responsibility of the Bid Category No. 2 – Mechanical Renovations at no additional cost to the Owner. Coordinate with the Bid Category No.1 Contractor.

B. SPECIFICATION SECTION 01 21 00 – ALLOWANCES

1. Change 3.01/A/1/b to read: Include in the base bid (6,000) s.f. surface area of roof for EACH of the Intermediate and Primary Schools. Total 12,000 s.f. surface area.

SECTION 01 32 00 - SCHEDULES AND REPORTS

PART 1 - GENERAL

1.01 RELATED DOCUMENTS

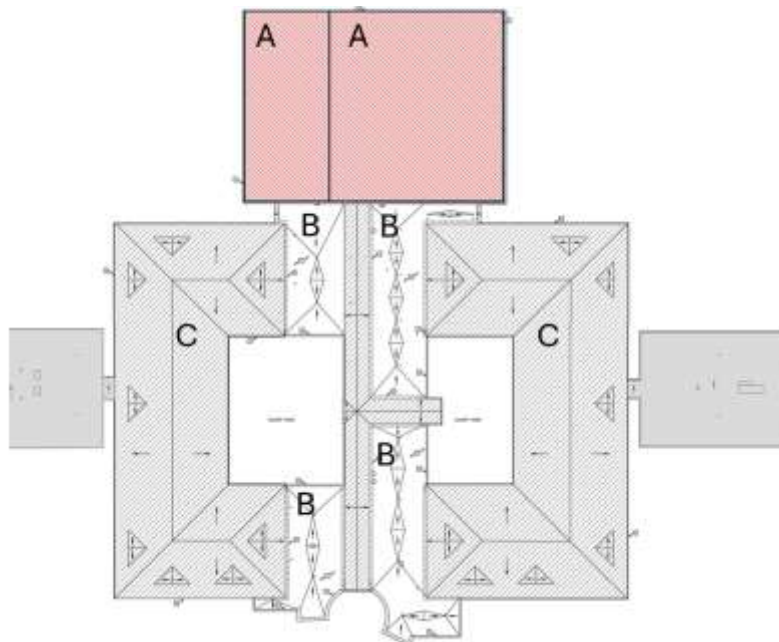
- A. The Work of this Section shall be included as a part of the Contract Documents of each Contractor on this Project. Where such Work applies to only one Contractor, it shall be defined as to which Contractor the Work belongs.

1.02 SUMMARY

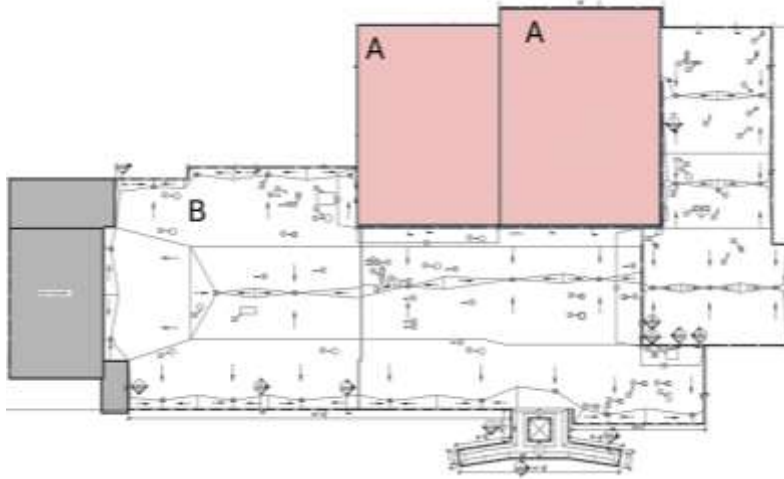
- A. This Section includes administrative and procedural requirements for schedules and reports required for proper performance of the Work, including:
 - 1. Construction schedule

1.03 GUIDELINE SCHEDULE

- A. The milestone activities for the Project, as well as anticipated completion date are indicated following.
 - 1. Prior to bidding Project, Contractor shall review the guideline schedule to determine if the intent of the schedule can be met.
- B. Schedule of Work roofs:
 - 1. Intermediate and Primary Schools:
 - i. Area A: March 2 through May 29, 2026
 - ii. Area B: May 29 through August 4, 2026
 - iii. Area C: To be decided.
 - iv. Note: Intermediate and Primary Schools are mirror images.



2. Junior High School:
 - i. Area A: March 2 through May 29, 2026
 - ii. Area B: May 29 through August 4, 2026
 - iii. Provision of through-wall metal to the Masonry Contractor by April 6, 2026



- B. Schedule of work HVAC:
 1. On site installation: May 29 through August 4, 2026.
- C. Schedule of work: Masonry Through-Wall Flashing (Separate Contract):
 1. Work is at Junior High School only.
 2. Coordinate with Roof Installation.
 3. Complete prior to June 12, 2026.
- D. The project construction schedule will be provided by the Construction Manager, consistent with the guideline schedule and utilizing the Contractors' construction schedules provided by the separate Contractors.
 1. Contractor shall provide the Construction Manager with information and data to prepare a working day construction schedule and sequence of events for each work activity included in his bid category within 15 days after the Pre-construction Meeting. The Contractor shall cooperate with the Construction Manager in establishing a final overall project schedule which meets the specified completion date.
 2. After the project schedule has been established, Contractors shall work overtime, nights, and weekends, if necessary, to maintain their portion of the schedule.
 - a. Overtime, night and weekend work will be at no additional cost to the Owner.
 - b. Failure of the Contractor to maintain his portion of the schedule will be grounds for the Owner to withhold all or part of any payments which may become due to the Contractor for work completed.
 3. The Contractor is responsible to expedite all approvals and deliveries of material so as not to delay job progress.

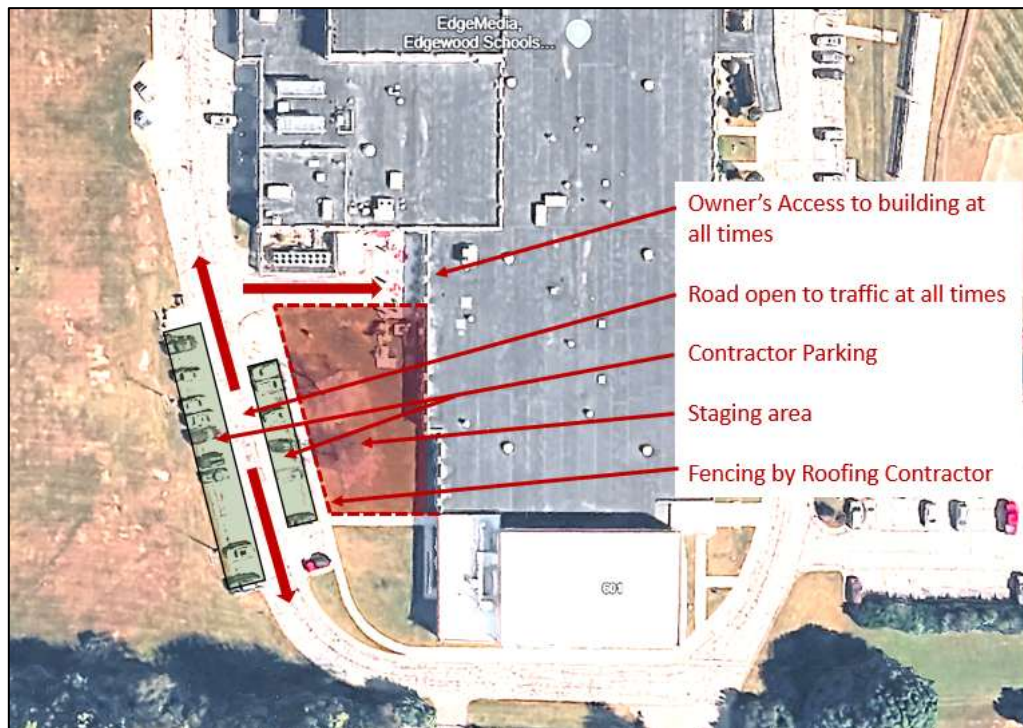
4. The Contractor shall begin all phases of his work as quickly as physically possible, but not to impede or jeopardize the work of other Contractors.
 5. Phases of the work may be started prior to the scheduled start dates if approved through the Construction Manager.
 6. The Contractor shall cooperate fully with the Construction Manager in the coordination of the work for the convenience of the Owner as indicated in the Specifications.
- E. Each Contractor's work shall be executed at such a rate as to ensure meeting the specified milestone dates for Substantial Completion. By execution of the Contract, a Contractor represents he has analyzed the Work, the materials and methods involved, the systems of the building, availability of qualified mechanics and unskilled labor, restrictions of the site, constraints imposed, his own work load and capacity to perform the Work and agrees that the specified dates are reasonable considering the existing conditions prevailing in the locality of the Work, including weather conditions, and other factors, with reasonable allowance for variations from average or ideal conditions.
- F. The Construction Manager will utilize the project master construction schedule to plan, coordinate, and manage all construction activities of Contractors, Subcontractors, and Suppliers. All Contractors are to complete all Work in accordance with this schedule.
- G. The Construction Manager will hold periodic progress meetings at the jobsite. Field supervisors from each Contractor working on the site are to attend all such meetings.
- H. Whenever it becomes apparent that any activity completion date may not be met, the responsible Contractor(s) are to take some or all of the following actions at no additional cost to the Owner or Construction Manager.
1. Increase construction manpower to put the project back on schedule.
 2. Increase number of working hours per shift, shifts per working day, working days per week, amount of construction equipment, or any combination, which will place the project back on schedule.
 3. Reschedule activities to achieve maximum practical concurrency and place the project back on schedule.
- I. If the Contractor fails to take any of the above actions, Owner or Construction Manager may take action to attempt to put the project back on schedule and deduct cost of such actions from monies due or to become due the Contractor in accordance with Subparagraph 2.4.1. of the amended General Conditions.
- J. The Construction Manager will manage the project and will make every effort to complete the project within the schedule. Time extensions may be granted to various Contractors when delays that affect final completion date have been caused by inability of another Contractor to meet his time commitments; however, neither Owner nor Construction Manager will assume responsibility to any Contractor for compensation, damages, or other costs due to delays.

1.06 SUBMITTAL SCHEDULE

- A. Within 15 days of the Notice to Proceed, each Contractor shall submit their schedule of submittals.
 - 1. Coordinate Submittal Schedule with the list of subcontracts, Schedule of Values, and the list of products as well as the Construction Schedule.
 - 2. The contractor shall provide the following information:
 - a. Scheduled date for the first submittal (due date).
 - b. Name of the Subcontractor (under comments).
 - c. Fabrication time.
- B. Schedule Updating: Revise the schedule after each meeting or activity where revisions have been recognized or made. Issue the updated schedule concurrently with the report of each meeting.

1.06 STAGING AND FENCING

- A. Junior High School:
 - 1. The Junior High School staging shall be as illustrated below.
 - 2. The Bid Package #1 Roofing Contractor shall be responsible for providing fencing per Specification Section 01 53 10 beginning March 1, 2026 through July 31, 2026 or until it no longer requires a staging area whichever comes last.



B. Primary and Intermediate Schools:

1. Staging shall be as illustrated below.
2. The Bid Package #1 Roofing Contractor shall be responsible for providing fencing per Specification Section 01 53 10 at its staging area ONLY, not required at parking.
3. The Owner shall be completing work on a playground project west of the Primary school. The Bid Package #1 Contractor shall coordinate with the Playground Contractor to assure that its access is not compromised.
4. Transferring of materials from the staging areas to the building shall not occur during morning student drop off or afternoon student pick up.



PART 2 - PRODUCTS, PART 3 - EXECUTION (Not Used)

END OF SECTION 01 32 00

ADDENDUM NO. TWO

PROJECT: Richland Bean Blossom – Roofing & HVAC
Junior High School

PROJECT NUMBER: 25148

DATE OF ADDENDUM: February 10, 2026



THIS ADDENDUM FORMS A PART OF THE CONTRACT DOCUMENTS AND IS ISSUED IN ACCORDANCE WITH THE INSTRUCTIONS TO BIDDERS. ACKNOWLEDGE RECEIPT OF THIS ADDENDUM BY SIGNING THE ADDENDUM ACKNOWLEDGMENT SECTION OF THE BID FORM.

SPECIFICATIONS:

1. Spec Section: 07 6200
Spec Title: Sheet Metal Flashing and Trim

Clarification: Refer to the NRCA roofing manual, based on the size of the gutter, 16 gauge is acceptable.

DRAWINGS:

1. Drawing Sheet Number: D141 (Junior High)
Drawing Sheet Title: DEMO ROOF PLAN

Change: added four curbs to be demo.

2. Drawing Sheet Number: A141 (Junior High)
Drawing Sheet Title: ROOF PLAN

Change: Changed some #3 to #7. These will have to be field verified.

3. Drawing Sheet Number: A142 (Junior High)
Drawing Sheet Title: ROOF DETAILS

Change: All the recovery board shall be 1/4 inch thick.

4. Drawing Sheet Number: A201 (Junior High)
Drawing Sheet Title: EXTERIOR ELEVATIONS

Change: revised the notes and drawings for Details 6, 7, 8, and 9 to show what we believe is actually how the existing building is built.

Change: revised the notes and drawings for Details 8 and 9 to show how the cavity flashing and new membrane roofing will be tied together.

5. Drawing Sheet Number: A142 (Intermediate School)
Drawing Sheet Title: ROOF DETAILS

Change:

- All the recovery board shall be 1/4 inch thick.
- All parapet coping shall be new.
- New roof membrane shall be installed vertically and continue under the existing metal roof.

6. Drawing Sheet Number: A142 (Primary School)
Drawing Sheet Title: ROOF DETAILS

Change:

- All the recovery board shall be 1/4 inch thick.
- All parapet coping shall be new.
- New roof membrane shall be installed vertically and continue under the existing metal roof.

