

**ADDENDUM
NO. 1**

December 5, 2022

**BAILLY ELEMENTARY SCHOOL ADDITIONS AND RENOVATIONS
Chesterton, IN 46304**

TO: ALL BIDDERS OF RECORD

This Addendum forms a part of and modifies the Bidding Requirements, Contract Forms, Contract Conditions, the Specifications, and the Drawings dated November 14, 2022 by Gibraltar Design. Acknowledge receipt of the Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of Pages ADD 1-1 and attached Addendum No. 1 from Gibraltar Design dated November 30, 2022 and consisting of 2 pages and 14 drawings.

ADDENDUM ONE

Addendum One (AD.01) to the drawings and specifications prepared by Gibraltar Design for **Bailly Elementary School Renovations** for Duneland School Corporation, Chesterton, Indiana.

All Contractors bidding on this project shall read all of the items covered below and shall comply with all of the requirements as set forth, including any necessary refinements or additions generated by this Addendum and required by the intent of the original contract documents. All Contractors shall acknowledge on their bid form that they have received this Addendum and include the appropriate content of same within their bid proposal.

DRAWINGS

1. **Sheets K-100, K-101, K-102, M-001, MD101, MD102, MD103, MD104, MD105, MV101, MV102, MV103, MV104, MV105, MV106, MP101, MP102, MP103, MP104, MP105, M-201, M-401, M-501, M-601, M-602, FP-001, P-001, PD101, PD102, PD103, PD104, PD105, P-101, P-102, P-103, P-104, P-105, P-111, P-112, P-113, P-114, P-115, P-501, E-001, ED101, ED102, ED103, ED104, ED105, EL101, EL102, EL103, EL104, EL105, EP101, EP102, EP103, EP104, EP105, EP201, E-501, E-601, E-602, E-603, T-001, TD100, T-100, T-101, T-102, T-103, T-104, T-105, T-401, T-402, T-403, T-501, T-502, T-503, T-511, T-601, T-701, T-702, T-741, T-771**

- A. The title block on all above listed sheets shall be changed from "BAILLY ELEMENTARY SCHOOL – ADDITIONS RENOVATIONS" TO "BAILLY ELEMENTARY SCHOOL – RENOVATIONS".

2. **Sheet AD103**

- A. Refer to revised full size drawing, included in this Addendum, for the following revisions:
 1. Updates in Reception C-179 and Entry C-180.
 2. Updates in Cafeteria C-182.
 3. Revise demolition Note 105.
 4. Add Demolition Note 106.

3. **Sheet A-103**

- A. Refer to revised full size drawing, included in this Addendum, for the following revisions:
 1. Updates in Vestibule C-101.
 2. Update in Custodian C-141.
 3. Update Plan Note 36.
 4. Add Plan Note 42.

4. **Sheets A-704 and A-705**

- A. Refer to two (2) revised full size drawings, included in this Addendum, for plan casework clarification in classrooms.

5. Sheet A-730

- A. Refer to revised full size drawing, included in this Addendum, for casework elevation changes.

6. Sheets A-801, A-803 and A-805

- A. Refer to three (3) revised full size drawings, included in this Addendum, for plan finish clarifications.

7. Sheet MD105

- A. Refer to revised full size drawing, included in this Addendum, for removal of existing unit ventilator, associated piping, thermostat, etc.

8. Sheet MV105

- A. Refer to revised full size drawing, included in this Addendum, for the following revisions:
1. Added unit ventilator, ductwork, grilles, etc.
 2. Added exhaust fan.
 3. Transfer Air Revision.
 4. Cooling Unit Addition.

9. Sheet MP105

- A. Refer to revised full size drawing, included in this Addendum, for the following revisions:
1. Unit Ventilator Revision.
 2. Cooling Unit Revision.

10. Sheet M-201

- A. Refer to revised full size drawing, included in this Addendum, for added relief hoods.

11. Sheet M-501

- A. Refer to revised full size drawing, included in this Addendum, for revised schedules and added equipment.

Pages 1 through 2, inclusive, and Fourteen (14) Full-Size Drawings, constitute the total makeup of **Addendum One**.

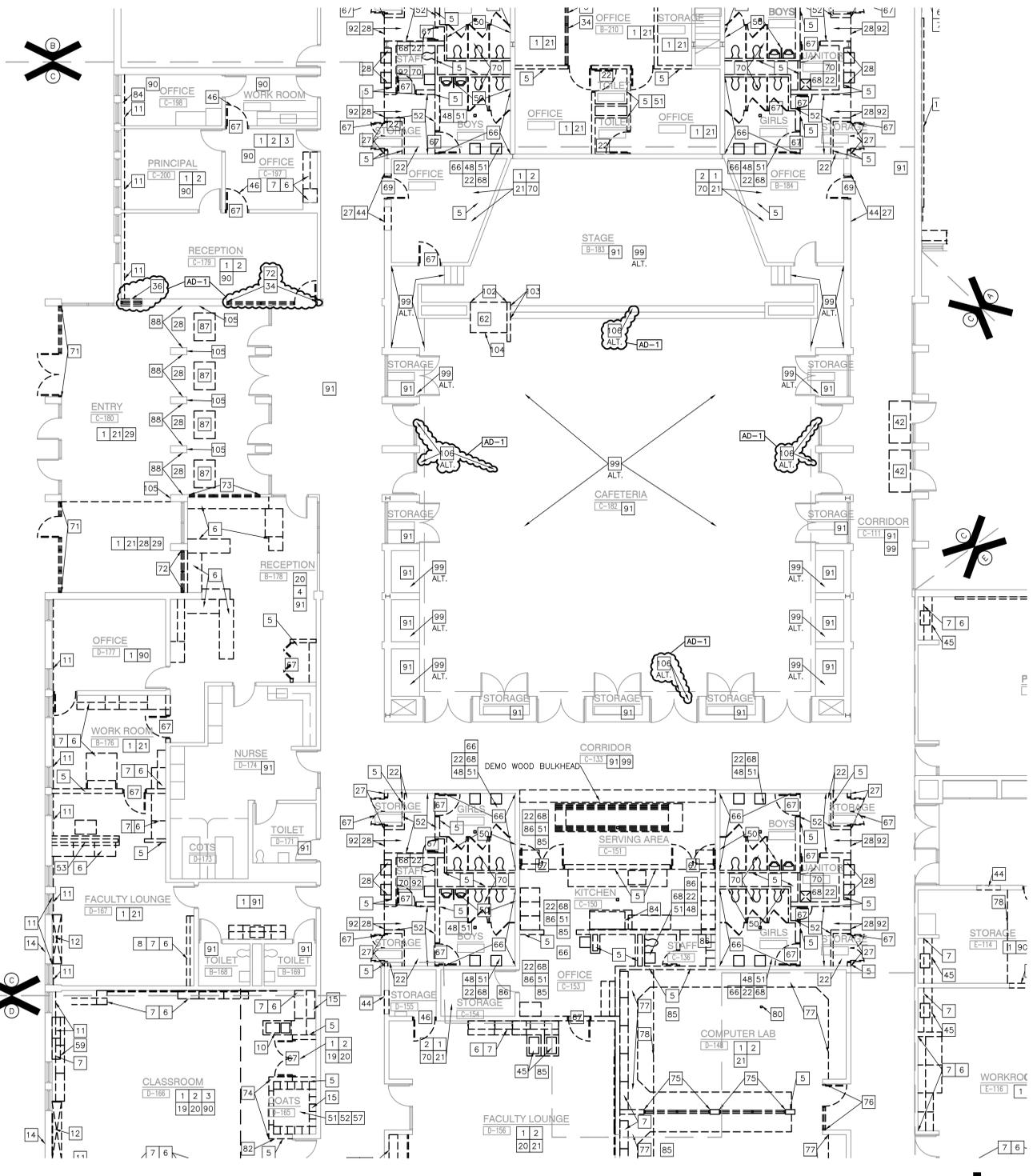


- 102 PROTECT AND MODIFY STAGE EDGE, TRIM, AND FINISHES TO RECEIVE NEW LIFT.
- 103 CAREFULLY MODIFY EXISTING CARPET AND FINISHES TO REMAIN TO RECEIVE NEW LIFT.
- 104 PROTECT AND MODIFY WOOD FLOOR AND BASE TO RECEIVE NEW LIFT, RETURN TO LIKE NEW CONDITIONS.
- 105 MODIFY BOTTOM OF TERRAZZO BASE TO RECEIVE CONSTRUCTION.
- 106 MODIFY GYPSUM BULKHEAD CONSTRUCTION TO PRODUCE SMOOTH FINISHED SURFACE, FREE OF DIVOTS AND PUCK MARKS. PREP AND SKIM COAT COMPLETE FOR RETURN TO LIKE NEW CONDITION.

