

**ADDENDUM
NO. 4**

February 28, 2022

**LOGANPORT FAIRVIEW ELEMENTARY SCHOOL RENOVATIONS
Logansport, IN 46947**

TO: ALL BIDDERS OF RECORD

This Addendum forms a part of and modifies the Bidding Requirements, Contract Forms, Contract Conditions, the Specifications, and the Drawings dated June 18, 2021 by Gibraltar Design. Acknowledge receipt of the Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of Page ADD 4-1 through 4-3, Schedule Update 2-2-2022, Specification Section 00 02 00 Notice to Bidders, Specification Section 00 31 00 Bid Form, and attached Addendum No. 4 drawings A-201, A202 and A-210 from Gibraltar Design dated February 1, 2022.

NOTE: This rebid is for ROOFING WORK ONLY

A. SPECIFICATION SECTION 00 02 00 - NOTICE TO BIDDERS

1. **Replace** with attached revised Specification Section 00 02 00 - Notice to Bidders.

B. SPECIFICATION SECTION 00 31 00 - BID FORM

1. **Replace** with the attached revised Specification Section 00 31 00 - Bid Form

C. SPECIFICATION SECTION 01 12 00 - MULTIPLE CONTRACT SUMMARY

1. **Replace 1.16A** with the following:

The Contractor shall commence work within ten (10) days after being notified in writing to proceed and shall complete the Work within the time limitations established in the Form of Agreement.

1. It is anticipated that construction will start within Sixty-two (62) consecutive calendar days after receipt of bids.
2. Construction shall be complete within one hundred eight (108) consecutive calendar days, or earlier, after Notice to Proceed.

2. **Add: BID CATEGORY NO. 2A - ROOFING & SHEET METAL**

General Requirements in Paragraph 3.02.B above.

Section	01 52 60	Rubbish Container (As Applicable)
Section	06 10 00	Rough Carpentry (As Applicable)
Section	07 53 23	Roof Insulation and Membrane Roofing - EPDM
Section	07 62 00	Sheet Metal Flashing
Section	07 71 19	Aluminum Fascias and Copings
Section	07 72 10	Roof Specialties
Section	07 84 00	Firestopping (As Applicable)
Section	07 90 00	Joint Sealants (As Applicable)

Clarification No. 1:

Regarding Specification Sections 07 84 00 Firestopping and 07 90 00 Joint Sealants; all contractors are to provide Firestopping and Joint Sealants in accordance with the Contract Documents. In general, the Contractor whose work creates a joint that requires firestopping or joint sealant (in the normal sequence of work) is to provide the firestopping or joint sealant.

Clarification No. 2:

Use of excessive noise producing equipment and demolition operations that will interrupt normal school instruction will not be permitted during normal school operating hours. Contractors that require such equipment or that have interruptive operations shall include in their bid the performance of such work after normal school operating hours. Contractors requiring the use or installation of materials that create excessive fumes must include in their bid the performance of such work after normal school operating hours. The contractor performing the work shall provide adequate ventilation to control fumes to allow normal school operations after the installation is completed.

Clarification No. 3:

Regarding Specification Section 06 10 00 Rough Carpentry; the **Bid Category No. 2A Contractor** is responsible to provide all blocking, sheathing, or backing required for roof installation including MEP curbs, roof hatches, coping, fascia, parapet, etc. shown on or required by **ADDENDUM NO. 4**. The **Bid Category No. 1 Contractor** is responsible to provide all other wood blocking, sheathing, or backing required.

Clarification No. 4:

Regarding coordinating the installation of required penetrations, roof openings, wall openings, and floor openings; the Contractor whose work creates the opening or penetration is responsible for temporarily protecting, patching, repairing, and sealing the opening or penetration. Prior to commencement of work, contractors requiring roof penetrations must coordinate this work with the **Bid Category No. 2A Contractor**.

Clarification No. 5:

Prior to demolition of the Admin Area, the **Bid Category No. 1 Contractor** shall install weather tight partitions separating the existing to remain areas from the demolition and new construction. The **Bid Category No. 2 Contractor** shall provide and maintain temporary roof separation, including work necessary to re-direct rainwater to existing drains. The **Bid Category No. 2A Contractor** shall coordinate **ADDENDUM NO. 4** work surrounding the Admin Area with the **Bid Category No. 2 Contractor** to ensure that areas remain water tight during the Admin Area remodel work.