Attachments:

(Drawings) Junior High D141, A141, A142, A201
Intermediate School A142
Primary School A142

END OF ADDENDUM NO. TWO

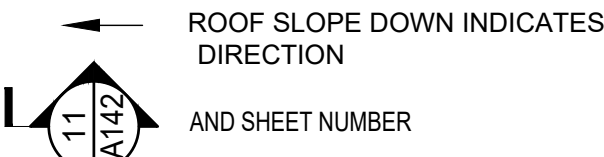
GENERAL NOTES

- DRAWINGS ESTABLISH THE DESIGN INTENT OF WORK TO BE PERFORMED. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HIGHEST INDUSTRY STANDARDS. ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND WARRANTY REQUIREMENTS. ALL TRADES SHALL CAREFULLY COORDINATE WORK OF ALL OTHER TRADES. ANY DISCREPANCIES OR CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND THE OWNER PRIOR TO FABRICATION OR INSTALLATION.
- ALL EXISTING WORK TO REMAIN SHALL BE PROTECTED THROUGHOUT THE DURATION OF CONSTRUCTION. ANY DAMAGE TO EXISTING WORK SHALL BE REPAIRED TO ORIGINAL OR BETTER CONDITION.
- ALL DIMENSIONS ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ACCURATE FIELD MEASUREMENTS FOR CONSTRUCTION.
- PLAN NOTES INDICATE ONE GRAPHIC REPRESENTATION TYPICAL. THE CONTRACTOR SHALL USE THE GRAPHIC REPRESENTATIONS FOR THE COUNT, NOT THE KEYED PLAN NOTES. THE ABSENCE OF A KEYED PLAN NOTE ON THE PLAN DOES NOT ABSOLVE THE CONTRACTOR FROM PROVIDING THE FEATURE GRAPHICALLY REPRESENTED ON THE DRAWING.
- CONTRACTOR SHALL FIELD VERIFY ALL PENETRATIONS, ROOF CURBS, AND ROOF EXHAUST/VENT FANS IN EXISTING ROOF PRIOR TO BID & INSTALLATION. FLASH AROUND PERIMETER OF PENETRATIONS AND RAISED CURBS OR VENTS AS PER DRAWINGS AND RECOMMENDATIONS OF ROOFING MANUFACTURER TO MAINTAIN WARRANTY. THE EXISTING HEIGHTS OF CURBS AND VENTS SHALL BE RAISED AS NECESSARY ABOVE THE NEW/HIGHER RIGID INSULATED ROOF TO MEET ROOFING MANUFACTURER'S REQUIREMENTS. SEE DETAILS 8, 9 AND 10/A142.
- CONTRACTOR SHALL REMOVE ALL ABANDONED EQUIPMENT, CURBS AND SUPPORT STRUCTURES.
- CONTRACTOR SHALL INSPECT AND REPLACE ALL DETERIORATED METAL FLASHING, CURBING AND BLOCKING AS REQUIRED. CONTRACTOR SHALL USE TREATED WOOD FOR ALL BLOCKING.
- PROVIDE GREASE/OIL PROTECTION PAD FOR MECHANICAL ROOF TOP UNITS AND FANS PER MANUFACTURER'S REQUIREMENTS. CONTRACTOR SHALL VERIFY ALL ROOF TOP UNITS FOR EQUIPMENT REQUIREMENTS.
- ALL NEW COPING INSTALLED IS TO MATCH PROFILE, PAINT COLOR AND FINISH OF COPING INSTALLED DURING PREVIOUS PHASES.
- ALL WOOD USED IN RE-ROOF PROJECT TO BE PRESERVATIVE- TREATED, TYPICAL.
- MAIN ROOF AREA TO BE SLOPED MIN. 1/4" PER FOOT TO DRAIN.
- ALL HOGBACKS AND CRICKETS TO BE SLOPED MIN. 1/2" PER FOOT.

DEMOLITION PLAN KEY NOTES

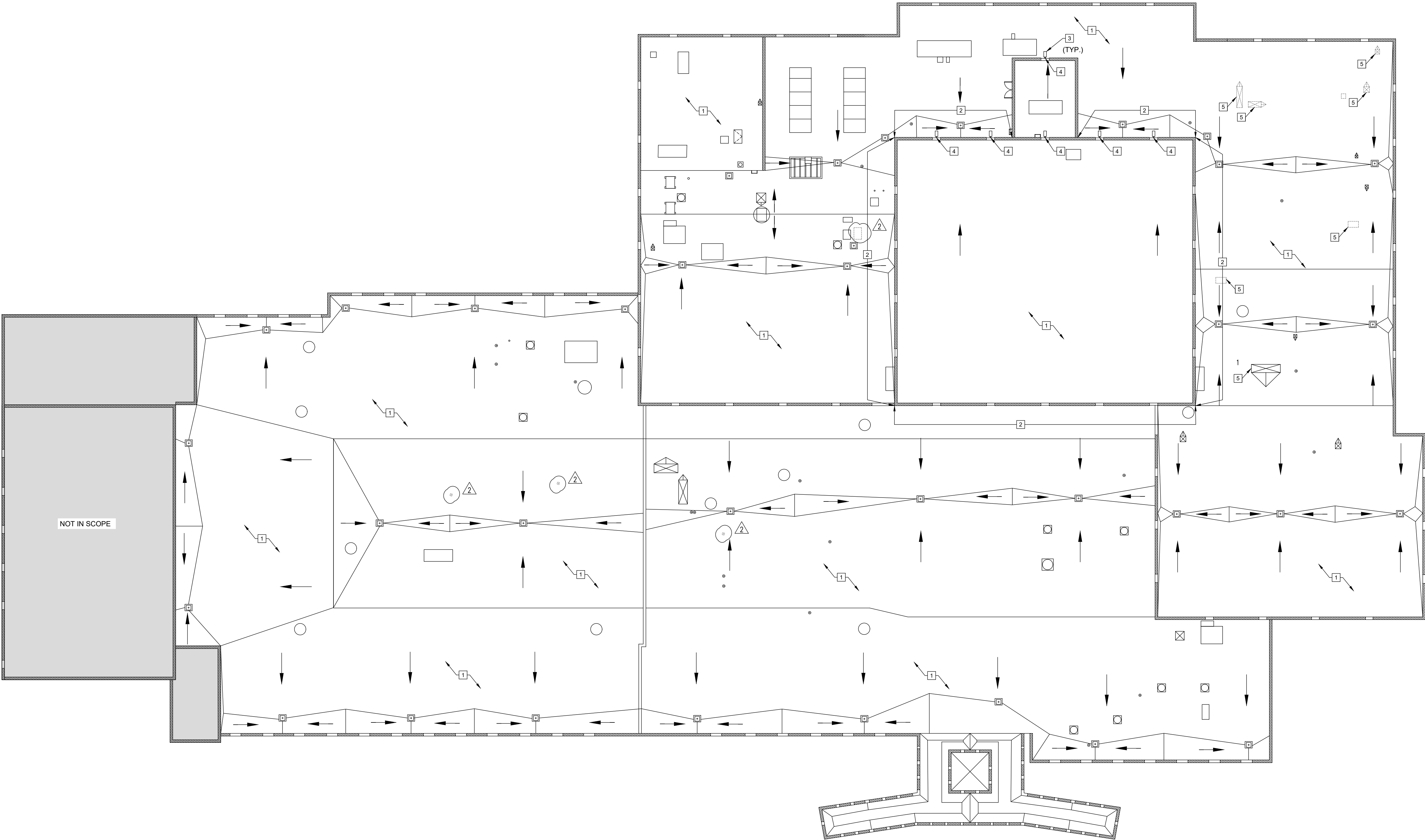
- REMOVE EXISTING MEMBRANE ROOFING AND ANY WET INSULATION.
- REMOVE MASONRY AND FLASHING. SEE SHEET A201
- REMOVE EXISTING SPLASH BLOCKS AND STORE FOR REINSTALLATION
- REMOVE ALL EXISTING GUTTERS AND DOWN SPOUTS
- REMOVE EXISTING ROOF CURBS TO BELOW INSULATION.

LEGEND

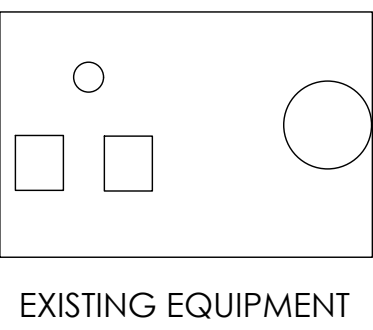


ABBREVIATIONS

- | | |
|------|---------------------|
| RD | ROOF DRAIN |
| ORD | OVERFLOW ROOF DRAIN |
| RV | ROOF VENT |
| RH | ROOF HATCH |
| AD | ACCESS DOOR |
| RL | ROOF ACCESS LADDER |
| PH | PENT HOUSE |
| EF | EXHAUST FAN |
| EJ | EXPANSION JOINT |
| VS | VENT STACK |
| MF | MASONRY FLUE |
| SMKE | SMOKE EXHAUST HATCH |
| RFS | ROOF FASCIA SCUPPER |



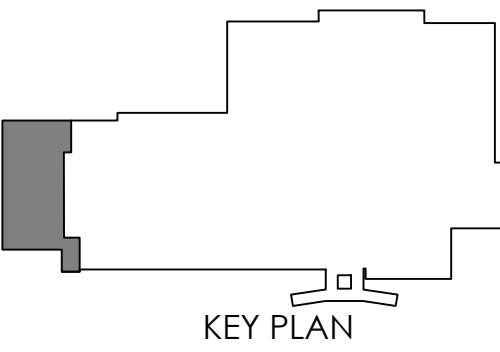
1 JUNIOR HIGH SCHOOL ROOF DEMO PLAN
SCALE: 1" = 20'-0"



EXISTING EQUIPMENT



NOT IN SCOPE OF WORK



KEY PLAN

EDGEWOOD JUNIOR HIGH
REROOF & HVAC PROJECT
851 W EDGEWOOD Dr
ELLETTSVILLE, IN 47429



| # | DATE | DESC. |
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| 2 | 2/10/26 | PLAN REVISIONS |

100% CONSTRUCTION DOCUMENTS

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DEMO ROOF PLAN

D141

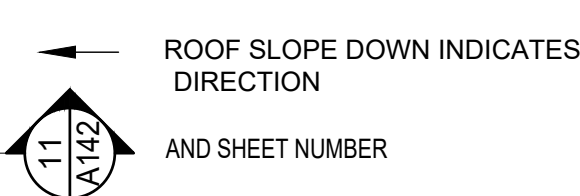
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- MAIN ROOF AREA TO BE SLOPED MIN. 1/4" PER FOOT TO DRAIN.
- ALL HOGBACKS AND CRICKETS TO BE SLOPED MIN. 1/2" PER FOOT.
- REMOVE EXISTING PROTECTION PADS BEFORE INSTALLATION OF NEW ROOFING MATERIALS.
- ALL EXISTING STONE CAPS SHALL BE COVERED WITH NEW METAL COPING. COLOR SELECTED BY ARCHITECT.

PLAN KEY NOTES

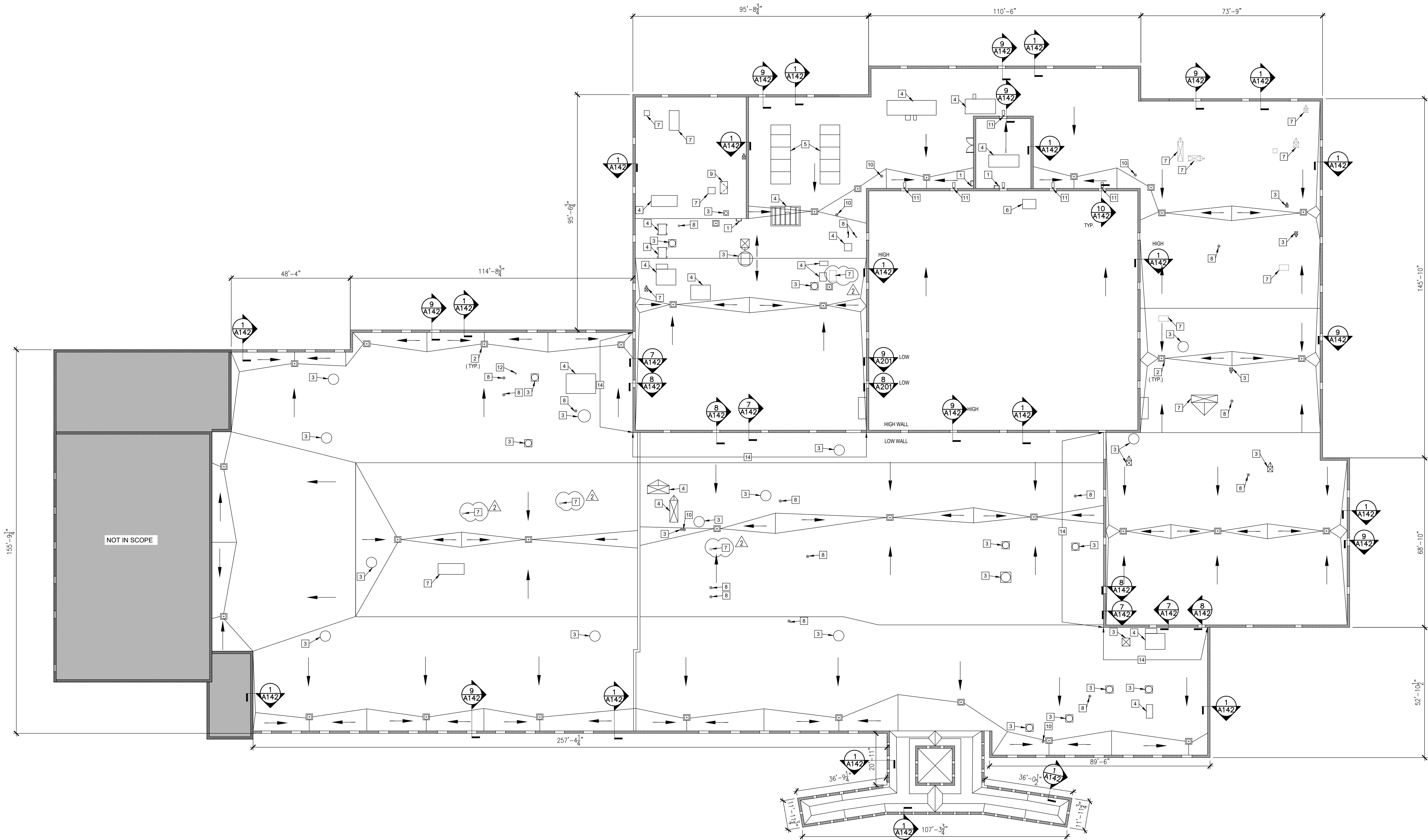
- LADDER - EXISTING
- ROOF DRAIN - EXISTING
- EXHAUST FAN - EXISTING
- ROOF TOP UNIT (R.T.U.) - EXISTING
- PHOTOVOLTAIC PANELS - EXISTING
- RADIO TOWER - EXISTING
- EXISTING CAPPED ROOF CURB REMOVED. INSTALL NEW DECKING IN OPENING AND INFILL WITH ISO TO MATCH EXISTING INSULATION DEPTH.
- EXHAUST PIPE - EXISTING
- ROOF ACCESS HATCH - EXISTING
- OVERFLOW DRAIN - EXISTING
- NEW GUTTER WITH LEAF GUARD AND DOWNSPOUTS
- HYDRANT - EXISTING
- N/A
- WRAP PARAPET WALL IN NEW EPDM MEMBRANE

LEGEND



ABBREVIATIONS

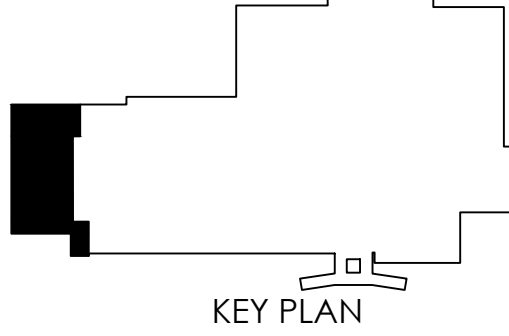
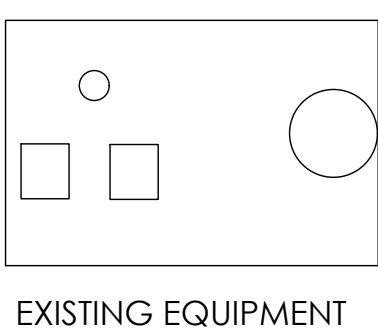
- | | |
|------|---------------------|
| RD | ROOF DRAIN |
| ORD | OVERFLOW ROOF DRAIN |
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| RFS | ROOF FASCIA SCUPPER |