- 35 REMOVE TV ASSEMBLY COMPLETE. PATCH AND REPAIR WALL TO RECEIVE NEW FINISHES.
- 36 REMOVE EXISTING STOREFRONT/ WINDOW ASSEMBLY COMPLETE IN EXISTING MASONRY OPENING.
- 37 REMOVE EXISTING HEATING DEVICE, ALL ASSOCIATED EQUIPMENT, SILL COVER, MASONRY SILL COMPLETE TO RECEIVE NEW WALL AND DOOR CONSTRUCTION.
- 38 REMOVE EXISTING BRICK / CMU INTERIOR WALL CONSTRUCTION COMPLETE. PREP FLOOR TO RECEIVE NEW FINISHES.
- 39 REFER TO ELECTRICAL DRAWINGS. COORDINATE REMOVAL OF ELECTRICAL PANEL.
- 40 REMOVE EXISTING INTERIOR STOREFRONT GLASS AND BASE ASSEMBLY. PREP FLOOR TO RECEIVE NEW FINISHES.
- 41 REMOVE EXISTING SPEAKER ASSEMBLY IN ITS ENTIRETY.
- 42 REMOVE EXISTING DEPRESSED MAT IN ITS ENTIRETY. PREPARE SUBSTRATE FOR NEW FINISH WITHIN EXISTING OPENING.
- 43 REMOVE EXISTING CUBBIES COMPLETE. PATCH AND REPAIR EXISTING BRICK MASONRY WALL TO REMAIN.
- 44 REMOVE SECTION OF WALL TO CREATE OPENING FOR NEW DOOR.
- 45 REMOVE EXISTING BASE CABINETS, WALL CABINETS AND PLUMBING FIXTURES COMPLETE. CUT AND CAP LINE BELOW WALL OR FLOOR SURFACE. UNLESS OTHERWISE NOTED ON PLUMBING DRAWINGS, PATCH AND REPAIR FLOOR AND/OR WALL AS REQUIRED TO ACCEPT NEW FINISHES.
- 46 REMOVE EXISTING DOOR, FRAME AND HARDWARE SYSTEM COMPLETE. PREP WALL TO RECEIVE NEW INFILL.
- 47 MODIFY EXISTING BULKHEAD ABOVE TO RECEIVE NEW UNIT VENTILATOR CONSTRUCTION. RETURN TO LIKE NEW CONDITION.
- 48 REMOVE TOILET ACCESSORIES AND TURN OVER TO OWNER.
- 49 SALVAGE EXISTING FLUSH VALVES AND CHINA FOR REUSE THIS PROJECT.
- 50 REMOVE TOILET PARTITIONS IN THEIR ENTIRETY.
- 51 REMOVE CERAMIC OR PORCELAIN TILE FLOORING SYSTEM INCLUDING SETTING BED IN ITS ENTIRETY.
- 52 REMOVE TERRAZZO OR CERAMIC TILE WALL BASE COMPLETE TO RECEIVE NEW FINISHES.
- 53 REMOVE EXISTING COUNTER AND 1/2 HEIGHT CMU WALL. PATCH AND REPAIR ADJACENT FLOOR AND WALL TO ACCEPT NEW FINISHES.
- 54 PREP EXISTING CONCRETE AND CERAMIC TILE TO RECEIVE NEW CUBBIES ABOVE. PREP CONCRETE AND CERAMIC TILE TO RECEIVE NEW FINISHES.
- 55 NOT USED
- 56 EXISTING CERAMIC TILE FLOORING SYSTEM TO REMAIN. DEMOLISH TO CLEAN TRANSITION POINT AT DOOR FOR INSTALLATION OF NEW ADJACENT FINISHES.
- 57 EXISTING CERAMIC TILE STOOP TO BE DEMOLISHED COMPLETE.
- 58 EXISTING BRICK MASONRY WALL TO REMAIN. CAREFULLY PATCH AND REPAIR DAMAGE TO RETURN TO LIKE NEW CONDITION.
- 59 REMOVE SHELVING AND COUNTER TOP SYSTEM IN ITS ENTIRETY. PATCH AND REPAIR FLOOR TO RECEIVE NEW FINISHES.
- 60 REMOVE EXISTING KILN AND HOOD IN ITS ENTIRETY. SALVAGE EACH FOR REINSTALLATION. REPAIR OPENING IN ROOF DECK/ MEMBRANE COMPLETE.
- 61 REMOVE EXISTING CABINERY
- 62 REMOVE EXISTING WHEELCHAIR LIFT. PREP AND BUILD OUT AREA TO RECEIVE NEW WHEELCHAIR LIFT. SAME LOCATION. REFER TO SPECIFICATIONS.
- 63 EXISTING WALL CONSTRUCTION TO REMAIN. INFILL DAMAGED WALL TO RECEIVE NEW FINISHES. PREP WALL AND SURROUNDING AREAS TO RECEIVE NEW FINISHES. ENSURE SMOOTH FINISH.
- 64 REMOVE EXISTING TRUSS STUD PLASTER/ LATH AND CERAMIC TILE WALL COMPLETE. PATCH AND REPAIR ADJACENT FLOOR AND WALL TO RECEIVE NEW FINISHES.
- 65 REMOVE EXISTING 1/2 HEIGHT LAV WALL, COUNTER TOP, CERAMIC TILE FINISHES, SOLID SURFACE COUNTER, LAVS PLUMBING FIXTURES AND PLUMBING THIS AREA COMPLETE. CUT AND CAP LINES BELOW WALL OR FLOOR SURFACE. UNLESS OTHERWISE NOTED ON PLUMBING DRAWINGS PATCH AND REPAIR FLOOR AND/OR WALL AS REQUIRED TO ACCEPT NEW FINISHES. INFILL OPENING LEFT IN WALL EXCLUSIVE OF FINISHING EXISTING COMPLETE. FURR OUT TO RECEIVE NEW FINISHES.
- 66 REMOVE EXISTING CERAMIC WALL TILE TO RECEIVE NEW WALL CONSTRUCTION.
- 67 REMOVE EXISTING DOOR, FRAME AND HARDWARE SYSTEM IN ITS ENTIRETY.
- 68 REMOVE PLUMBING FIXTURES IN THEIR ENTIRETY. CUT AND CAP LINE BELOW WALL OR FLOOR SURFACE. UNLESS NOTED OTHERWISE ON PLUMBING DRAWINGS PATCH AND REPAIR FLOOR AND/OR WALL AS REQUIRED TO ACCEPT NEW FINISHES.
- 69 REMOVE EXISTING DOOR HARDWARE AND TRANSOM IF PRESENT IN ITS ENTIRETY. EXISTING FRAME TO REMAIN. PREPARE FRAME TO RECEIVE NEW DOOR CONSTRUCTION.
- 70 REMOVE EXISTING FLOOR FINISH AND CONCRETE SLAB FOR NEW TOILET ROOM. REFER TO MEP DRAWINGS.
- 71 REMOVE EXISTING STOREFRONT, DOOR AND GLAZING ASSEMBLY COMPLETE. PREP EXISTING STOREFRONT ASSEMBLY TO RECEIVE NEW MULLIONS AND GLAZING INFILL TO MATCH EXISTING ADJACENT.
- 72 REMOVE EXISTING STOREFRONT, GLASS AND BASE ASSEMBLY. PREP FLOOR TO RECEIVE NEW FINISHES. REPAIR MASONRY AND PLASTER/ GYPSUM WALL TO RETURN TO LIKE NEW CONDITIONS.
- 73 REMOVE EXISTING STOREFRONT, GLASS AND TRANSACTION ASSEMBLIES COMPLETE. PREP FLOOR TO RECEIVE NEW FINISHES. REPAIR PLASTER/ GYPSUM WALL TO RETURN TO LIKE NEW CONDITIONS.
- 74 REMOVE 1/2 HEIGHT CMU WALL AND ASSOCIATED CERAMIC TILE IN ITS ENTIRETY. PATCH AND REPAIR ADJACENT FLOOR AND WALL AS REQUIRED TO ACCEPT NEW FINISHES.
- 75 REMOVE EXISTING HOLLOW METAL FRAME AND GLAZING COMPLETE.
- 76 REMOVE EXISTING HOLLOW METAL FRAME GLAZING DOOR AND HARDWARE COMPLETE. PATCH AND REPAIR WALL AND FLOOR TO RECEIVE NEW FINISHES.
- 77 DEMOLISH COUNTER SYSTEM COMPLETE.
- 78 REMOVE ACOUSTICAL BOARD CEILING BULKHEAD, GRID AND SUSPENSION SYSTEM IN ITS ENTIRETY.
- 79 DEMOLISH FALSE WALL ABOVE EXISTING CASEWORK COMPLETE.
- 80 EXISTING ELECTRIC POWER POLE TO BE DEMOLISHED.
- 81 EXISTING CIRCULATION DESK TO BE PROTECTED DURING CONSTRUCTION. RELOCATE FOR INSTALL OF NEW FLOOR AND WALL FINISHES. PROTECT DURING CONSTRUCTION AND REINSTALL.
- 82 EXISTING LIGHT SWITCH TO BE REMOVED AND RELOCATED
- 83 REMOVE GYPSUM BOARD BULKHEAD COMPLETE.
- 84 TOOTH IN MATCHING VCT AND INSTALL NEW VINYL BASE TO MATCH EXISTING
- 85 REMOVE CONCRETE SLAB FOR NEW KITCHEN.
- 86 REMOVE EXISTING KITCHEN AND ALL ASSOCIATED FIXTURES, EQUIPMENT, RELATED DUCTWORK, AND ACCESSORIES COMPLETE.
- 87 REMOVE EXISTING DEPRESSED MAT, FRAME AND SLAB RECESS COMPLETE.
- 88 REMOVE THRESHOLD JAMB AND ALUMINUM HEAD.
- 89 RELOCATE EXISTING LIBRARY SHELVING FOR INSTALL OF NEW FLOOR AND WALL FINISHES. PROTECT DURING CONSTRUCTION AND REINSTALL.
- 90 REMOVE EXISTING ACOUSTIC PADS, MODIFY EXISTING GRID, SUSPENSION SYSTEM TO REMAIN TO ACCOMMODATE NEW MEP, FP, AND TECH. PREP GRID TO RECEIVE NEW PAINT FINISHES. REFER TO REFLECTED CEILING PLAN FOR NEW PADS.
- 91 EXISTING LAY-IN CEILING GRID AND SUSPENSION SYSTEM TO REMAIN. MODIFY TO ACCOMMODATE NEW MEP, FP, AND TECH AT AND ABOVE CEILING. REINSTALL ASSEMBLIES TO RETURN TO LIKE NEW CONDITION. SALVAGE CEILING PADS FOR REINSTALL.
- 92 REMOVE TERRAZZO FLOORING SYSTEM, INCLUDING SETTING BED TO ACCOMMODATE NEW CONSTRUCTION.
- 93 REMOVE TERRAZZO FLOOR/ CONCRETE SLAB FOR NEW PLUMBING. SAW CUT STRAIGHT/ EVEN AND COORDINATE WITH NEW FINISHES. RETURN TO LIKE NEW CONDITION.
- 94 EXISTING TERRAZZO BASE TO REMAIN
- 95 SALVAGE EXISTING STAINED WOOD WALL BASE FOR RE-USE. RE-USE PRIMARILY INTENDED AT PASSAGE E-113. MEDIA CENTER, AND NEW STEM LAB AND AS NECESSARY TO RETURN EXISTING WOOD BASEBOARDS TO LIKE NEW CONDITION ELSEWHERE IN MEDIA CENTER AREA. TOUCH UP ALL EXISTING BASE BOARDS TO RETURN TO LIKE NEW CONDITIONS.
- 96 REMOVE ALL CARPET FLOOR FINISHES. EXISTING WOOD WALL BASE TO REMAIN. PROTECT WALL BASE AND PATCH AND REPAIR TO RETURN TO LIKE NEW CONDITIONS.
- 97 REMOVE ALL CARPET AND ASSOCIATED FINISHES TO SMALL COLUMN PLATFORM. PREP TO RECEIVE NEW FINISHES.
- 98 REMOVE EXISTING LIGHTING AND ACOUSTICAL PANEL AT NEW CONSTRUCTION. REFER TO MEP AND FIRE PROTECTION FOR ADDITIONAL INFORMATION.
- 99 MODIFY EXISTING CMU WALLS TO PROVIDE SMOOTH FINISHED SURFACE FREE OF DIVOTS AND PUCK MARKS. PREP AND FILL EXISTING DIVOTS AND PUCK MARKS COMPLETE AT EXISTING CMU WALLS FOR SMOOTH LIKE NEW FINISH. MORTAR JOINTS TO REMAIN.
- 100 REMOVE EXISTING DAMAGED GYPSUM BOARD WALL CONSTRUCTION. PREP TO RECEIVE NEW GYPSUM BOARD AND CEMENT BOARD LAMINATED TO EXISTING WALL BACKER
- 101 SALVAGE AND REINSTALL BOTTLE FILLER. REFER TO MEP