C. SPECIFICATION SECTION 01 32 00b - GUIDELINE SCHEDULE

1. Replace:

Specification Section 01 32 00b with the attached Schedule Update dated February 2, 2022.

SECTION 00 02 00 - NOTICE TO BIDDERS

NOTICE TO BIDDERS

Notice is hereby given that sealed bids will be received:

By: Logansport Community School Corporation
2829 George St., Logansport, IN 46947

For: Fairview Elementary School Renovations – **ROOF REBID**
846 S. Cicott St., Logansport, IN 46947

At: Logansport Community School Corporation
Administration Building
2829 George St., Logansport, IN 46947

Until: 2:00PM (EST), March 22, 2022

Bid Opening: Bids will be publicly opened and read aloud at 2:00PM (EST), in the Administration Building.

All work for the complete construction of the Project will be under one or more prime contracts with the Owner based on bids received and on combinations awarded. The Construction Manager will manage the construction of the Project.

Construction shall be in full accordance with the Bidding Documents which are on file with the Owner and may be examined by prospective bidders at the following locations:

The Skillman Plan Room

www.skillmanplanroom.com

Prime and Non-Prime Contract Bidders must place an order on www.skillmanplanroom.com to be able to download documents electronically or request printed documents. There is no cost for downloading the bidding documents. Bidders desiring printed documents shall pay for the cost of printing, shipping, and handling. Reprographic Services are provided by:

Reprographic Arts, 1017 Franklin St., Michigan City, IN 46360, Phone (219) 872-9111

A Pre-Bid Conference will be held on March 8, 2022 at 1:00PM (EST) in person at Fairview Elementary School.

Attendance by bidders is optional, but recommended, in order to clarify or answer questions concerning the Drawings and Project Manual for the Project.

Bid security in the amount of ten percent (10%) of the Bid must accompany each Bid in accordance with the Instructions to Bidders.

The successful Bidders will be required to furnish Performance and Payment Bonds for one hundred percent (100%) of their Contract amount prior to execution of Contracts.

Contractors submitting bids for the performance of any Work as specified in this building Project should make such Bids to **Logansport Community School Corporation**. Contractors are advised that the Contract as finally entered into with any successful Bidder may be entered into with either the School Corporation or the Building Corporation or certain portions of the Contract may be entered into by both the School Corporation and the Building Corporation.

The Owner reserves the right to accept or reject any Bid (or combination of Bids) and to waive any irregularities in bidding. All Bids may be held for a period not to exceed **60** days before awarding contracts.

Logansport Community School Corporation

By: Michele Starkey, Superintendent

END OF SECTION 00 02 00

CONTRACTOR'S BID FOR PUBLIC WORKS FORM NO. 96

Format (Revised 2013)
(Amended for LCSC)

**Logansport Fairview
Elementary School Renovations
ROOF REBID
Logansport, IN**

PART I

(To be completed for all bids. Please type or print)

Date (month, day, year): _____

BIDDER (Firm) _____

Address _____ P.O. Box _____

City/State/Zip _____

Telephone Number: _____ Email Address: _____

Person to contact regarding this Bid _____

Pursuant to notices given, the undersigned offers to furnish labor and/or materials necessary to complete the public works project of:

Insert Category No. (s) and Name(s)

Of public works project, ***Logansport Fairview Elementary School Renovations - ROOF REBID***, in accordance with Plans and Specifications prepared by ***Gibraltar Design, 9102 N. Meridian St., Ste. #300, Indianapolis, IN 46260***, as follows:

BASE BID

For the sum of _____
(Sum in words)

_____ DOLLARS (\$ _____)
(Sum in figures)

The undersigned acknowledges receipt of the following Addenda:

Receipt of Addenda No. (s) _____

PROPOSAL TIME

Bidder agrees that this Bid shall remain in force for a period of sixty (60) consecutive calendar days from the due date, and Bids may be accepted or rejected during this period. Bids not accepted within said sixty (60) consecutive calendar days shall be deemed rejected.