1 JUNIOR HIGH SCHOOL ROOF PLAN
SCALE: 1" = 20'-0"
NORTH



ADD 2" THICK HIGH DENSITY RECOVERY BOARD MECHANICALLY FASTENED TO DECK AND COVER WITH FULLY ADHERED EPDM MEMBRANE
FLASH AT ALL ROOF PENETRATIONS. REMOVE ALL EXISTING CAULK AND TERMINATION BARS, AND INSTALL NEW TERMINATION BARS BELOW MASONRY FLASHING AND WEEP HOLES.
RE-SEAL AROUND ALL EXISTING ROOF DRAINS



EDGEWOOD JUNIOR HIGH
REROOF & HVAC PROJECT
851 W EDGEWOOD Dr
ELLETTTSVILLE, IN 47429



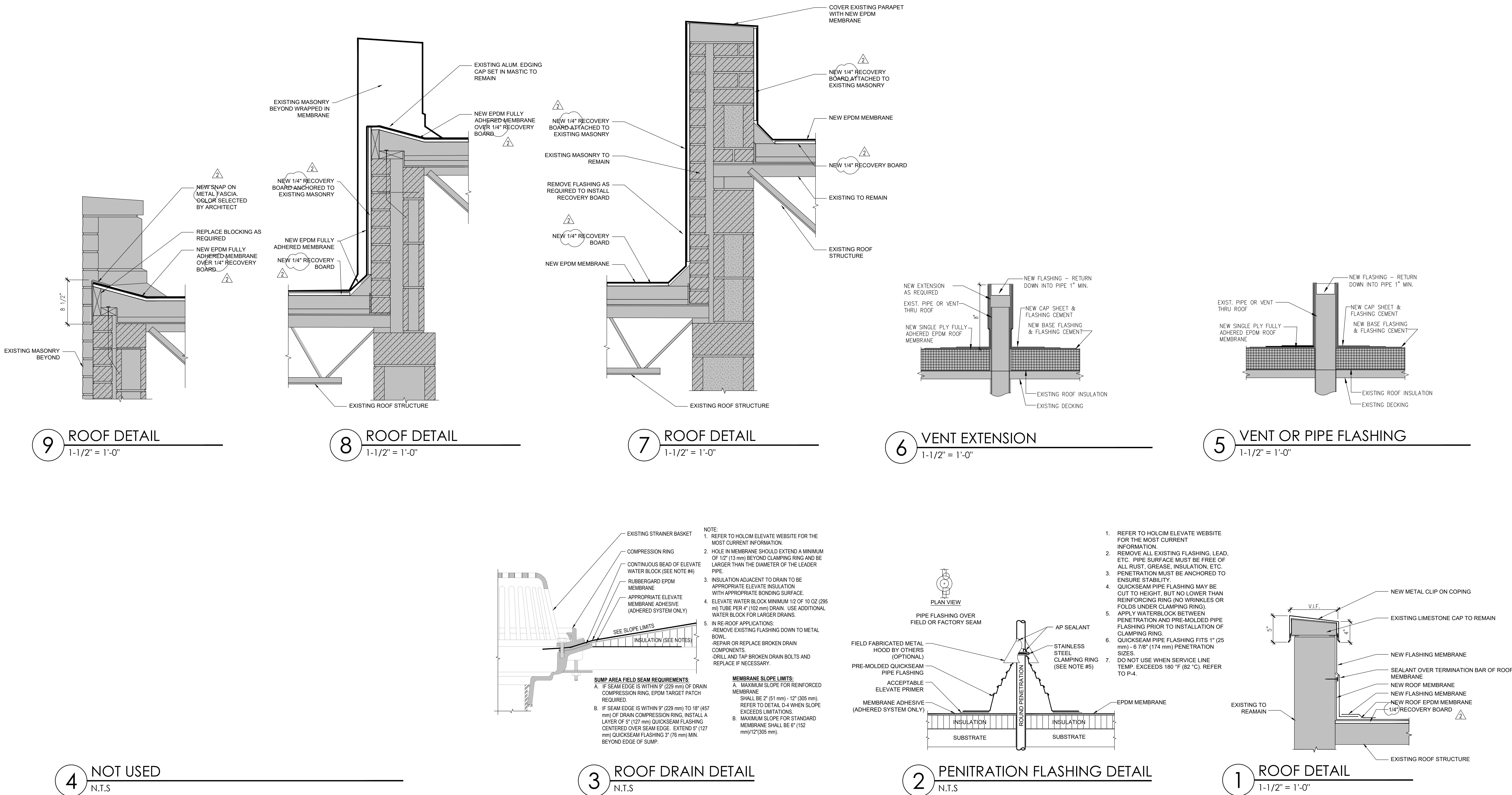
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| 2 | 2/10/26 | PLAN REVISIONS |

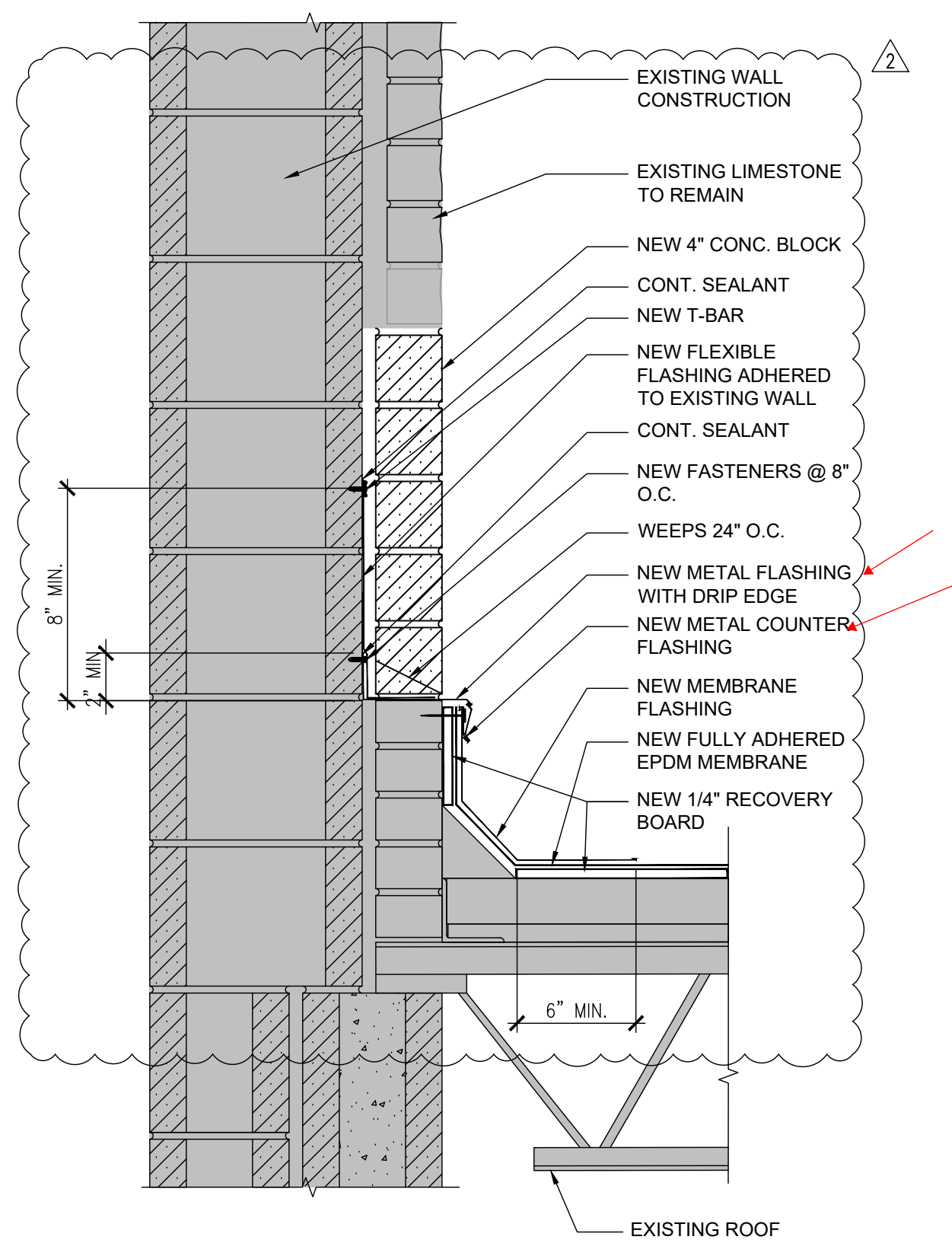
100% CONSTRUCTION DOCUMENTS

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| DATE: | 01/15/2026 |
| DRAWN BY: | NFA |