- GENERAL DEMOLITION NOTES:**
- A. FOR GENERAL PROJECT NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC., REFER TO G SERIES SHEETS.
 - B. UNLESS NOTED OTHERWISE ON THIS SHEET, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL WORK INDICATED ON THIS SHEET.
 - C. CONTRACTORS ENCOUNTERING EXISTING MATERIAL WHICH IS SUSPECTED OF CONTAINING ASBESTOS SHALL STOP WORK IMMEDIATELY AND NOTIFY THE OWNER AND THE OWNERS REPRESENTATIVE.
 - D. BOLD DASHED LINES INDICATE EXISTING ITEMS TO BE REMOVED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE EXTENT OF DEMOLITION WORK PRIOR TO BIDDING AND FOR COORDINATING THE EXTENT OF DEMOLITION WITH THE INSTALLATION OF NEW SYSTEMS.
 - E. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION APPLICABLE TO THEIR SCOPE OF WORK AND AS REQUIRED FOR INSTALLATION OF NEW WORK WHETHER OR NOT IT IS SPECIFICALLY INDICATED OR NOTED IN THESE DOCUMENTS.
 - F. REMOVE ALL ITEMS AND FINISHES MADE OBSOLETE BY NEW CONSTRUCTION. VERIFY ITEMS DEEMED OBSOLETE WITH ARCHITECT PRIOR TO REMOVAL. REFER TO NEW CONSTRUCTION DRAWINGS FOR DEMOLITION REQUIRED NOT SHOWN ON DEMOLITION PLANS.
 - G. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR OFF SITE REMOVAL OF ALL DEMOLITION MATERIALS AND/OR ITEMS UNLESS NOTED OTHERWISE OR DIRECTED BY THE OWNER.
 - H. PRIOR TO STARTING DEMOLITION, CONSTRUCT DUST CONTROL BARRIERS AS REQUIRED TO PREVENT THE SPREAD OF DUST INTO SURROUNDING AREAS (WHERE APPLICABLE).
 - I. WHERE BUILDING EGRESS IS REQUIRED TO PASS THROUGH DEMOLITION, CONSTRUCTION, AND NEW CONSTRUCTION AREAS, PROVIDE APPROVED BARRIERS, ETC. TO ENSURE SAFETY OF THE PUBLIC.
 - J. RELOCATED ITEMS SHALL BE CLEANED AND PLACED IN STORAGE, PER OWNERS' DIRECTION, UNTIL ITEMS ARE READY TO BE INSTALLED. IF ITEMS ARE DAMAGED DURING DEMOLITION OR RELOCATION, THEY SHALL BE REPAIRED OR REPLACED WITH NEW ITEMS AS APPROVED.
 - K. DEMOLITION SHALL BE PERFORMED WITHOUT DAMAGE TO EXISTING CONSTRUCTION TO REMAIN. WHERE SUCH DAMAGE OCCURS, PATCH, REPAIR, OR RESTORE WALLS, FLOORS, CEILING, ETC. NEATLY TO MATCH EXISTING SURFACE. SHORING, BRACING, OR SUPPORTS SHALL BE PROVIDED AS REQUIRED TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING STRUCTURES.
 - L. EACH CONTRACTOR IS RESPONSIBLE FOR CUTTING, PATCHING, AND DISCONNECTING OF ITEMS APPLICABLE TO THEIR SCOPE OF WORK. WHERE EXISTING SERVICES ARE ABANDONED, CAP AT LEAST 1" BEHIND NEW FINISHES AND/OR EXISTING SURFACE AND PATCH AS REQUIRED TO RECEIVE NEW FINISHES OR MATCH EXISTING FINISH.
 - M. ON WALLS THAT ARE TO RECEIVE NEW FINISHES, REMOVE AND REINSTALL EXISTING EQUIPMENT TO REMAIN AS REQUIRED FOR INSTALLATION OF NEW FINISHES.
 - N. WHERE WALLS OR BULKHEADS ARE REMOVED, PATCH FLOORS, CEILING, AND ADJACENT WALLS AS REQUIRED TO MATCH EXISTING OR RECEIVE NEW FINISHES WHERE APPLICABLE. WHERE EXISTING DUCTWORK, PIPING, OR EQUIPMENT IS REMOVED, PATCH OPENINGS AND/OR SURFACES AS REQUIRED TO MATCH ADJACENT SURFACES OR RECEIVE NEW FINISHES WHERE APPLICABLE. REFER TO ALL DEMOLITION DRAWINGS FOR EXTENT OF ITEMS TO BE REMOVED.
 - O. OVER CUT NEW OPENINGS IN EXISTING WALL AS REQUIRED FOR NEW CONSTRUCTION. PATCH AND REPAIR WALLS AS REQUIRED TO MATCH EXISTING. WHERE APPLICABLE, TOOTH NEW MASONRY INTO EXISTING MASONRY.
 - P. ALL EQUIPMENT AND FURNITURE WHICH ARE CONSIDERED LOOSE FURNISHING SHALL BE REMOVED BY THE OWNER PRIOR TO NEW CONSTRUCTION.
 - Q. MASONRY WALLS TO BE REMOVED SHALL BE REMOVED TO A POINT 2" MINIMUM BELOW THE EXISTING FLOOR SLAB UNLESS SETTING ON A SLAB OR SPECIFICALLY NOTED OTHERWISE. PATCH WITH NEW CONCRETE TO BE FLUSH WITH THE EXISTING FLOOR SLAB.
 - R. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR GENERAL REVIEW OF DEMOLITION NOTES AND GENERAL DEMOLITION NOTES AS THEY APPLY TO THEIR SCOPE OF WORK.
 - S. THE OWNER SHALL RESERVE THE RIGHT TO CLAIM ANY MATERIALS THAT ARE BEING DEMOLISHED PRIOR TO THE CONTRACTOR DISPOSING OF THEM OFF SITE.
 - T. REFER TO THE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND TECHNOLOGY DOCUMENTS FOR COMPLETE SCOPE OF DEMOLITION WORK.
 - U. "FLOORING" DENOTES FLOOR COVERING MATERIALS INCLUDING BACKING, ADHESIVES, AND BASES DOWN TO BUT EXCLUSIVE OF FLOOR SLABS AND STRUCTURAL MATERIALS UNLESS NOTED OTHERWISE.
 - V. DEMOLITION IS TO FOLLOW ESTABLISHED CONSTRUCTION SEQUENCE. REFER TO SPECIFICATIONS AND DRAWINGS FOR REQUIREMENTS AND SPECIAL CONDITIONS.
 - W. WHERE APPLICABLE EXISTING MASONRY (FACE BRICK, GLAZED CMU, FACING TILE) AS REQUIRED FOR PATCHING AND INFILL IN RENOVATED AREAS WHERE INDICATED. DISCARD UNUSED PORTION OFF SITE.
 - X. REFER TO S-401 FOR OPENINGS CREATED IN EXISTING MASONRY WALLS FOR LINTELS.