Attended pre-bid conference YES _____ NO _____

Has visited the jobsite YES _____ NO _____

The Bidder has reviewed the Guideline Schedule in Section 01 32 00 and the intent
Of the schedule can be met. YES _____ NO _____

Bidder has included their Written Drug Testing Plan that covers all employees of the bidder who will perform work on the public work project and meets or exceeds the requirements set in IC 4-13-18-5 or IC 4-13-18-6. YES _____ NO _____

The Skillman Corporation's diversity initiative is to create a program to encourage, assist and measure the active participation of Minority-Owned, Women-Owned, Veteran-Owned and Disabled Individual-Owned Businesses. The Program is to ensure that MWVDBEs are provided full and equal opportunity to participate in all Skillman Corporation's Projects.

Bidder has included: DBE: YES _____ % NO _____
 MBE: YES _____ % NO _____
 WBE: YES _____ % NO _____
 VBE: YES _____ % NO _____

The undersigned further agrees to furnish a bond or certified check with this Bid for an amount specified in the Notice to Bidders. If Alternate Bids apply, submit a proposal for each in accordance with the Plans and Specifications.

If additional units of material included in the contract are needed, the cost of units must be the same as that shown in the original contract if accepted by the governmental unit. If the bid is to be awarded on a unit bases, the itemization of the units shall be shown on a separate attachment.

The contractor and his subcontractors, if any, shall not discriminate against or intimidate any employee, or applicant for employment, to be employed in the performance of this contract, with respect to any matter directly or indirectly related to employment because of race, religion, color, sex, national origin, or ancestry. Breach of this covenant may be regarded as a material breach of the contract.

CERTIFICATION OF USE OF UNITED STATES STEEL PRODUCTS
(if applicable)

I, the undersigned bidder, or agent as a contractor on a public works project, understand my statutory obligation to use steel products made in the United States (I.C. 5-16-8-2). I hereby certify that I and all subcontractors employed by me for this project will use U.S. steel on this project if awarded. I understand that violations hereunder may result in forfeiture of contractual payments.

PART II

(For projects of \$150,000 or more – IC 36-1-12-4)

These statements to be submitted under oath by each bidder with and as a part of his bid. (Attach additional pages for each section as needed.)

SECTION I EXPERIENCE QUESTIONNAIRE

1. What public works projects has your organization completed for the period of one (1) year prior to the date of the current bid?

Contract Amount	Class of Work	Completion Date	Name and Address of Owner

2. What public works projects are now in process of construction by your organization?

Contract Amount	Class of Work	Completion Date	Name and Address of Owner

3. Have you ever failed to complete any work awarded to you? _____ If so, where and why?

4. List references from private firms for which you have performed work.

SECTION II PLAN AND EQUIPMENT QUESTIONNAIRE

1. Explain your plan or layout for performing proposed Work. (Examples could include a narrative of when you could begin, complete the project, number of workers, etc. and any other information which you believe would enable the governmental unit to consider your bid.)

2. Please list the names and addresses of all subcontractors (i.e. persons or firms outside your own firm who have performed part of the work) that you have used on public works projects during the past five (5) years along with a brief description of the work done by each subcontractor.

3. If you intend to sublet any portion of the work, state the name and addresses of each subcontractor, equipment to be used by the subcontractor, and whether you will required a bond. However, if you are unable to currently provide a listing, please understand a listing must be provided prior to contract approval. Until the completion of the proposed project, you are under a continuing obligation to immediately notify the governmental unit in the event that you subsequently determine that you will use a subcontractor on the proposed project.

4. What equipment do you have available to use for the proposed Project? Any equipment used by subcontractors may also be required to be listed by the governmental unit.

5. Have you into contracts or received offers for all materials which substantiate the prices used in preparing your proposal? If not, please explain the rationale used which corroborate the process listed.

SECTION III CONTRACTOR'S FINANCIAL STATEMENT

Attachment of Bidder's financial statement is mandatory. Any Bid submitted without said financial statement as required by statute shall thereby be rendered invalid. The financial statement provided hereunder to the governing body awarding the Contract must be specific enough in detail so that said governing body can make a proper determination of the Bidder's capability for completing the Project if awarded.