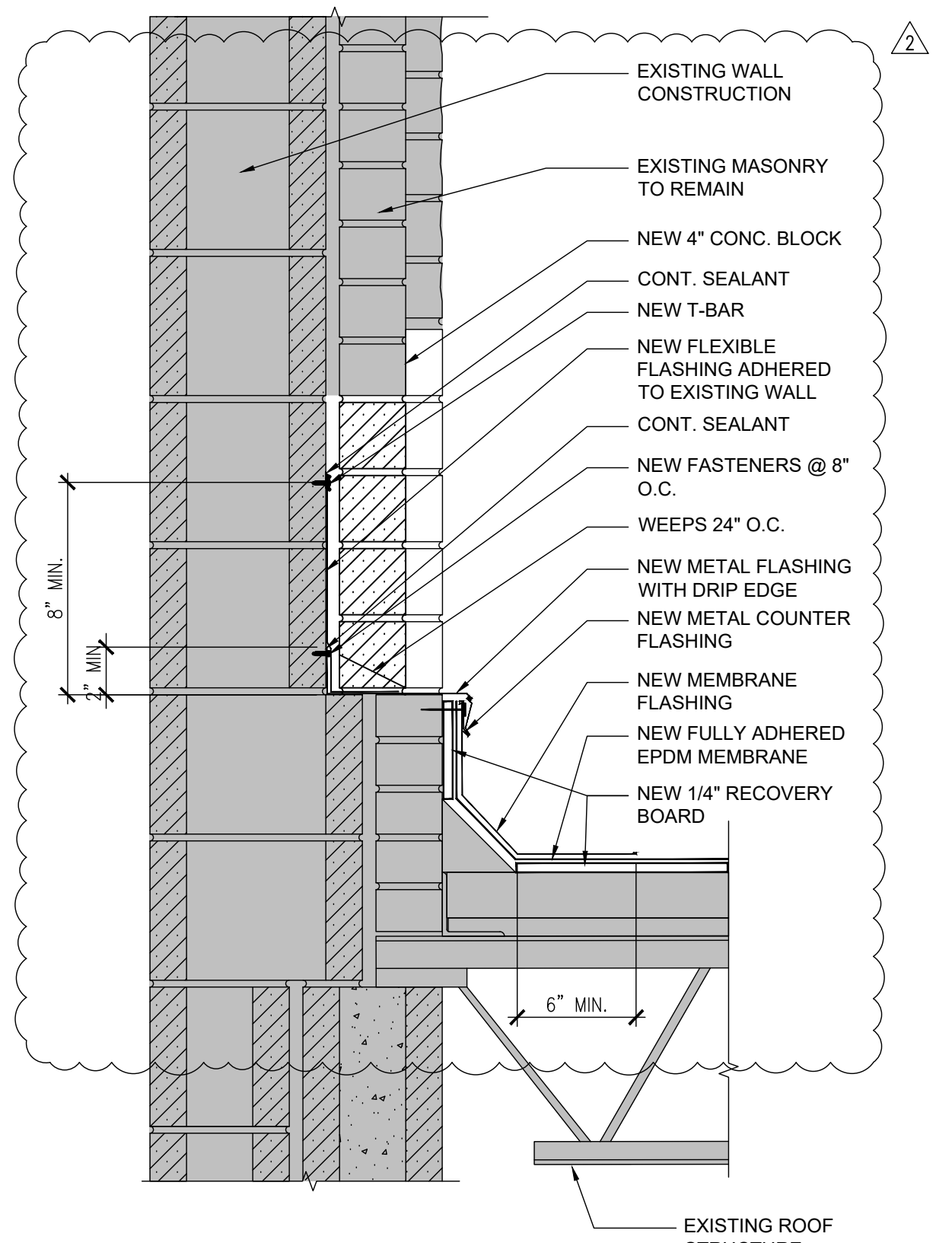
ROOF PLAN

A141

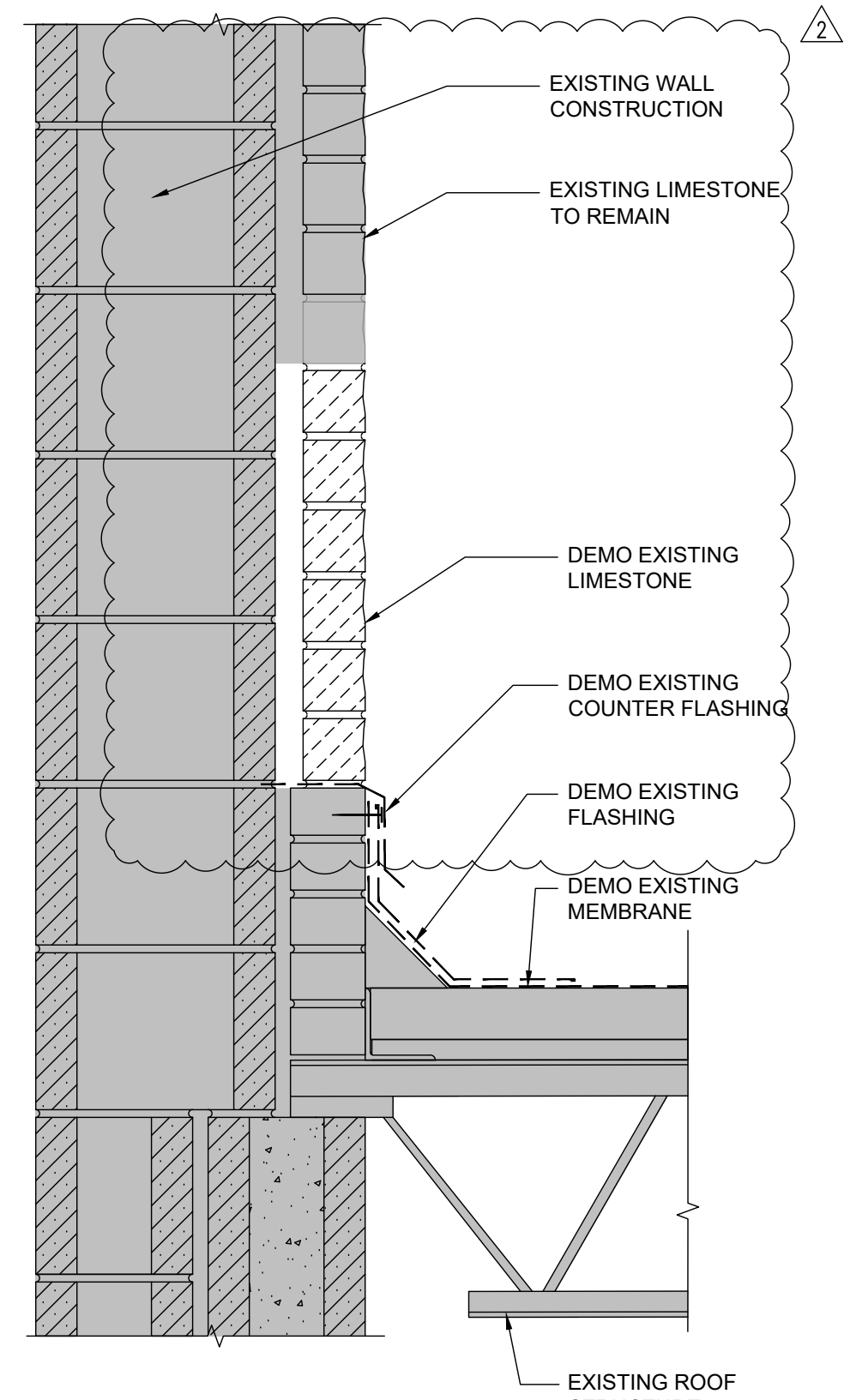




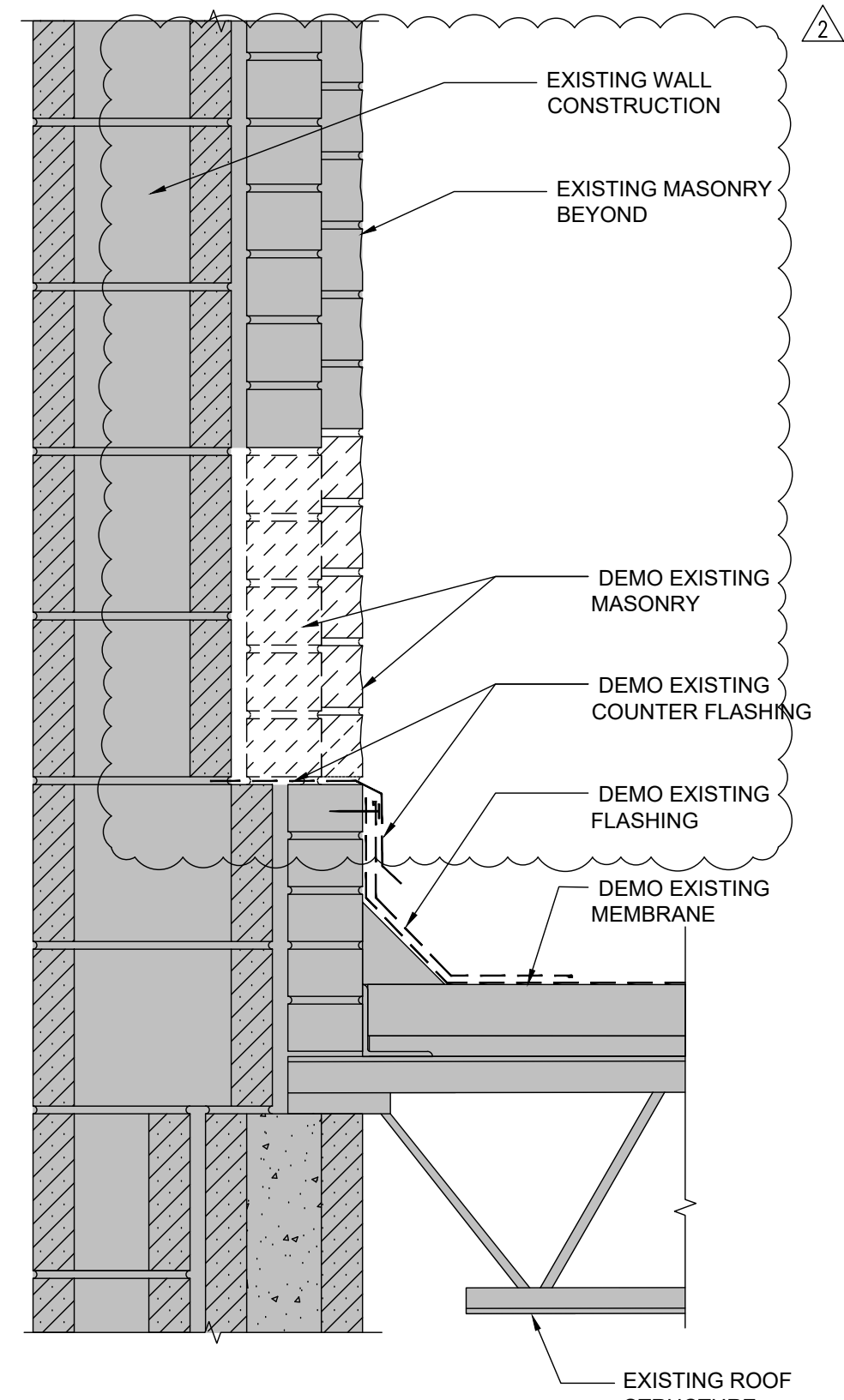
9 NEW DETAIL SECTION
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8 NEW DETAIL SECTION
SCALE: N.T.S.



7 DEMO SECTION
SCALE: N.T.S.

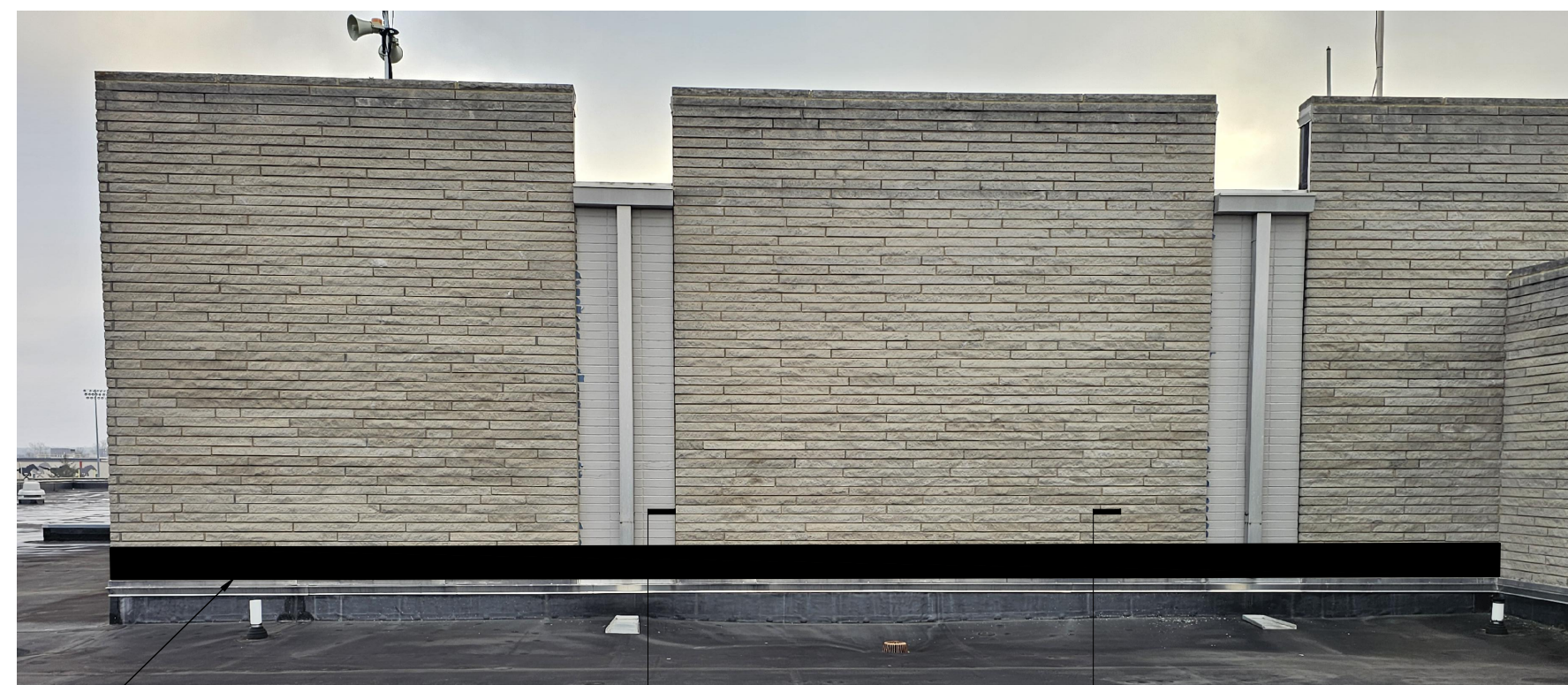


6 DEMO SECTION
SCALE: N.T.S.

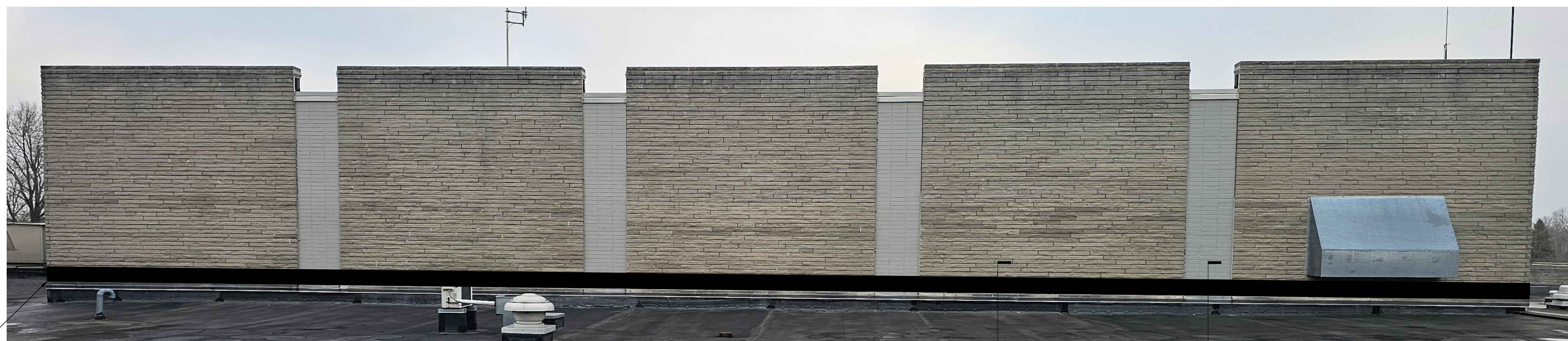
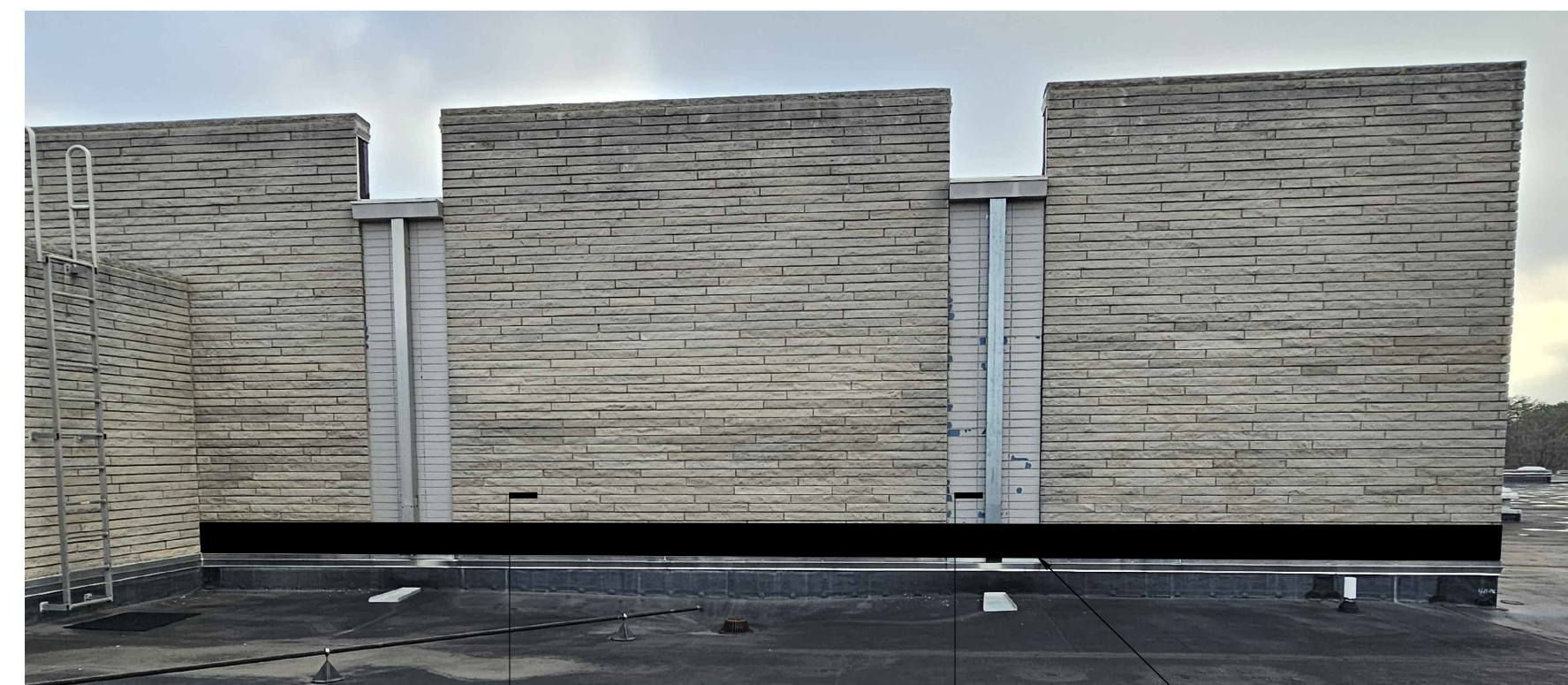