- DEMOLITION PLAN NOTES:**
- (ALL PLAN NOTES MAY NOT BE INDICATED ON THIS SHEET.)
- 1 REMOVE EXISTING FLOOR FINISHES AND WALL BASE IN ITS ENTIRETY. PREP FOR NEW FINISHES.
 - 2 REMOVE MARKERBOARD/ TACKBOARD/ CHALKBOARD IN ITS ENTIRETY. PREP WALL FOR NEW FINISHES.
 - 3 REMOVE WALL MOUNTING EQUIPMENT TRACK ASSEMBLY COMPLETE. PREP FOR NEW FINISHES.
 - 4 REMOVE EXISTING FABRIC WALL COVERING. PREP WALLS FOR NEW FINISHES
 - 5 REMOVE MASONRY WALL PATCH AND REPAIR ADJACENT FLOOR AND WALL AS REQUIRED TO ACCEPT NEW FINISHES.
 - 6 REMOVE BASE CABINETS AND COUNTERTOP SYSTEM COMPLETE. PATCH AND REPAIR WALL AND FLOOR AS REQUIRED TO RECEIVE NEW FINISHES.
 - 7 REMOVE WALL CABINET SYSTEM COMPLETE. PATCH AND REPAIR WALL AND FLOOR TO RECEIVE NEW FINISHES.
 - 8 REMOVE SHELVING SYSTEM IN ITS ENTIRETY. PATCH AND REPAIR WALL AND FLOOR TO RECEIVE NEW FINISHES.
 - 9 REMOVE BUILT IN CUBBIES, CABINERY WING WALLS, SHELVING, WARDROBE/ STORAGE/ UPPER CABINET AND TRIM COMPLETE. PREP WALLS AND FLOOR TO RECEIVE NEW CONSTRUCTION.
 - 10 REMOVE EXISTING PLUMBING FIXTURES AND ASSOCIATED CABINERY AND COUNTER IN THEIR ENTIRETY. CUT AND CAP LINE BELOW WALL OR FLOOR SURFACE. UNLESS OTHERWISE NOTED ON PLUMBING DRAWINGS PATCH AND REPAIR FLOOR AND/OR WALL AS REQUIRED TO ACCEPT NEW FINISHES.
 - 11 REMOVE EXISTING FIN TUBE COVER/ SHROUD AND PIPING COMPLETE. CUT AND CAP PIPING NOT IN USE OR NO-LONGER TO BE IN USE AT UNACCESSIBLE CHASE/ FLOOR LINE. UNLESS OTHERWISE NOTED ON MEP DRAWINGS, PATCH AND REPAIR FLOOR AND/OR WALLS AS REQUIRED TO RECEIVE NEW FINISHES.
 - 12 REMOVE UNIT VENTILATOR SYSTEM IN ITS ENTIRETY. PREP EXISTING WALL OPENING TO EXTERIOR TO RECEIVE NEW CONSTRUCTION.
 - 13 EXISTING METAL LOUVER SYSTEM TO REMAIN. PREP TO RECEIVE NEW CONSTRUCTION.
 - 14 EXISTING MASONRY OPENING FOR FRESH AIR TO REMAIN. PREP TO RECEIVE NEW CONSTRUCTION.
 - 15 REMOVE EXISTING SHELVING/ CABINERY SYSTEM IN ITS ENTIRETY. PATCH AND REPAIR WALL AND FLOOR TO RECEIVE NEW FINISHES.
 - 16 EXISTING PIPE CHASE COVER TO BE REMOVED. PATCH AND REPAIR FLOOR AND/OR WALL AS REQUIRED TO ACCEPT NEW FINISHES MATCHING EXISTING ADJACENT CONSTRUCTION.
 - 17 REMOVE EXISTING BUILT-IN SPEAKER AND CLOCK. INFILL OPENING WITH CMU AND PREP FLOOR TO RECEIVE NEW EQUIPMENT.
 - 18 REMOVE MOUNTED PROJECTOR/ SPEAKER ASSEMBLY IN ITS ENTIRETY.
 - 19 REMOVE TECHNOLOGY ASSEMBLIES. REFER TO TECHNOLOGY AND MEP DRAWINGS FOR ADDITIONAL INFORMATION.
 - 20 REMOVE EXISTING CEILING FAN IN ITS ENTIRETY.
 - 21 REMOVE ACOUSTICAL BOARD CEILING, GRID AND SUSPENSION SYSTEM IN ITS ENTIRETY.
 - 22 REMOVE EXISTING GYPSUM/ OR PLASTER CEILING SYSTEM IN ITS ENTIRETY.
 - 23 REMOVE MOVABLE PARTITION IN ITS ENTIRETY INCLUDING STEEL FRAMING TRACK SUPPORT. PREP FLOOR AND WALL FOR NEW CONSTRUCTION AND FINISHES.
 - 24 REMOVE EXISTING SPLINE CEILING SYSTEM IN ITS ENTIRETY.
 - 25 REMOVE EXISTING CERAMIC TILE WALL FINISH. PREP TO RECEIVE NEW FINISHES.
 - 26 SELECTIVELY REMOVE CERAMIC TILE WALL FINISH. PREP TO RECEIVE NEW FINISHES.
 - 27 SELECTIVELY REMOVE TERRAZZO BASE SMOOTH AND VERTICAL. PREP TO RECEIVE NEW ADJACENT FINISHES.
 - 28 BUSH HAMMER EXISTING FLOOR FINISH TO RECEIVE NEW FLOOR FINISH. NEW AND EXISTING FLOOR FINISHES TO BE FLUSH.
 - 29 REMOVE EXISTING VINYL FLOOR FINISH. PREP FOR NEW FINISHES.
 - 30 REMOVE EXISTING FLOOR FINISH BELOW EXISTING TO CONCRETE. PREP FOR NEW FINISHES.
 - 31 REMOVE DEMOUNTABLE PARTITION IN ITS ENTIRETY INCLUDING STEEL FRAMING TRACK SUPPORT DOOR, DOOR FRAME AND HARDWARE ASSEMBLIES COMPLETE. PREP FLOOR AND WALL FOR NEW CONSTRUCTION AND FINISHES.
 - 32 REMOVE EXISTING WALL AND FINISH ASSEMBLIES COMPLETE.
 - 33 REMOVE WALL PARTITION, GLAZING AND ALL ASSOCIATED FRAMING AND SUPPORT STRUCTURE.
 - 34 REMOVE STOREFRONT, DOOR AND GLAZING ASSEMBLY COMPLETE. PATCH AND REPAIR WALL AND FLOOR TO RECEIVE NEW FINISHES.