SECTION IV CONTRACTOR NON-COLLUSION AFFIDAVIT

The undersigned Bidder or agent, being duly sworn on oath, says that he has not, nor has any other member, representative, or agent of the firm, company, corporation or partnership represented by him, entered into any combination, collusion or agreement with any person relative to the price to be bid by anyone at such letting nor to prevent any person from bidding nor to induce anyone to refrain from bidding, and that this Bid is made without reference to any other bid and without any agreement, understanding or combination with any other person in reference to such bidding.

He further says that no person or persons, firms, or corporations has, have, or will receive directly or indirectly, any rebate, fee, gift, commission, or thing of value on account of such contract.

Activity Name	Original Duration	Start	Finish	2022																																							
				February					March					April					May					June					July					August					September				
				24	31	07	14	21	28	07	14	21	28	04	11	18	25	02	09	16	23	30	06	13	20	27	04	11	18	25	01	08	15	22	29	05	12	19					
Fairview Elementary School	288	Aug-17-21 A	Aug-12-22																																								
Project Administration	288	Aug-17-21 A	Aug-12-22																																								
Submittals	20	Aug-17-21 A	Mar-01-22																													Submittals											
Spring Break 2022	5	Mar-21-22*	Mar-25-22																													Spring Break 2022											
Summer Break 2022	0	May-26-22*																														Summer Break 2022											
Substantial Completion	0		Aug-11-22																													Substantial Completion											
Final Completion	0		Aug-12-22																													Final Completion											
Sitework	27	May-26-22	Jul-05-22																																								
West Parking Lot	6	Jun-27-22	Jul-05-22																																								
Site Accessories	3	Jun-27-22	Jun-29-22																													Site Accessories											
Final Grade and Seed	3	Jun-30-22	Jul-05-22	Final Grade and Seed																																							
East Parking Lot	9	Jun-15-22	Jun-27-22																																								
Milling	1	Jun-15-22	Jun-15-22	Milling																																							
Surface	2	Jun-16-22	Jun-17-22	Surface																																							
Site Accessories	5	Jun-20-22	Jun-24-22	Site Accessories																																							
Striping	1	Jun-27-22	Jun-27-22	Striping																																							
Entry	18	May-26-22	Jun-21-22																																								
Site Clearing/Cut and Fill	4	May-26-22	Jun-01-22	Site Clearing/Cut and Fill																																							
Curbs and Walks	5	Jun-02-22	Jun-08-22	Curbs and Walks																																							
Stone Base	3	Jun-09-22	Jun-13-22	Stone Base																																							
Binder	1	Jun-14-22	Jun-14-22	Binder																																							

- Actual Work
- Remaining Work
- Critical Remaining Work
- Milestone

Fairview Elementary School 220140.02

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Activity Name	Original Duration	Start	Finish	2022																																			
				February					March					April					May					June				July				August				September			
				24	31	07	14	21	28	07	14	21	28	04	11	18	25	02	09	16	23	30	06	13	20	27	04	11	18	25	01	08	15	22	29	05	12	19	
Surface	1	Jun-15-22	Jun-15-22																																				
Site Accessories	3	Jun-16-22	Jun-20-22																																				
Final Grade and Seed	3	Jun-16-22	Jun-20-22																																				
Striping	1	Jun-21-22	Jun-21-22																																				
Building Core & Shell	99	Feb-14-22	Jul-01-22																																				
Entry	47	Mar-21-22	May-24-22																																				
Demolition	10	Mar-21-22	Apr-01-22																																				
Foundations	10	Apr-04-22	Apr-15-22																																				
Install CMU	5	Apr-18-22	Apr-22-22																																				
Set Steel/Decking	5	Apr-25-22	Apr-29-22																																				
Parapet Wall Framing	5	May-02-22	May-06-22																																				
Roofing & Sheet Metal	5	May-09-22	May-13-22																																				
Install Facebrick	5	May-16-22	May-20-22																																				
EIFS	7	May-16-22	May-24-22																																				
Admin Area	84	Feb-14-22	Jun-10-22																																				
Temporary Protection	5	Feb-14-22*	Feb-18-22																																				
Demo Finishes & Non Load Bearing Walls	5	Feb-21-22	Feb-25-22																																				
Demo Roof/Structure	10	Feb-28-22	Mar-11-22																																				
Demo Slabs	5	Mar-14-22	Mar-18-22																																				
Foundations	10	Mar-14-22	Mar-25-22																																				
Structural Steel	3	Mar-28-22	Mar-30-22																																				