5 EXISTING SPLASH BLOCK
SCALE: N.T.S.

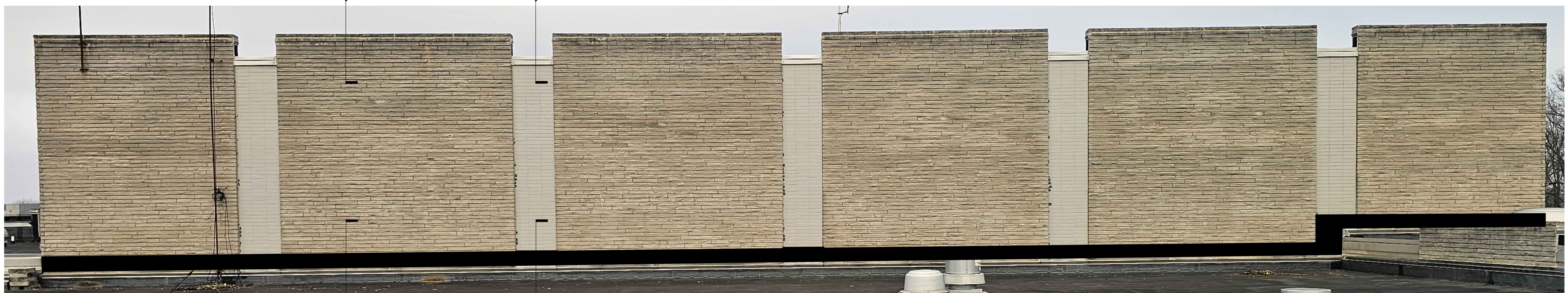
REMOVE A MINIMAL OF 20\"/>



4 WEST ELEVATIONS
SCALE: N.T.S.



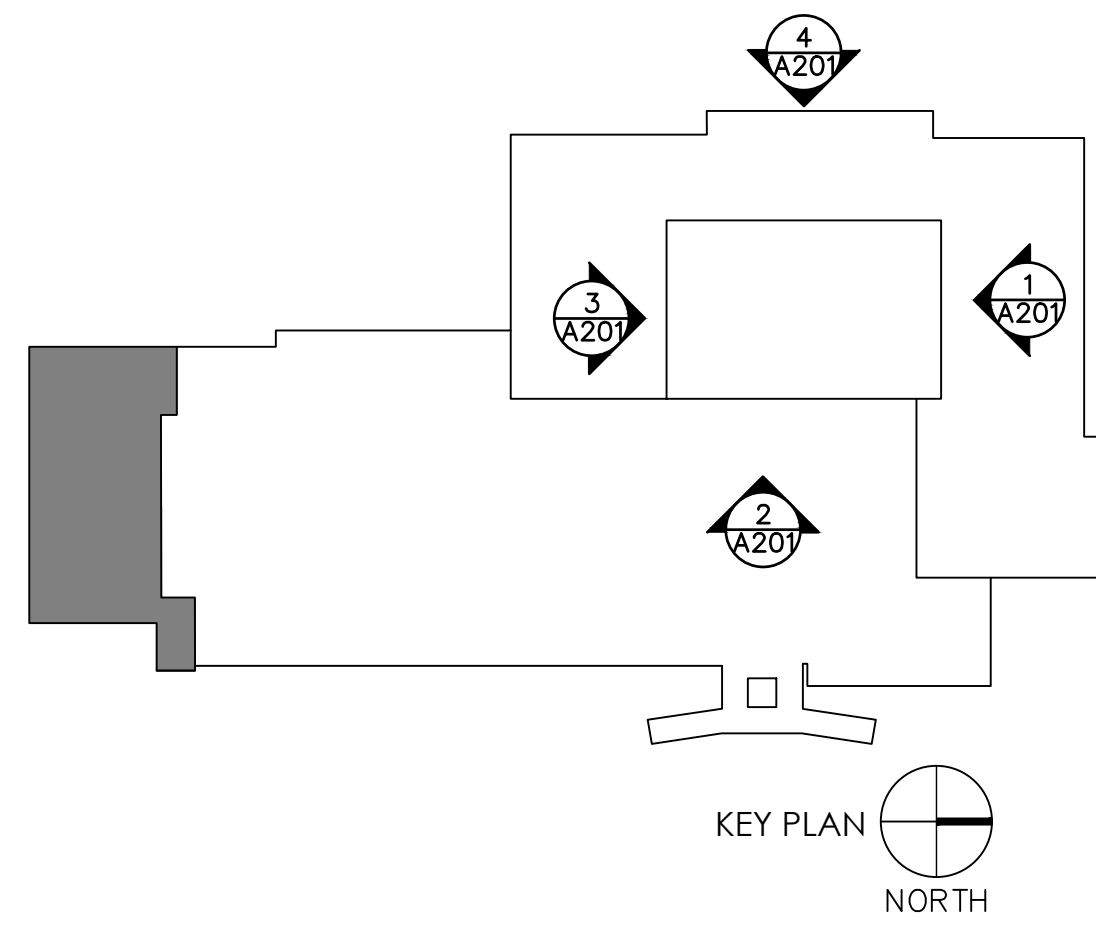
3 SOUTH ELEVATION
SCALE: N.T.S.



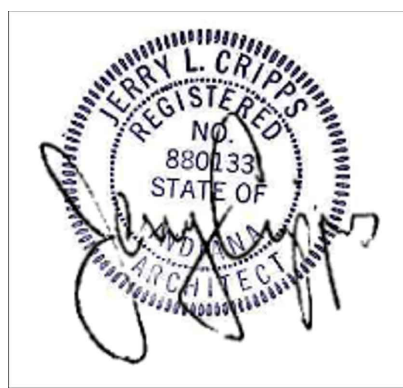
2 EAST ELEVATION
SCALE: N.T.S.



1 NORTH ELEVATION
SCALE: N.T.S.



EDGEWOOD JUNIOR HIGH
REROOF & HVAC PROJECT
851 W EDGEWOOD Dr
ELLETTTSVILLE, IN 47429



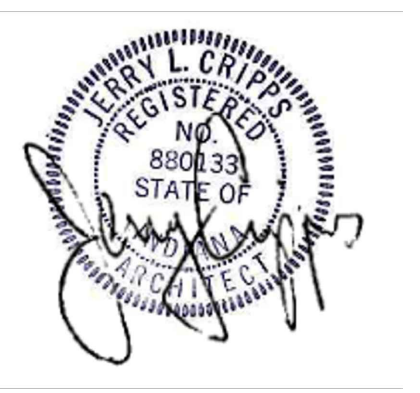
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100% CONSTRUCTION DOCUMENTS

PROJECT: 25148
DATE: 01/15/2026
DRAWN BY: NFA

EXTERIOR
ELEVATIONS

A201

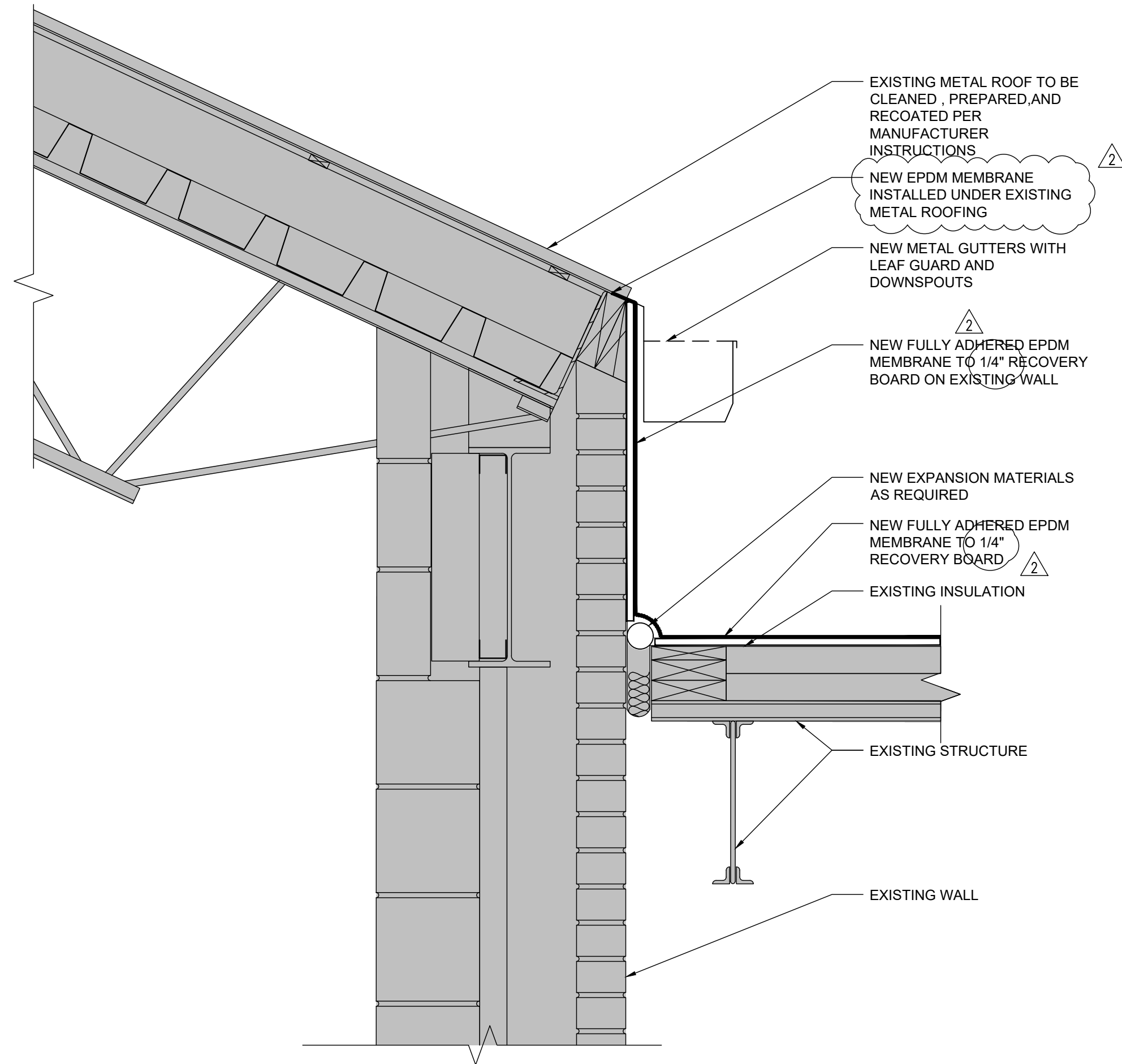


| REVISIONS: | | DESC. |
|------------|---------|----------------|
| # | DATE | PLAN REVISIONS |
| 2 | 2/10/26 | |

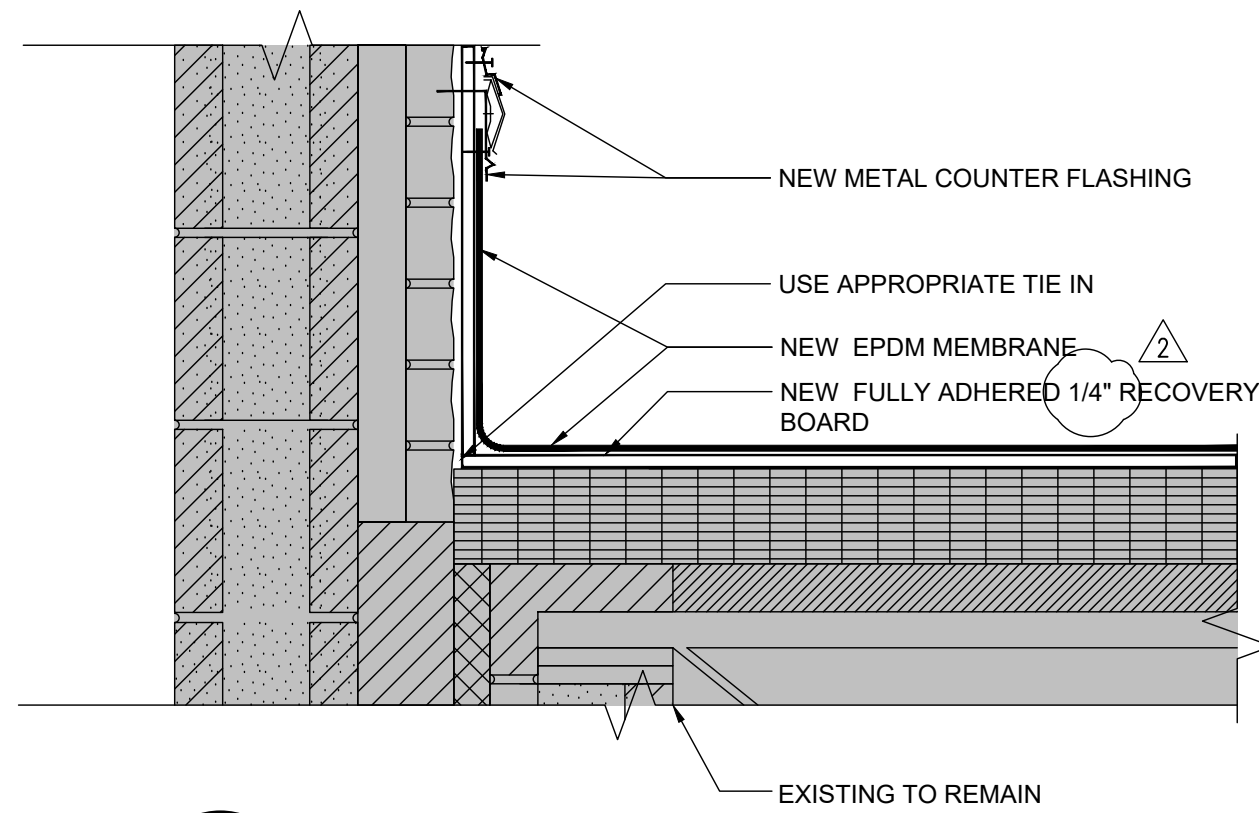
100 % CONSTRUCTION DOCUMENTS

| | |
|-----------|------------|
| PROJECT: | 25148 |
| DATE: | 01/15/2026 |
| DRAWN BY: | NFA |

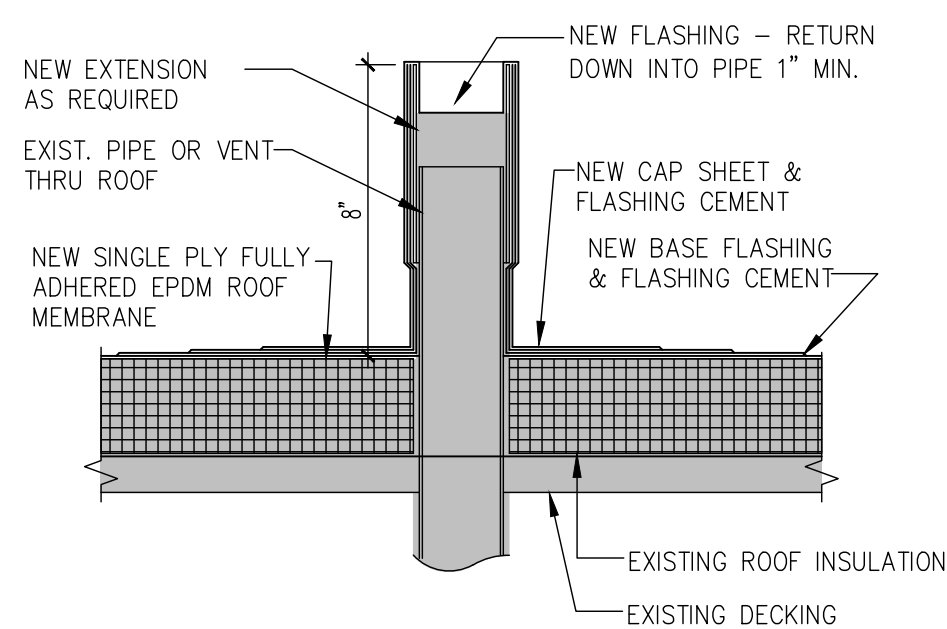
ROOF DETAILS



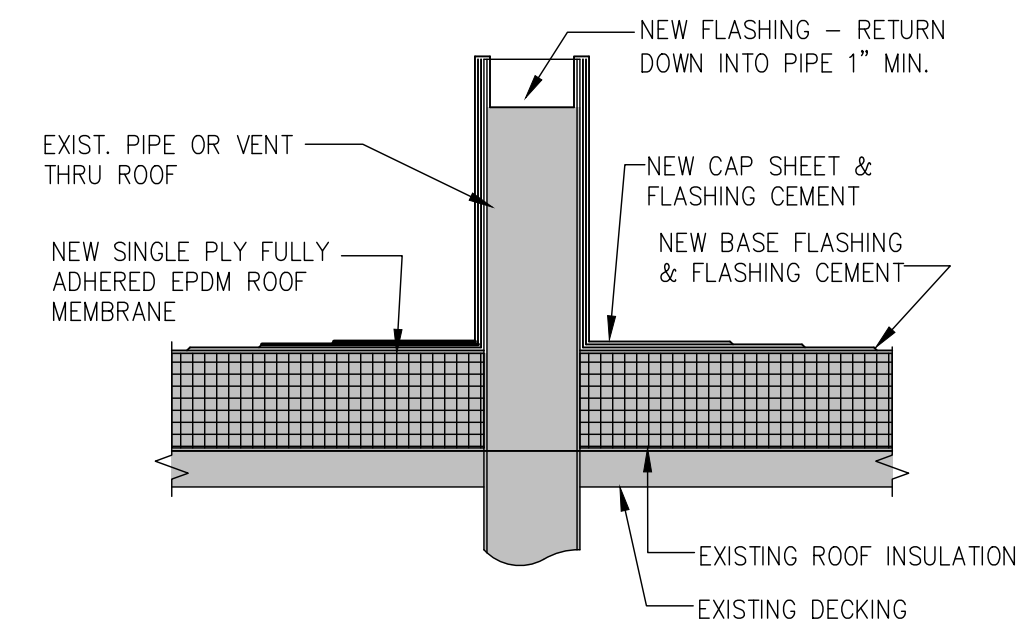
8 ROOF DETAIL
1-1/2" = 1'-0"