UNIT "C" ARCHITECTURAL FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

GIBRALTAR DESIGN
ARCHITECTURE • ENGINEERING • INTERIOR DESIGN

PROJECT
BAILLY ELEMENTARY SCHOOL - RENOVATIONS
DUNELAND SCHOOL CORPORATION
CHESTERTON, INDIANA

KEY PLAN

GIBRALTAR DESIGN
9102 N. Meridian St., Ste. 300
Indianapolis, IN 46260
Homepage: www.GibraltarDesign.com
Email: info@GibraltarDesign.com
Phone: 317.580.5777 Fax: 317.580.5778

PROJECT
21-145
DATE
11/14/22
COORDINATED BY
TA
DRAWN BY
NJW
CHECKED BY
DJW

REGISTERED ARCHITECT
INDIANA
NO. 19600171
STATE OF

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REVISIONS	MARK	DATE	ISSUED FOR
AD-1	11/30/22	ADDENDUM NO. 1	

DRAWING
UNIT "C" ARCHITECTURAL FIRST FLOOR DEMOLITION PLAN

PROJECT
BAILLY ES - RENOVATIONS

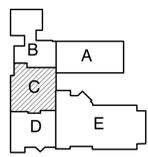
GIBRALTAR DESIGN SHEET
C AD103

Tuesday, 11/29/2022 4:31 PM - LAST SAVED BY: WSWESLEY
 Y:\21-145 DUNELAND SC - BAILLY ES ADDITIONS AND RENOVATIONS\21-145 DRAWINGS\05 ARCH\AD103.DWG



GIBRALTAR
DESIGN
ARCHITECTURE • ENGINEERING • INTERIOR DESIGN

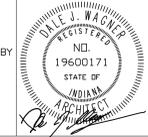
PROJECT
BAILLY
ELEMENTARY
SCHOOL -
RENOVATIONS
DUNELAND SCHOOL CORPORATION
CHESTERTON, INDIANA



KEY PLAN

GIBRALTAR DESIGN
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PROJECT
21-145
DATE
11/14/22
COORDINATED BY
TA
DRAWN BY
NJW
CHECKED BY
DJW



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REVISIONS	MARK	DATE	ISSUED FOR
AD-1	11/30/22	ADDENDUM NO. 1	

DRAWING	PROJECT
UNIT "C" ARCHITECTURAL FIRST FLOOR PLAN	BAILLY ES - RENOVATIONS

PROJECT
BAILLY ES - RENOVATIONS

GIBRALTAR DESIGN SHEET
C A-103

GENERAL PLAN NOTES:

- A. FOR GENERAL PROJECT NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC., REFER TO C SERIES SHEETS.
- B. PLAN DIMENSIONS TO MASONRY WALLS ARE TO FACE OF ROUGH MASONRY. PLAN DIMENSIONS TO STUD WALLS ARE TO FACE OF FINISHED GYPSUM BOARD OR PLASTER. PLAN DIMENSIONS TO STUD WALLS WITH CERAMIC TILE FINISH ARE TO THE FACE OF TILE BACKER BOARD.
- C. ALL CMU WALLS THAT DO NOT LAY OUT IN FULL OR HALF LENGTHS SHOULD BE BALANCED SO AS NOT TO HAVE ANY PIECES LESS THAN 4" IN SIZE EXPOSED TO VIEW.
- D. MASONRY WALLS BEARING ON A THICKENED SLAB AT SLAB DEPRESSIONS REQUIRE CUT MASONRY UNITS SO THAT COURSING BEGINS AT THE FLOOR LINE.
- E. THE BASE FIRST FLOOR ELEVATION INDICATED FOR THE PROJECT IS 100'-0". REFER TO SITE PLAN FOR CORRELATION TO USGS DATUM.
- F. HINGE SIDE OF DOOR JAMB AT CMU WALLS SHALL BE LOCATED 8" MINIMUM FROM ADJACENT WALL AND HINGE SIDE OF DOOR JAMB AT GYPSUM BOARD WALLS SHALL BE LOCATED 4" MINIMUM FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- G. PROVIDE WOOD BLOCKING (OR METAL STRAPPING WHERE APPLICABLE) AS REQUIRED WITHIN METAL STUD WALLS FOR WALL MOUNTED ITEMS.
- H. REFER TO LIFE SAFETY PLANS REGARDING FIRE RATED WALL LOCATIONS AND OTHER CODE INFORMATION.
- I. INTERIOR CMU WALLS ARE TO BE STACKED BOND UNLESS NOTED OTHERWISE.
- J. ALL EXPOSED CONCRETE MASONRY UNITS (CMU) CORNERS ARE TO BE BULLHOUSED, EXCEPT AT MASONRY BULKHEADS AND EXTERIOR WINDOW JAMBS.
- K. WHERE NEW CMU WALLS INTERSECT EXISTING CMU WALLS AT A CORNER OR ARE ALIGNED WITH EXISTING CMU WALLS, TOOTH NEW CMU INTO EXISTING CMU UNLESS NOTED OTHERWISE.
- L. REFER TO DEMOLITION SHEETS FOR ADDITIONAL PATCHING AND REPAIR WORK.
- M. REFER TO FINISH PLANS FOR INTERIOR ELEVATIONS, LOCATION AND EXTENT OF FINISHED FLOOR AND WALL MATERIAL.
- N. REFER TO EQUIPMENT PLANS FOR CASEWORK, DISPLAY BOARDS, AND OTHER ADDITIONAL TYPICAL EQUIPMENT NOTES AND INFORMATION.
- O. REFER TO EQUIPMENT PLANS FOR REFERENCE TO ENLARGED TOILET ROOM PLANS AND TOILET ACCESSORIES.

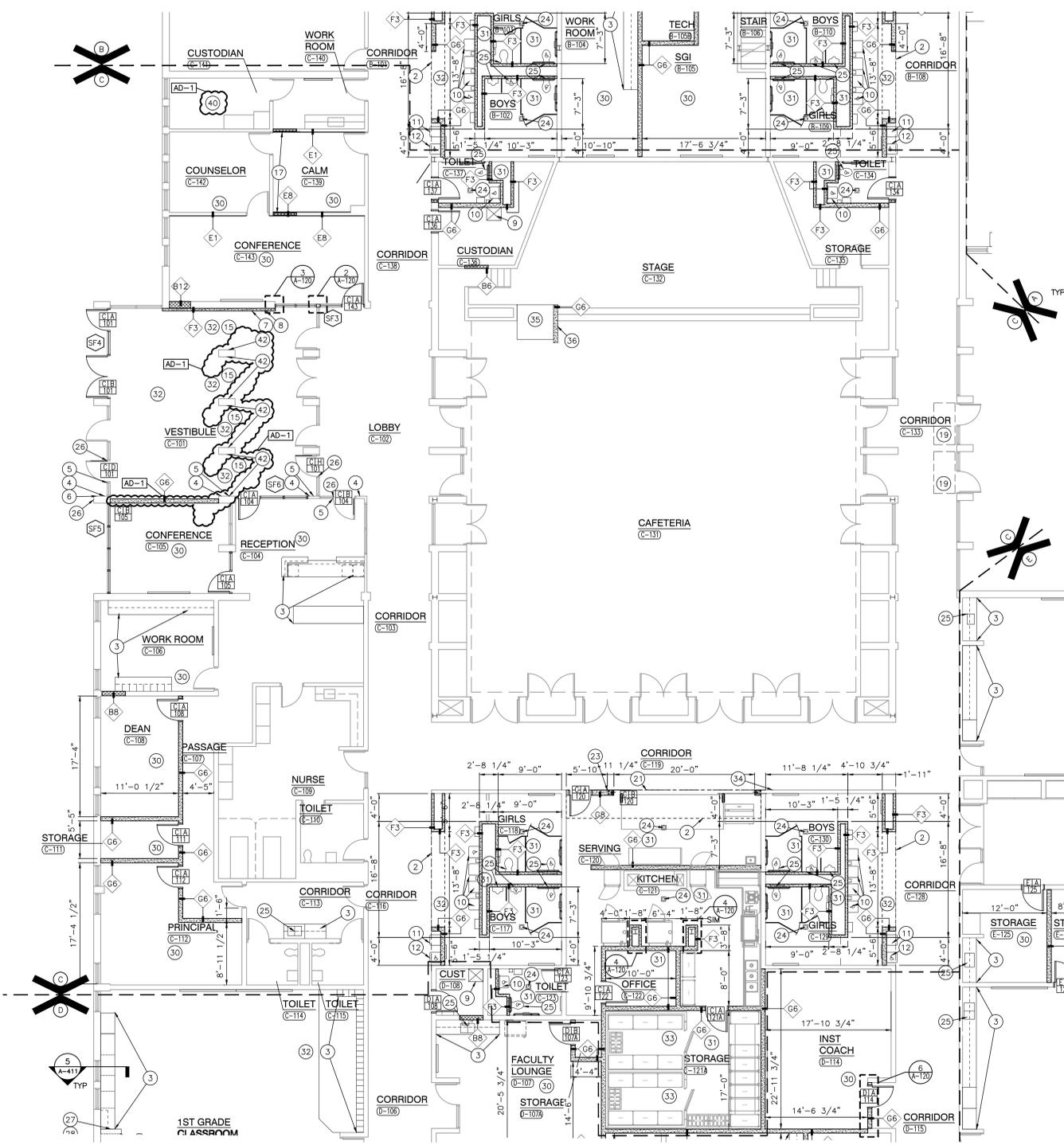
PLAN LEGEND:

- ◻ INDICATES STOREFRONT, CURTAIN WALL, OR WINDOW SYSTEM. REFER TO A-600 SERIES DRAWINGS FOR ELEVATIONS AND DETAILS.
- ◊ INDICATES WALL TYPES REFER TO G-201 FOR WALL THICKNESS, HEIGHT, AND COMPOSITION.

PLAN NOTES:

(ALL PLAN NOTES MAY NOT BE INDICATED ON THIS SHEET.)