- Actual Work
- Remaining Work
- Critical Remaining Work
- Milestone

Fairview Elementary School 220140.02

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Activity Name	Original Duration	Start	Finish	2022																																			
				February					March					April					May					June				July				August				September			
				24	31	07	14	21	28	07	14	21	28	04	11	18	25	02	09	16	23	30	06	13	20	27	04	11	18	25	01	08	15	22	29	05	12	19	
MEP Ceiling Trim	15	Jun-09-22	Jun-29-22																																				
Locker Cubbies	9	Jun-30-22	Jul-13-22																																				
Flooring	10	Jul-08-22	Jul-21-22																																				
Specialties	5	Jul-15-22	Jul-21-22																																				
Final Paint	5	Jul-22-22	Jul-28-22																																				
Final Cleaning	5	Jul-22-22	Jul-28-22																																				
Corridor Punch List	5	Jul-29-22	Aug-04-22																																				
Admin Area	76	Apr-07-22	Jul-25-22																																				
Below Grade MEPs	5	Apr-07-22	Apr-13-22																																				
Slab on Grade	4	Apr-14-22	Apr-19-22																																				
Interior CMU Walls	5	Apr-20-22	Apr-26-22																																				
MEP Rough-In Walls	10	Apr-20-22	May-03-22																																				
Metal Stud Framing	5	Apr-27-22	May-03-22																																				
OH MEP	15	Apr-27-22	May-17-22																																				
Drywall & Tape	13	May-04-22	May-20-22																																				
Painting	5	May-23-22	May-27-22																																				
Porcelain Tile	9	May-23-22	Jun-03-22																																				
Wall Covering	3	May-25-22	May-27-22																																				
Ceiling Grid	5	May-27-22	Jun-03-22																																				
Interior Storefronts	4	May-31-22	Jun-03-22																																				
Light Fixtures	5	Jun-06-22	Jun-10-22																																				

Actual Work
 Remaining Work
 Critical Remaining Work
 Milestone

Fairview Elementary School 220140.02
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MEP Ceiling Trim
 Locker Cubbies
 Flooring
 Specialties
 Final Paint
 Final Cleaning
 Corridor Punch List
 Below Grade MEPs
 Slab on Grade
 Interior CMU Walls
 MEP Rough-In Walls
 Metal Stud Framing
 OH MEP
 Drywall & Tape
 Painting
 Porcelain Tile
 Wall Covering
 Ceiling Grid
 Interior Storefronts
 Light Fixtures

Activity Name	Original Duration	Start	Finish	2022																																		
				February					March					April					May				June				July				August				September			
				24	31	07	14	21	28	07	14	21	28	04	11	18	25	02	09	16	23	30	06	13	20	27	04	11	18	25	01	08	15	22	29	05	12	19
Grilles & Diffusers	5	Jun-06-22	Jun-10-22																																			
Ceiling Tile	3	Jun-13-22	Jun-15-22																																			
Casework	2	Jun-16-22	Jun-17-22																																			
Plumbing Fixtures	3	Jun-16-22	Jun-20-22																																			
Carpet	5	Jun-20-22	Jun-24-22																																			
LVT	3	Jun-20-22	Jun-22-22																																			
Toilet Partitions/Accessories	3	Jun-21-22	Jun-23-22																																			
Doors & Hardware	3	Jun-27-22	Jun-29-22																																			
Millwork	3	Jun-27-22	Jun-29-22																																			
Electrical Trim	4	Jun-30-22	Jul-06-22																																			
Final Cleaning	3	Jul-07-22	Jul-11-22																																			
Punch List	5	Jul-12-22	Jul-18-22																																			
Owner Move In	5	Jul-19-22	Jul-25-22																																			
Classrooms	140	Jan-26-22 A	Jul-27-22																																			
Phase 1 - A-277, A-279, A-281, A-282, and A-283	8	Mar-14-22	Mar-23-22																																			
LVT-1 Delivery Delay	1	Mar-14-22*	Mar-14-22																																			
Flooring	3	Mar-21-22	Mar-23-22																																			
Phase 2 - A-285, A-287, A-291, A-293, and A-297	67	Feb-02-22	May-05-22																																			
Owner Move In	2	Feb-02-22	Feb-03-22																																			
LVT-1 Delivery Delay	1	Mar-14-22*	Mar-14-22																																			
Flooring	3	Mar-21-22	Mar-23-22																																			