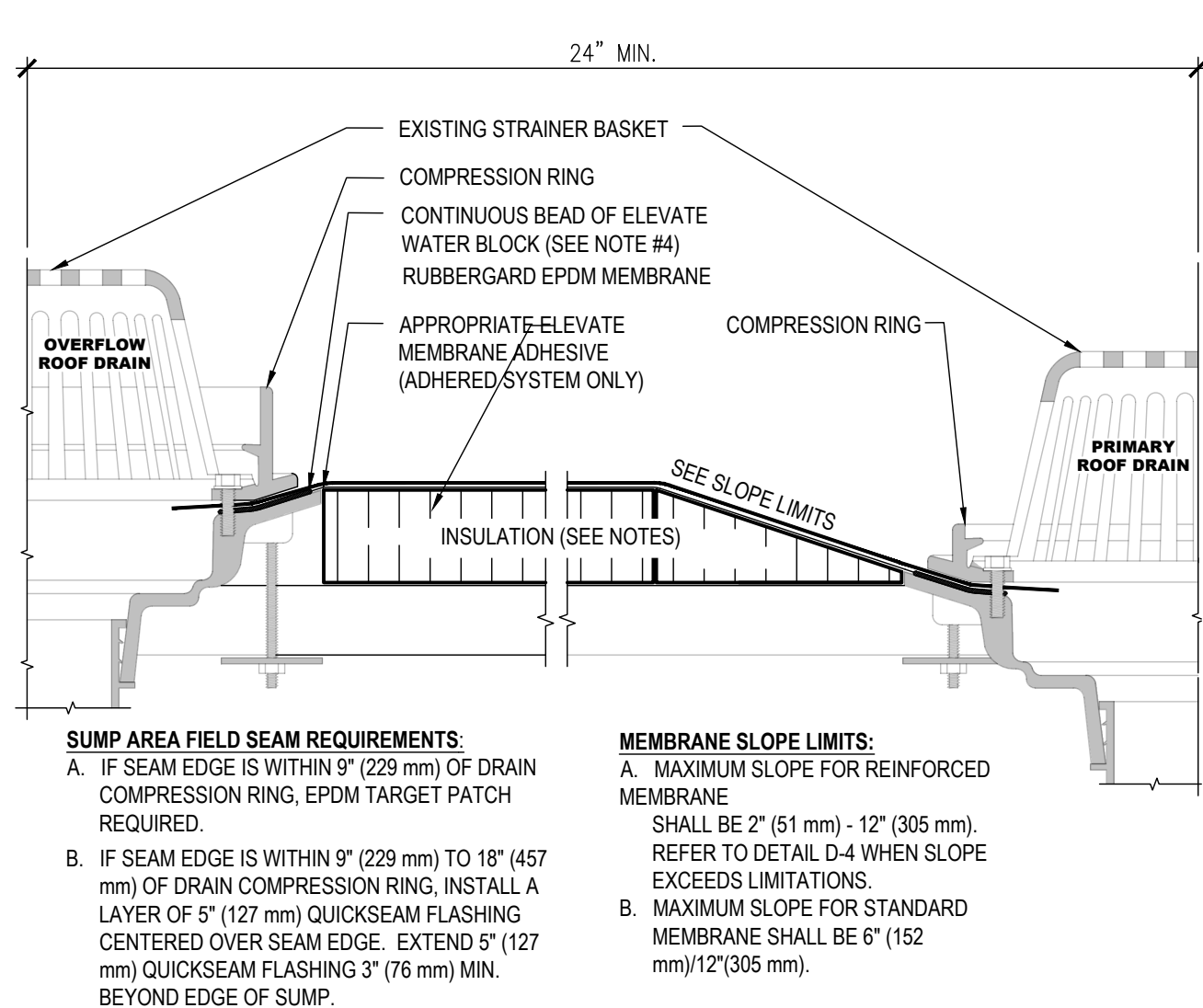
7 ROOF DETAIL
1-1/2" = 1'-0"



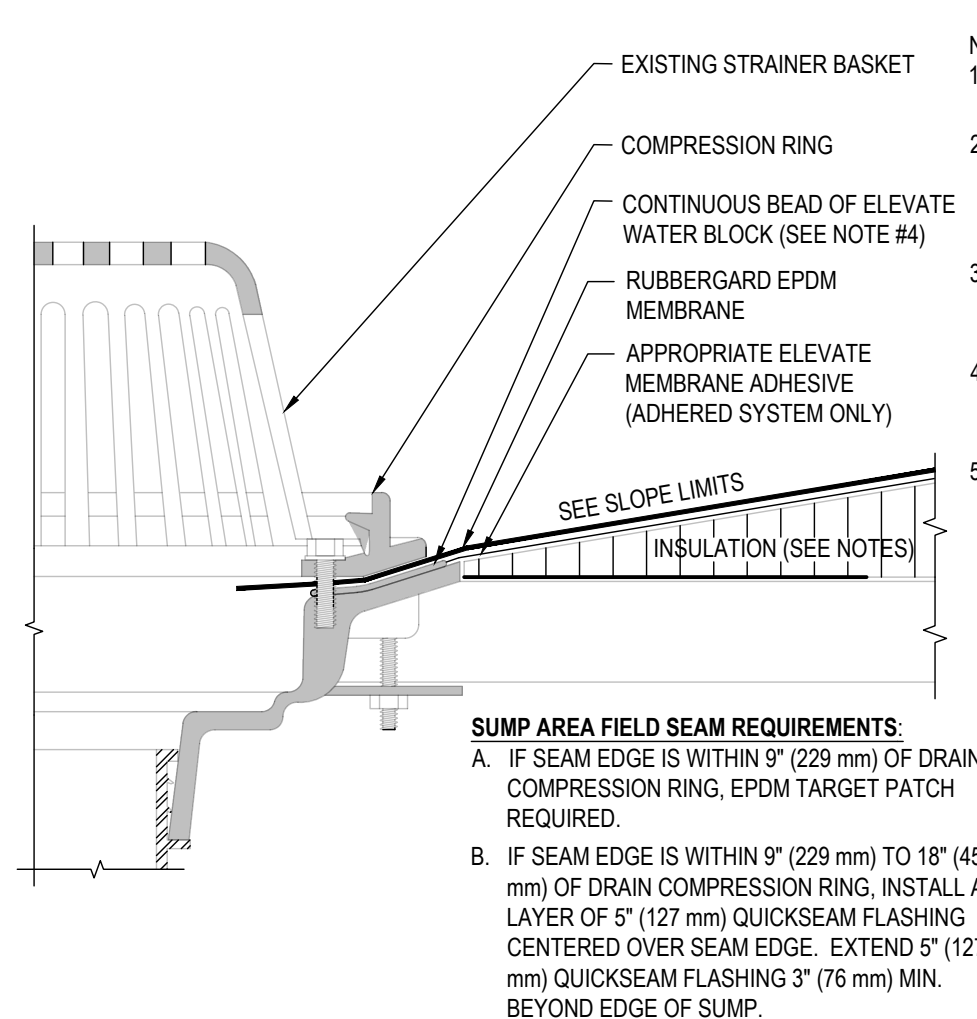
6 VENT EXTENSION
1-1/2" = 1'-0"



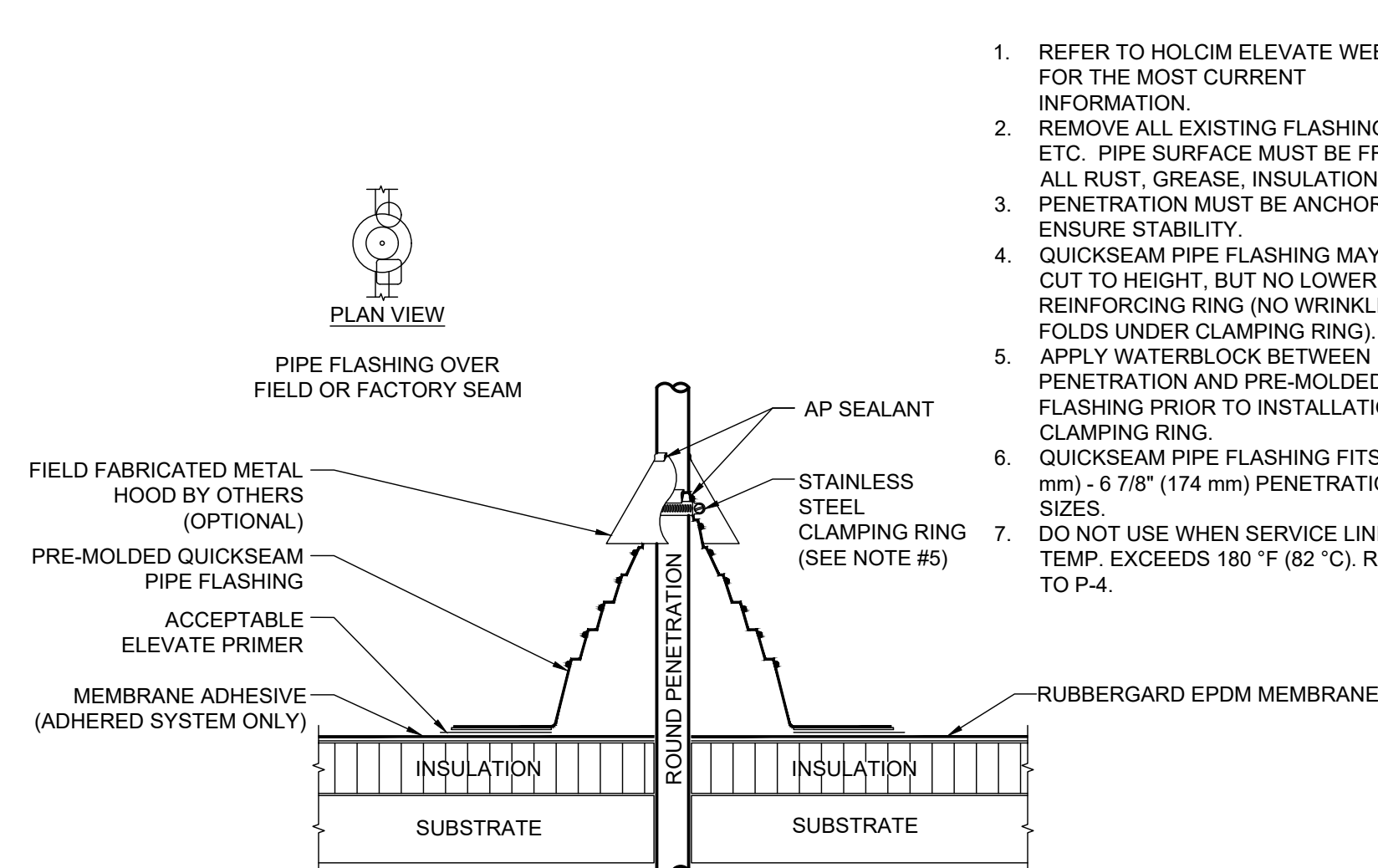
5 VENT OR PIPE FLASHING
1-1/2" = 1'-0"



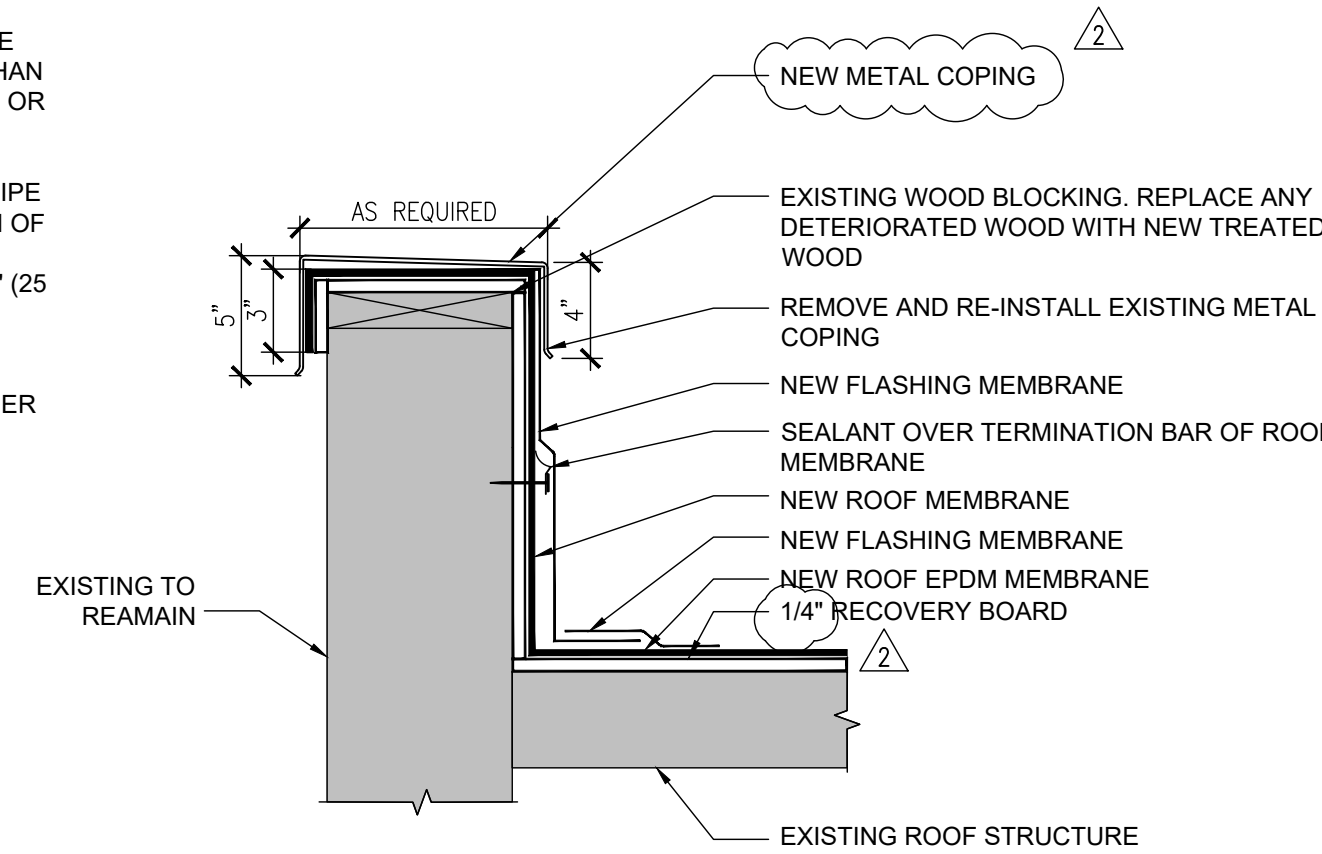
4 ROOF DRAIN WITH OVERFLOW DRAIN DETAIL
N.T.S.