- 1 CONCRETE STOOP/VOID SLAB, REFER TO S-401.
- 2 DASHED LINE INDICATES TYPICAL BULKHEAD, REFER TO SECTIONS AND REFLECTED CEILING PLANS. (ALL BULKHEADS MAY NOT BE INDICATED ON THIS PLAN)
- 3 CASEWORK AND/OR MILLWORK (TYPICAL), REFER TO EQUIPMENT PLANS.
- 4 PUSH PAD FOR ADA OPERATOR, REFER TO ELECTRICAL DRAWINGS.
- 5 CARD/FOB READER, REFER TO ELECTRICAL/TECHNOLOGY DRAWINGS.
- 6 AI DEVICE, REFER TO ELECTRICAL/TECHNOLOGY DRAWINGS.
- 7 FIRE ALARM CONTROL PANEL, REFER TO ELECTRICAL DRAWINGS.
- 8 FIRE ALARM ANNUNCIATOR PANEL, REFER TO ELECTRICAL DRAWINGS.
- 9 MOP SINK, REFER TO PLUMBING DRAWINGS.
- 10 WALL SINK, REFER TO PLUMBING DRAWINGS.
- 11 ELECTRIC WATER COOLER WITH BOTTLE FILLER AND BUBBLER, REFER TO PLUMBING DRAWINGS.
- 12 ACCESSIBLE ELECTRIC WATER COOLER WITH BOTTLE FILLER AND BUBBLER, REFER TO PLUMBING DRAWINGS.
- 13 CABINET HEATER, REFER TO MECHANICAL DRAWINGS.
- 14 UNIT VENTILATOR, REFER TO MECHANICAL DRAWINGS.
- 15 INFILL ORIGINAL FLOOR MAT RECESS WITH ARDEX OR EQUAL LEVEL TO ADJUST FLOOR
- 16 LINE OF CANOPY ABOVE, REFER TO SECTIONS.
- 17 INFILL WALL OPENING WITH 4" BLOCK, TREATED WOOD FURRING AS REQUIRING FOR SMOOTH, LEVEL FINISH.
- 18 FIRE EXTINGUISHER (WALL MOUNTED).
- 19 PARTIALLY FILL IN RECESSED FLOOR WITH ARDEX, PREP TO RECEIVE NEW FLOOR FINISH, NEW FINISH TO BE FLUSH WITH EXISTING
- 20 DOOR BELL NOTIFICATION LOCATION, REFER TO TECHNOLOGY DRAWINGS
- 21 ROLLING SERVICE GRILL ELECTRICALLY OPERATED. (A-507)
- 22 EXISTING CARD READER, REFER TO TECHNOLOGY DRAWINGS
- 23 ROLLING DOOR/GRILLE KEY SWITCH.
- 24 FLOOR DRAIN, REFER TO PLUMBING DRAWINGS.
- 25 PLUMBING FIXTURE- REFER TO EQUIPMENT PLANS AND PLUMBING DRAWINGS
- 26 EXISTING DOOR FRAME AND ASSOCIATED CONSTRUCTION TO BE MODIFIED TO RECEIVE NEW ELECTRONIC HARDWARE. HARDWARE TO BE LOCATED AT ACCESSIBLE HEIGHTS AT ADJACENT CONSTRUCTION. FIELD VERIFY AND COORDINATE PLACEMENT.
- 27 UNIT VENTILATOR, HEAVY GAUGE BREAK METAL CLOSURE TO MATCH FLOOR, AND CEILING CONDITION. REFER TO WALL SECTIONS AND 2/A-501
- 28 BUILT-IN DISPLAY CASE- REFER TO 5/A-501. EXTEND WALL AND GYPSUM BOARD TO DECK
- 29 CASEWORK/ MILLWORK, MARKER BOARD, TECH BOARDS AND EQUIPMENT REFER TO A-700S
- 30 NEW CONCRETE SLAB- REFER TO SPECIFICATIONS
- 31 CONTINUOUS SLAB LEVELER- REFER TO SPECIFICATIONS
- 32 NEW INSULATED RECESSED CONCRETE SLAB, COORDINATE SLAB DEPTH/ RECESS WITH SELECTED COOLER (FREEZER)- REFER TO S-401 TYP
- 33 SEMI-RECESSED FIRE EXTINGUISHER CABINET. MODIFY WALL CONDITION TO ACCOMMODATE NEW EXTINGUISHER CABINET AND MOUNTING HEIGHT- REFER TO A-500'S
- 34 NEW WHEEL CHAIR LIFT, REFER TO ELECTRIC
- 35 NEW DECORATIVE 1/2 HEIGHT WALL CONSTRUCTION WITH 3/4" STAINED OAK CASE WITH 1/2" OVERHANG ALL AROUND WALL TO EXTEND 42" ABOVE STAIR FLOOR
- 36 PUSH UNIT TO VENT TO NORTH SIDE, COVERING FRESH AIR WALL OPENING
- 37 WALL FURRING AS REQUIRED, 5/8" GYP BOARD TO BRICK MASONRY WALL CONSTRUCTION. EXTEND 6" ABOVE CEILING.
- 38 TERRAZZO INFILL
- 39 TERRAZZO-IN NEW VCT MATCHING EXISTING.
- 40 METAL STUD AND GYPSUM BOARD WALL WITH PLASTIC LAMINATE COUNTER TOP, REFER TO 2/A-501 TYPE C SIMILAR
- 41 NEW CONTINUOUS PAINTED ALUMINUM CLOSER PANEL, SIZE TO BE CONSISTENT AND TO COVER SCAR LINE. PAINT AS DIRECTED BY ARCHITECT



UNIT "C" ARCHITECTURAL FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

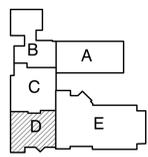


Tuesday, 11/29/2022 4:31:18 PM - LAST SAVED BY: WESLEY
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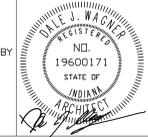
PROJECT
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DUNELAND SCHOOL CORPORATION
CHESTERTON, INDIANA



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DRAWN BY: CLN
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DRAWING
UNIT "D" FIRST FLOOR EQUIPMENT PLAN

PROJECT
BAILLY ES - RENOVATIONS

© GIBRALTAR DESIGN SHEET
D A-704

GENERAL EQUIPMENT PLAN NOTES:

- A. REFER TO SPECIFICATIONS AND FINISH LEGEND FOR ADDITIONAL INFORMATION.
- B. FIELD VERIFY ALL DIMENSIONS.
- C. CASEWORK AND/OR MILLWORK INSTALLER TO COORDINATE ELECTRICAL AND PLUMBING WORK, REFER TO ELECTRICAL DRAWINGS AND SCHEDULES FOR ELECTRICAL DEVICE TYPES, HEIGHTS, AND LOCATIONS.
- D. REFER TO G SERIES DRAWINGS FOR MOUNTING HEIGHTS.
- E. REFER TO EQUIPMENT PLANS FOR REFERENCE TO ENLARGED TOILET ROOM PLANS AND TOILET ROOM ACCESSORIES.

EQUIPMENT PLAN LEGEND:

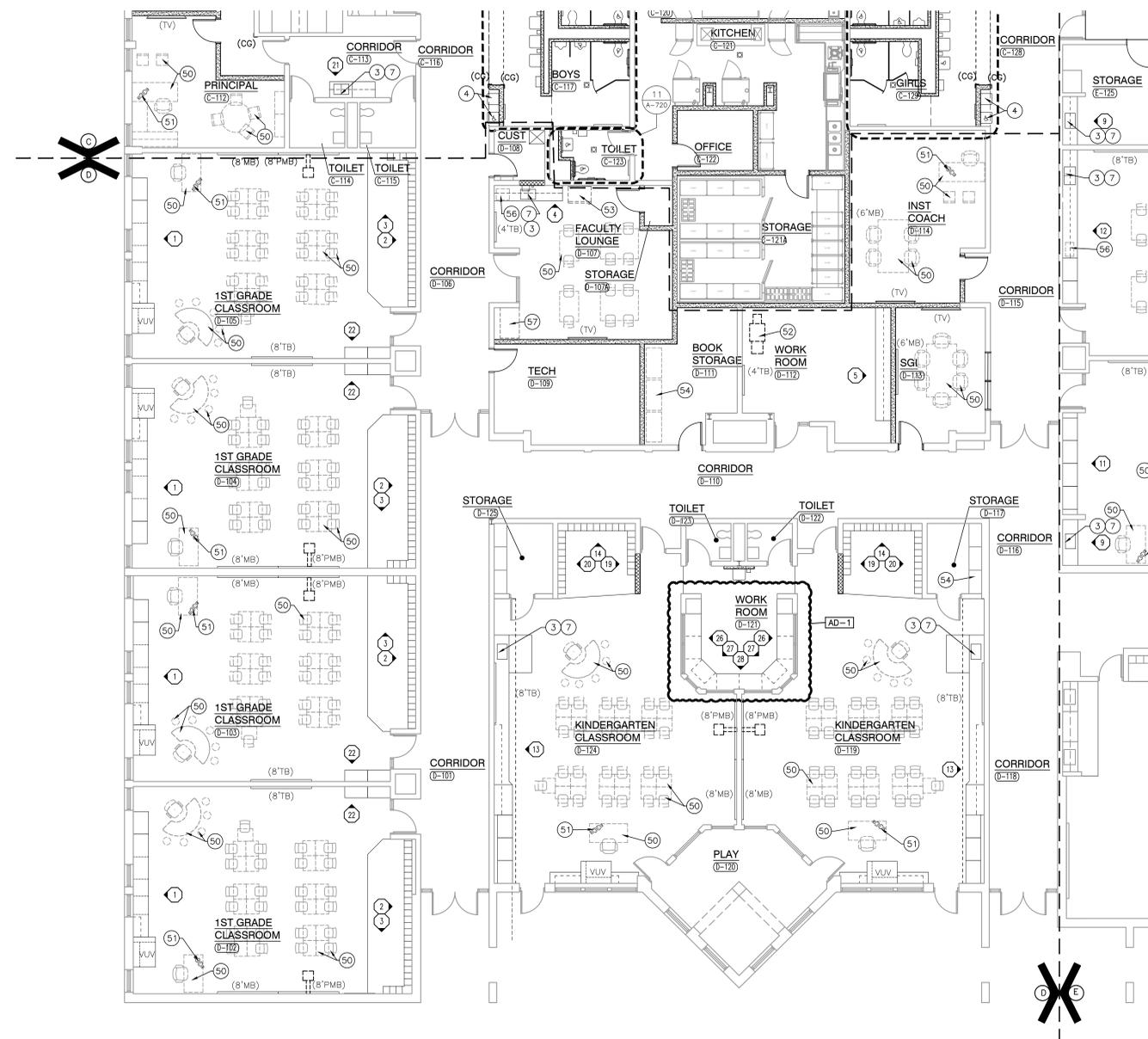
- INDICATES CASEWORK ELEVATION SYMBOL - REFER TO A-800 SERIES DRAWINGS FOR ELEVATIONS AND DETAILS.
- INDICATES ITEMS TO BE PART OF LOOSE EQUIPMENT PACKAGE BY OWNER. (NOT INCLUDED IN CONSTRUCTION CONTRACT).
- INDICATES BULKHEADS OR OTHER OVERHEAD ITEMS (INCLUDED IN CONSTRUCTION CONTRACT).
- (TB) INDICATES 4" HIGH TACK BOARD LENGTH AS INDICATED, REFER TO MOUNTING HEIGHT DRAWING.
- (MB) INDICATES 4" HIGH MARKER BOARD LENGTH AS INDICATED, REFER TO MOUNTING HEIGHT DRAWING.
- (PMB) INDICATES 4" HIGH PROJECTABLE MARKER BOARD. REFER TO MOUNTING HEIGHT DRAWING.
- (TV) TELEVISION MONITOR, REFER TO TECHNOLOGY DRAWING.
- (CG) INDICATES CORNER GUARD