- Actual Work
- Remaining Work
- Critical Remaining Work
- Milestone

Fairview Elementary School 220140.02

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Activity Name	Original Duration	Start	Finish	2022																																		
				February					March					April					May				June				July				August				September			
				24	31	07	14	21	28	07	14	21	28	04	11	18	25	02	09	16	23	30	06	13	20	27	04	11	18	25	01	08	15	22	29	05	12	19
Owner Move Out	5	Jun-03-22	Jun-09-22																																			
Abatement	2	Jun-10-22	Jun-13-22																																			
Demolition	5	Jun-14-22	Jun-20-22																																			
Additional Primer Coat	3	Jun-21-22	Jun-23-22																																			
Paint	3	Jun-24-22	Jun-28-22																																			
Acoustical Ceiling	5	Jun-27-22	Jul-01-22																																			
Light Fixtures	4	Jun-30-22	Jul-06-22																																			
Flooring	3	Jul-07-22	Jul-11-22																																			
Specialties	2	Jul-12-22	Jul-13-22																																			
Final Clean	2	Jul-14-22	Jul-15-22																																			
Punch List	3	Jul-18-22	Jul-20-22																																			
Owner Move In	5	Jul-21-22	Jul-27-22																																			
Bathrooms	121	Jan-13-22 A	Jul-22-22																																			
Phase 1	29	Jan-13-22 A	Mar-14-22																																			
Masonry Walls	5	Jan-13-22 A	Feb-07-22																																			
Paint	3	Feb-08-22	Feb-10-22																																			
Tile	8	Feb-11-22	Feb-22-22																																			
Acoustical Ceilings	3	Feb-23-22	Feb-25-22																																			
Fixtures	4	Feb-28-22	Mar-03-22																																			
Toilet Partitions	2	Mar-04-22	Mar-07-22																																			
Toilet Accessories	2	Mar-08-22	Mar-09-22																																			

Actual Work
 Remaining Work
 Critical Remaining Work
 Milestone

Fairview Elementary School 220140.02
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Actual Work
 Remaining Work
 Critical Remaining Work
 Milestone

Activity Name	Original Duration	Start	Finish	2022																																																							
				February							March							April							May							June							July							August							September						
				24	31	07	14	21	28	07	14	21	28	04	11	18	25	02	09	16	23	30	06	13	20	27	04	11	18	25	01	08	15	22	29	05	12	19																					
Toilet Partitions	2	Jul-12-22	Jul-13-22	<div style="float: right;">  Toilet Partitions </div>																																																							
Toilet Accessories	2	Jul-14-22	Jul-15-22	<div style="float: right;">  Toilet Accessories </div>																																																							
Punch List	5	Jul-18-22	Jul-22-22	<div style="float: right;">  Punch List </div>																																																							
Common Spaces	56	Feb-02-22	Apr-20-22																																																								
Library	21	Feb-02-22	Mar-02-22																																																								
Cafeteria	7	Apr-12-22	Apr-20-22																																																								
Masonry Infill	2	Apr-12-22	Apr-13-22	<div style="float: right;">  Masonry Infill </div>																																																							
Wall Tile	3	Apr-14-22	Apr-18-22	<div style="float: right;">  Wall Tile </div>																																																							
Set Door Frame	1	Apr-14-22	Apr-14-22	<div style="float: right;">  Set Door Frame </div>																																																							
Doors and Hardware	1	Apr-15-22	Apr-15-22	<div style="float: right;">  Doors and Hardware </div>																																																							
Flooring/Base	1	Apr-19-22	Apr-19-22	<div style="float: right;">  Flooring/Base </div>																																																							
Set Water Coolers	1	Apr-20-22	Apr-20-22	<div style="float: right;">  Set Water Coolers </div>																																																							

-  Actual Work
-  Remaining Work
-  Critical Remaining Work
-  Milestone

Fairview Elementary School 220140.02

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