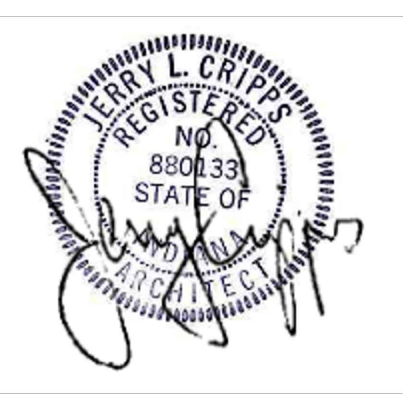
3 ROOF DRAIN DETAIL
N.T.S.



2 PENETRATION FLASHING DETAIL
N.T.S.



1 ROOF DETAIL
1-1/2" = 1'-0"

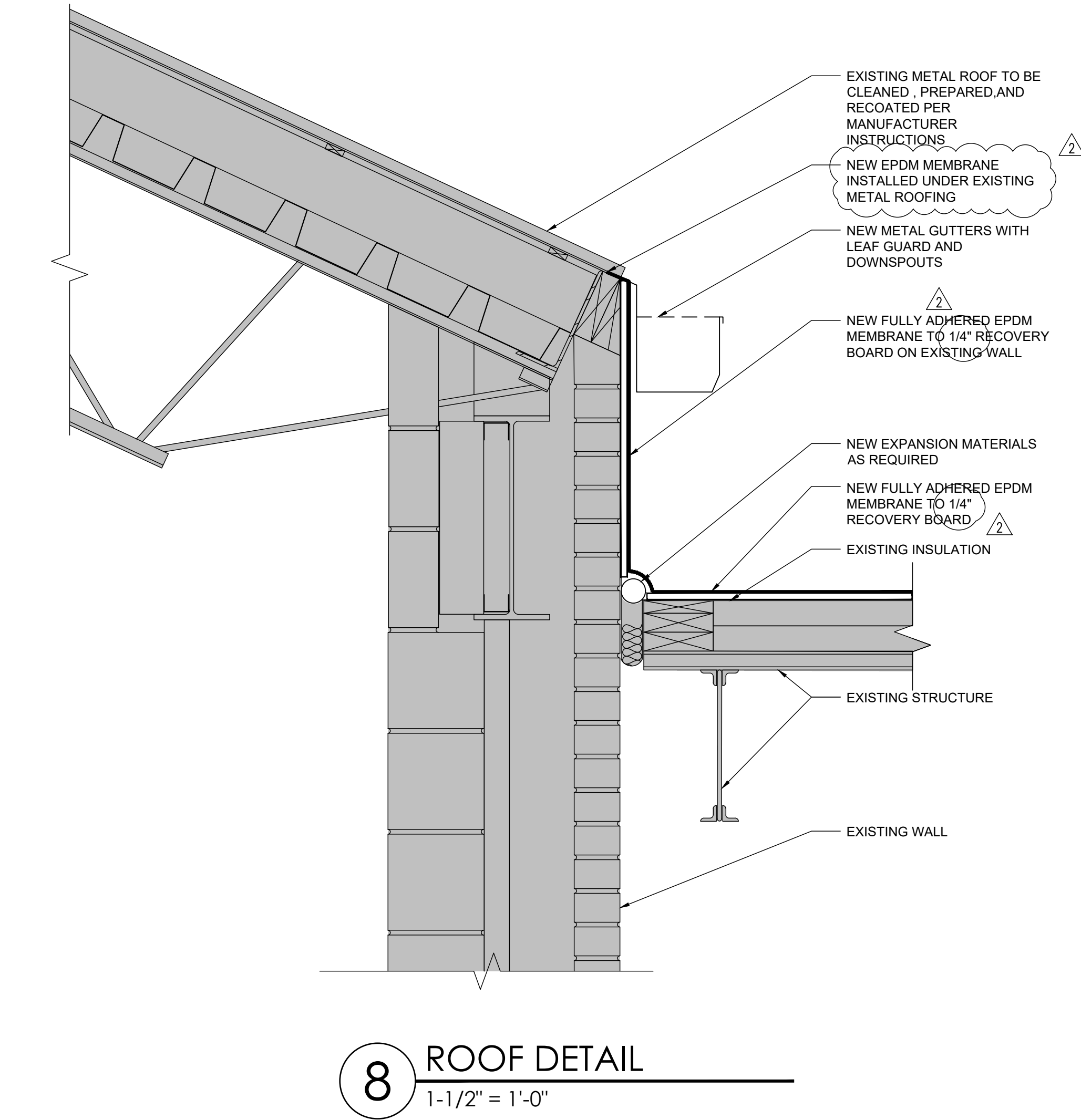


| REVISIONS: | # | DATE | DESC. | PLAN REVISIONS |
|------------|---|---------|-------|----------------|
| | 2 | 2/10/26 | | |

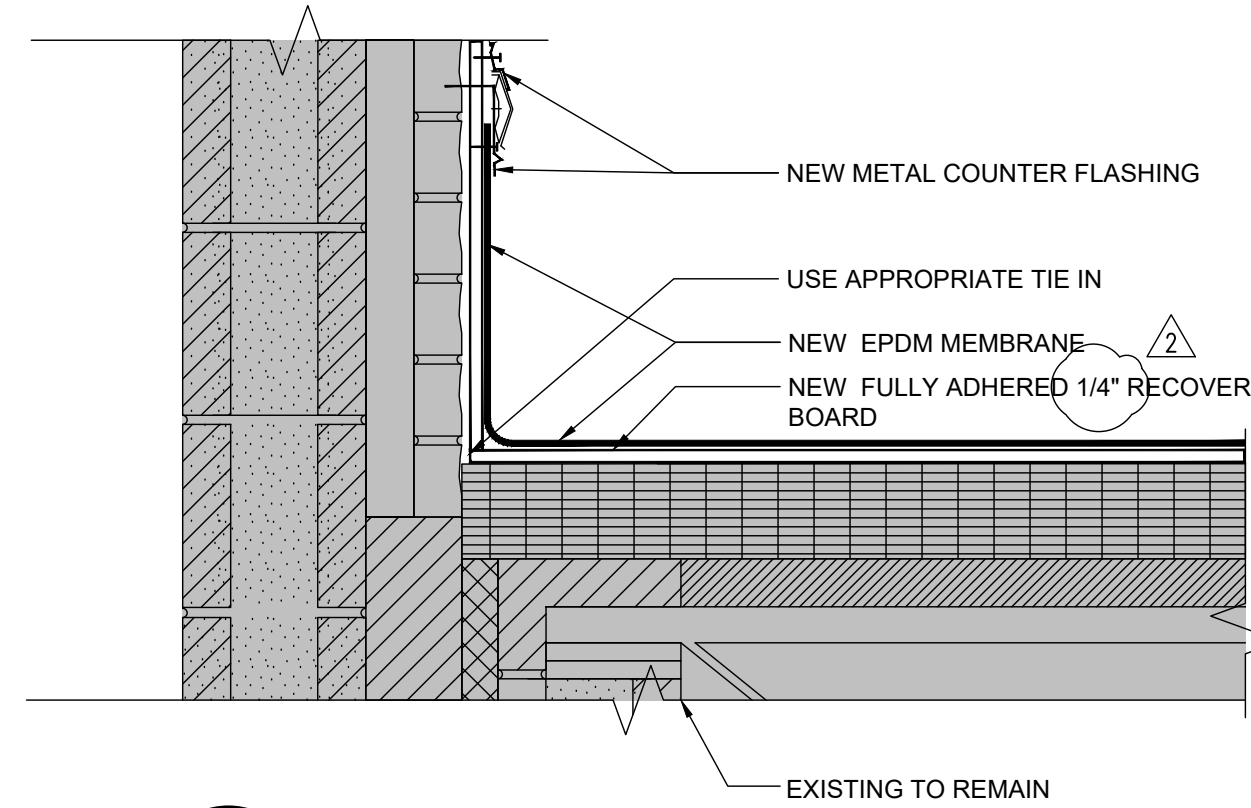
100% CONSTRUCTION DOCUMENTS

| | |
|-----------|------------|
| PROJECT: | 25148 |
| DATE: | 01/15/2026 |
| DRAWN BY: | NFA |

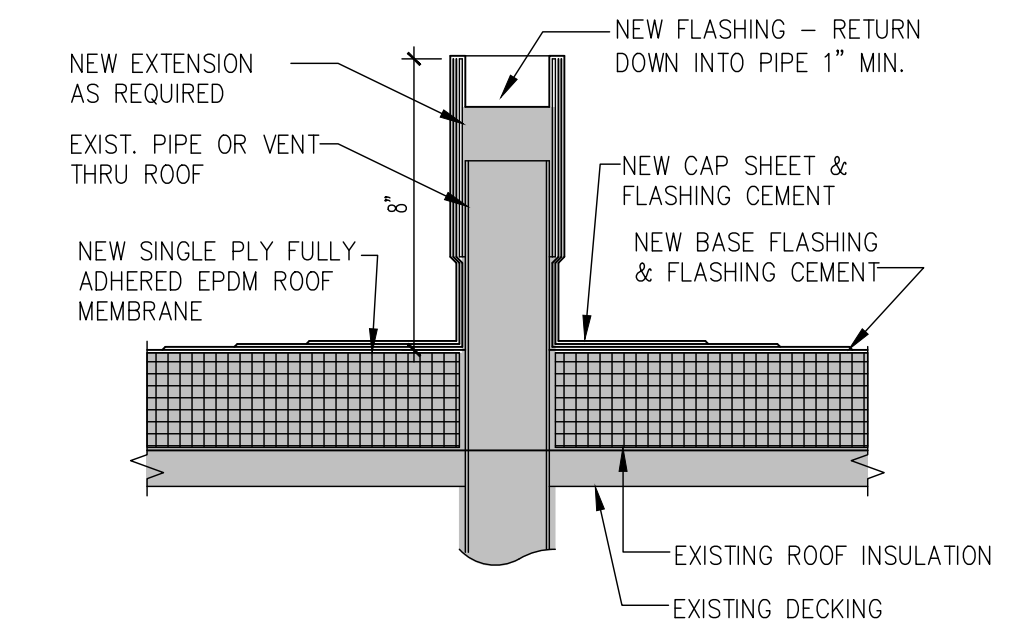
ROOF DETAILS



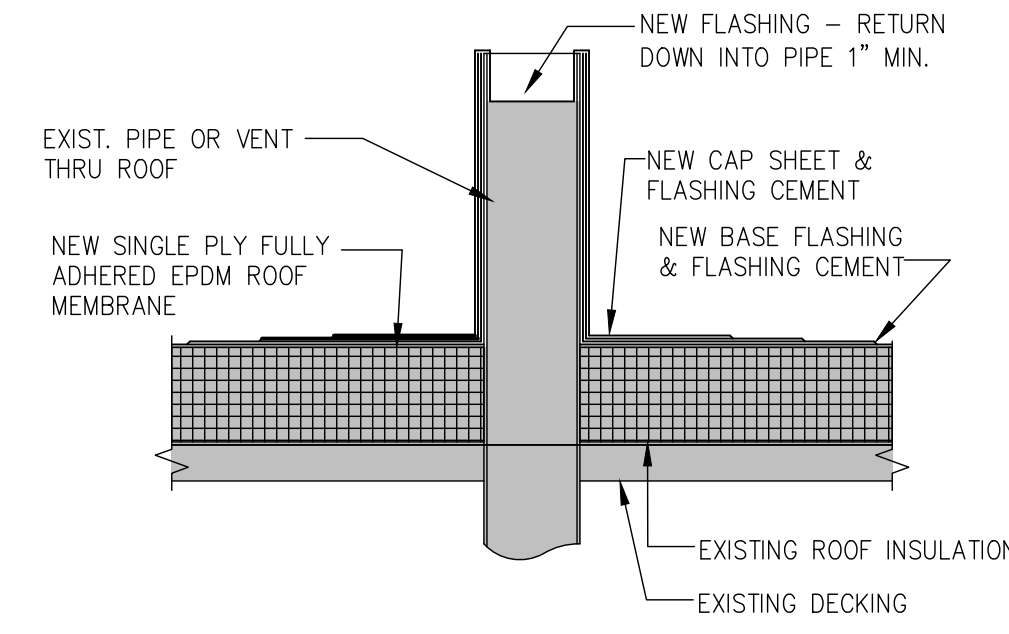
8 ROOF DETAIL
1-1/2" = 1'-0"



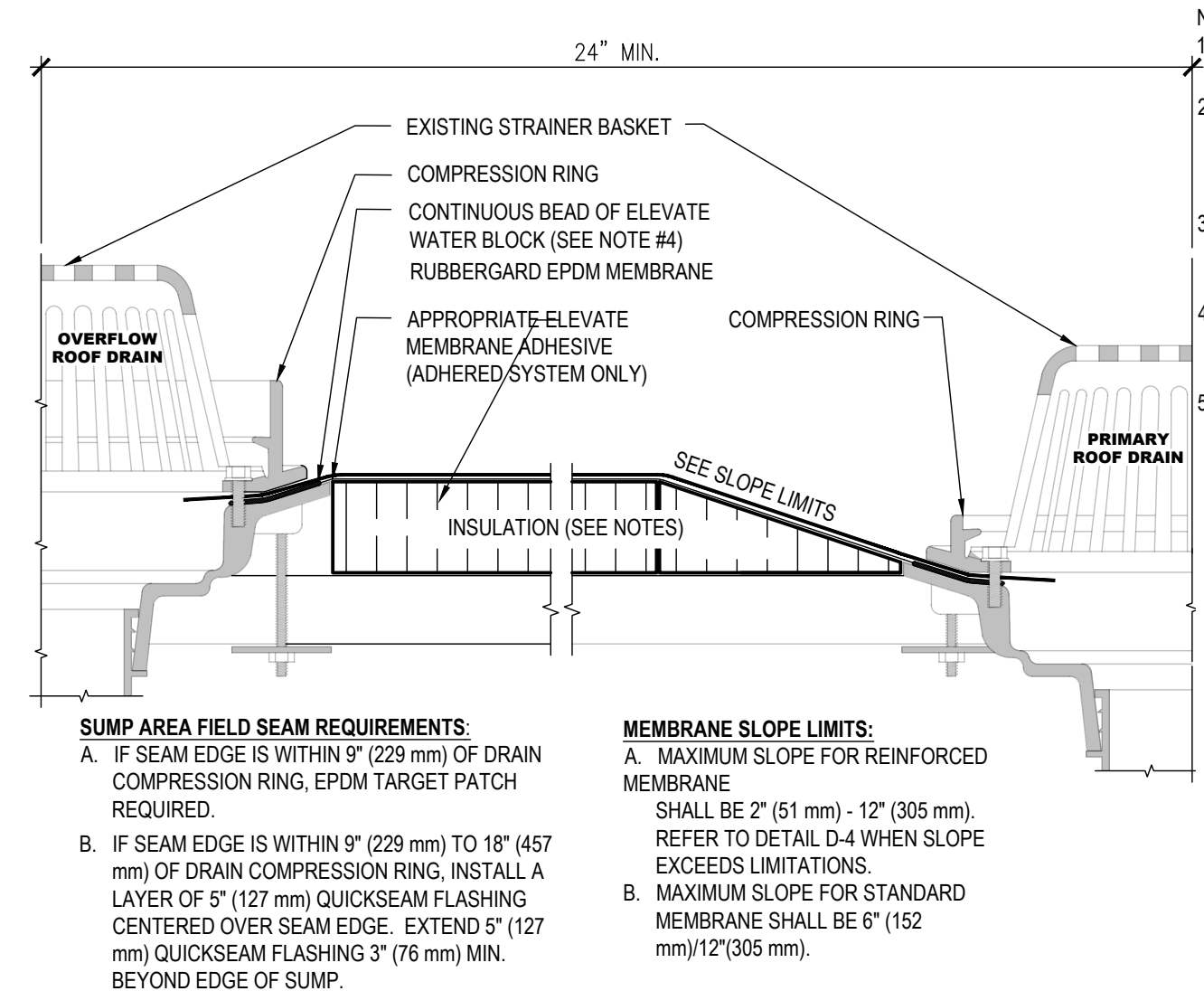
7 ROOF DETAIL
1-1/2" = 1'-0"



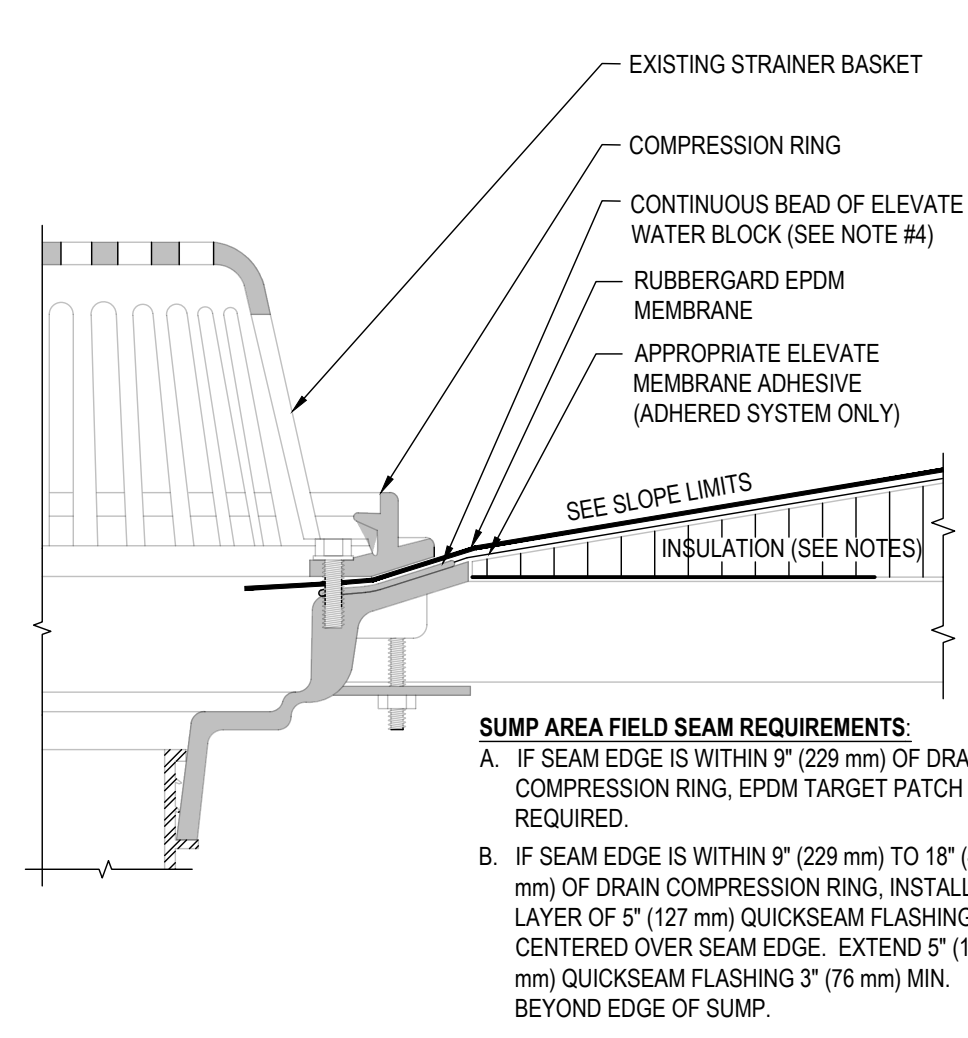
6 VENT EXTENSION
1-1/2" = 1'-0"



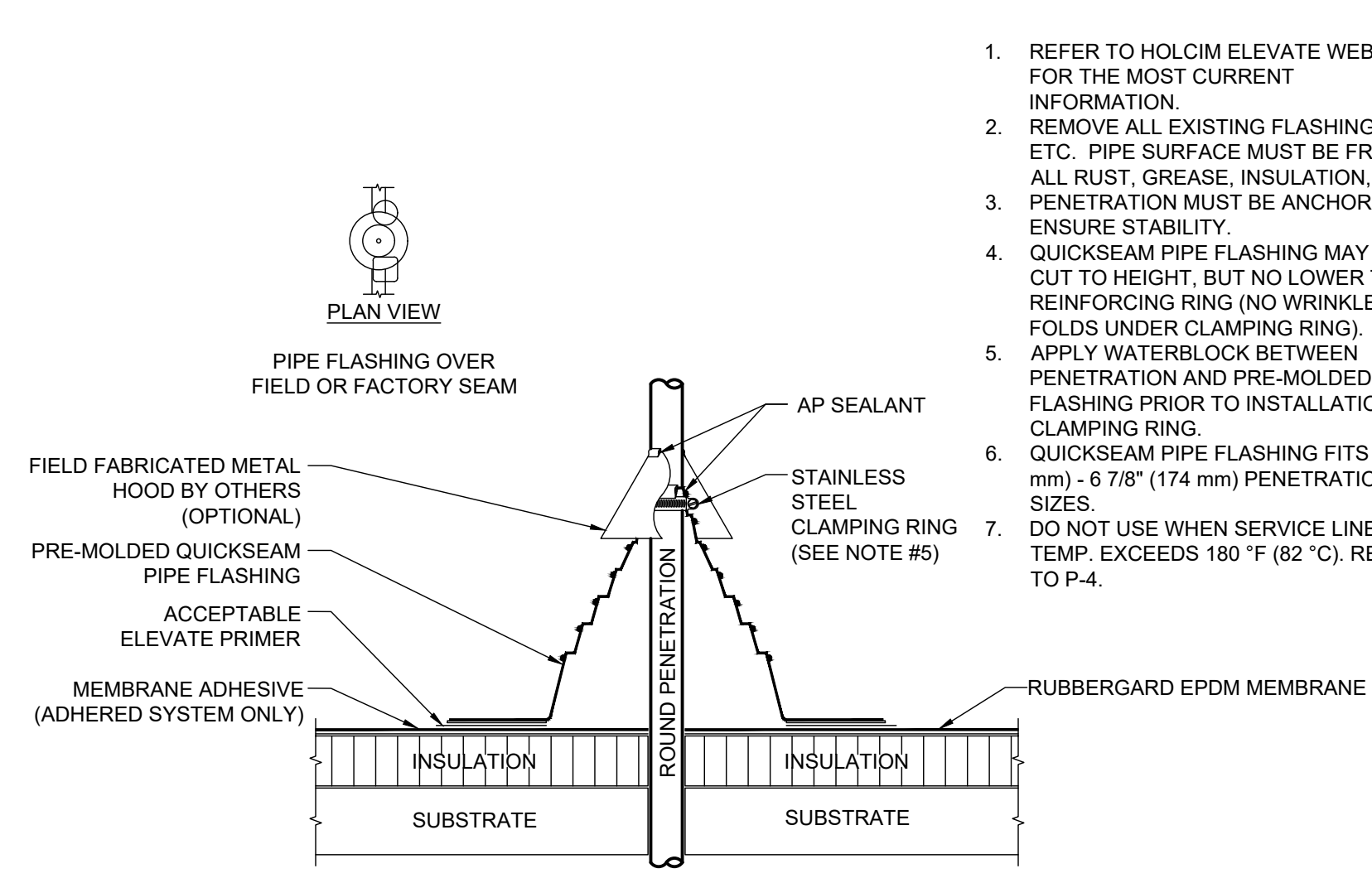
5 VENT OR PIPE FLASHING
1-1/2" = 1'-0"



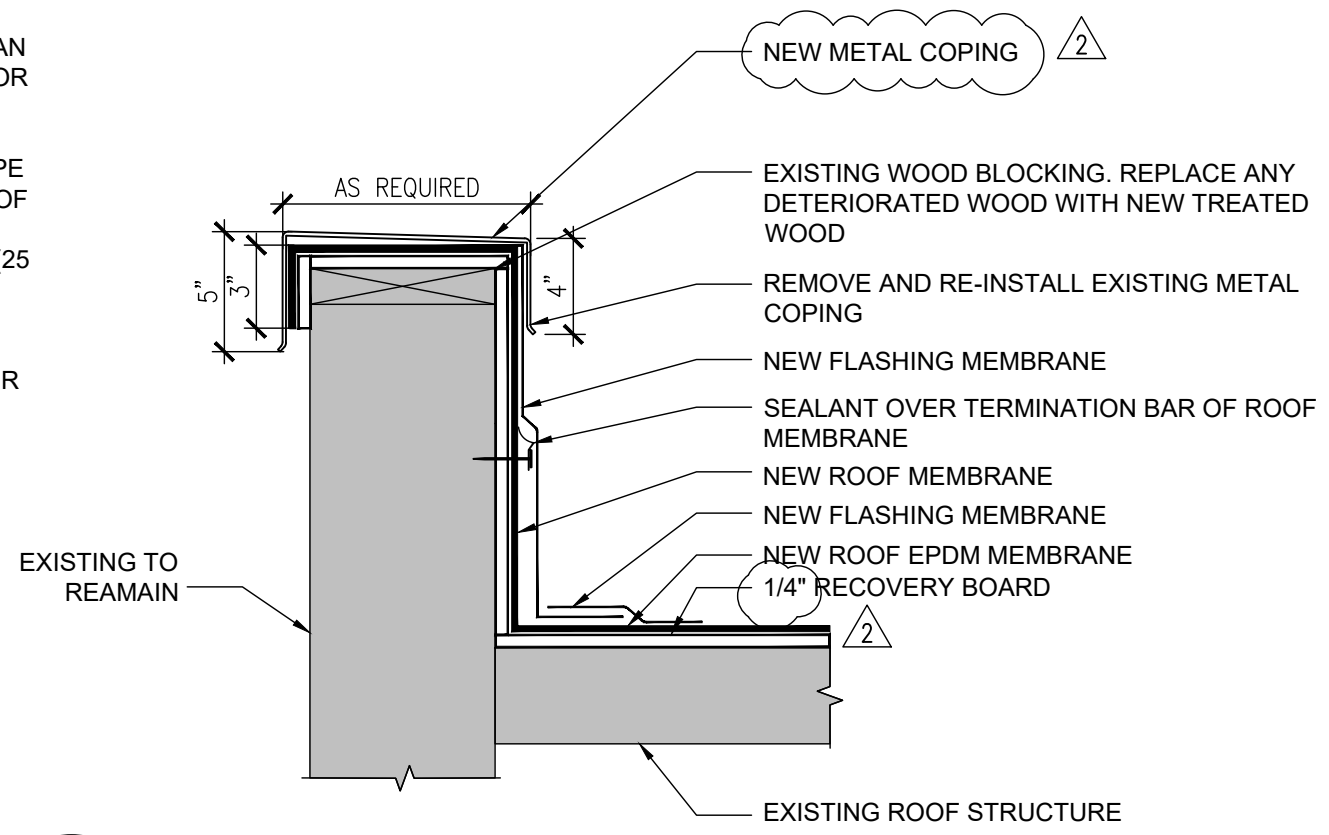
4 ROOF DRAIN WITH OVERFLOW DRAIN DETAIL
N.T.S.



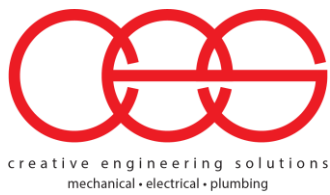
3 ROOF DRAIN DETAIL
N.T.S.



2 PENETRATION FLASHING DETAIL
N.T.S.



1 ROOF DETAIL
1-1/2" = 1'-0"



PROJECT NAME: EDGEWOOD MEP UPGRADES
DATED: 2/10/2026
ADDENDUM NO. 2

PART 1 - CHANGES TO THE PROJECT MANUAL

1.1 DIVISION 23 - HEATING, VENTILATING, AND AIR-CONDITIONING(HVAC)

A. Section 230900 DIRECT DIGITAL CONTROL SYSTEMS FOR HVAC

1. DELETE Text under paragraph 1.8 as follows:

Remove "Manufacturer #1" Johnson Controls from approved control system primary manufacturers list.

The only approved manufacturers shall be ALC by local Carrier Muncie branch and Alerton by OCS.

B. Section 231123 FACILITY NATURAL GAS PIPING

1. ADD subparagraph 2.6, B., j.

"j. Norgas"

C. Section 235216 CONDENSING BOILERS

Add subparagraph 2.2.A.4

"4. Cleaver-Brooks"

END OF ADDENDUM NO. 2