EQUIPMENT PLAN NOTES:

- (ALL PLAN NOTES MAY NOT BE INDICATED ON THIS PLAN)
- 1 NOT USED
 - 2 NOT USED
 - 3 PAPER TOWEL AND SOAP DISPENSER, OFCI.
 - 4 DRINKING FOUNTAIN, REFER TO PLUMBING DRAWINGS.
 - 5 NOT USED
 - 6 NOT USED
 - 7 SINK IN CASEWORK, REFER TO CASEWORK AND PLUMBING DRAWINGS.

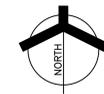
OWNER FURNISHED EQUIPMENT PLAN NOTES:

- 50 LOOSE FURNITURE, BY OWNER, INDICATED ON PLAN FOR ELECTRICAL AND TECHNOLOGY COORDINATION.
- 51 COMPUTER/MONITOR, BY OWNER
- 52 PRINTER/COPIER, BY OWNER
- 53 REFRIGERATOR WITH ICE MAKER, BY OWNER
- 54 SHELVING, BY OWNER.
- 55 FILE CABINET, BY OWNER.
- 56 MICROWAVE, BY OWNER.
- 57 VENDING MACHINE, BY OWNER.
- 58 CLINIC COTS, BY OWNER.
- 59 KILN, BY OWNER.
- 60 PIANO, BY OWNER.



UNIT "D" FIRST FLOOR EQUIPMENT PLAN

SCALE: 1/8" = 1'-0"



Wednesday, 11/23/2022 - 8:46 AM - LAST SAVED BY: CONELSON
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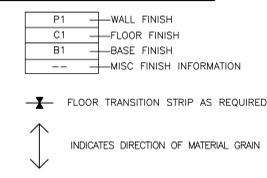
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GENERAL FINISH PLAN NOTES:

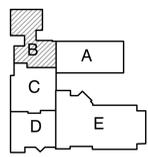
- REFERENCE FINISH LEGEND FOR FINISH INFORMATION.
- REFERENCE FLOOR PATTERN PLANS, EQUIPMENT PLANS, INTERIOR ELEVATIONS, REFLECTED CEILING PLANS AND WRITTEN SPECIFICATIONS FOR ADDITIONAL FINISH INFORMATION.
- PRIOR TO INSTALLATION OF NEW FINISHES CONTRACTOR SHALL INSPECT ALL SUBSTRATES. IF A SUBSTRATE IS DEEMED UNACCEPTABLE THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO RECTIFY THE SITUATION OR CONTACT THE ARCHITECT WITH THE CONCERN. PROCEEDING WITH THE INSTALLATION OF FINISHES WILL BE CONSIDERED THAT THE INSTALLER AND/OR FINISHER HAS ACCEPTED SAID SUBSTRATE. NO CHANGE ORDER WILL BE ISSUED TO RECTIFY CONCEALED, OR UNSATISFACTORY SUBSTRATE ONCE FINISH WORK HAS PROCEEDED.
- PREPARE ALL WALL CONSTRUCTION, NEW AND EXISTING, TO RECEIVE NEW FINISHES AS PER MANUFACTURER'S RECOMMENDED INSTALLATION METHODS AND MATERIALS FOR ALL FINISHES.
- ALL FLOORING IS TO BE LEVELLED WITHIN 1/4" IN 10'-0" WITH LATEX MATERIAL. MOISTURE CONTENT IN AREA IS TO BE TESTED PRIOR TO INSTALLATION OF FLOORING MATERIAL. CONTRACTOR TO INSTALL FLOORING PER MANUFACTURER'S RECOMMENDED METHOD.
- FLOORING CONTRACTOR TO SUBMIT A SEAMING DIAGRAM FOR FLOORING MATERIAL INCLUDING NOTATION OF MATERIAL DIRECTION.
- ALL FLOORING TRANSITIONS SHALL COMPLY WITH ADA GUIDELINES.
- ALL EXPOSED METAL SURFACES, SUCH AS GRILLES, FIRE EXTINGUISHER CABINETS, ETC. THAT ARE NOTED TO BE PAINTED, SHALL BE PAINTED WITH ALKYLID TYPE PAINT. COLOR TO BE COORDINATED WITH DESIGNER UNLESS OTHERWISE NOTED.
- CONTRACTOR TO PROVIDE AND INSTALL FLOORING TRANSITIONS AS INDICATED ON THE FLOOR PATTERN PLANS, WHERE NONE ARE NOTED, CONTRACTOR SHALL VERIFY REQUIRED TYPE/COLOR WITH ARCHITECT.
- ALL FLOOR FINISH TRANSITIONS AT DOORS SHALL BE CENTERED UNDER DOOR UNLESS NOTED OTHERWISE.
- FOR FLOOR FINISH TRANSITION DETAILS REFER TO 6/A-501.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL NEW INTERIOR WALL AND CEILING FINISHES WILL BE CLASS B MINIMUM, WITH A FLAME SPREAD RATING OF 75 MAXIMUM, AND A SMOKE DEVELOPED INDEX OF 450 MAXIMUM, PER IBC SECTION 603.
- PAINT ALL SIDES OF NEW AND EXISTING DOOR FRAMES TO MATCH EXISTING UNLESS NOTED OTHERWISE.
- EXPOSED SURFACES OF DUCTWORK TO BE PAINTED TO MATCH ADJACENT SURFACES UNLESS NOTED OTHERWISE.
- EXISTING BRICK TO REMAIN AND DO NOT PAINT.

FINISH SYMBOL LEGEND:



FINISH PLAN NOTES:

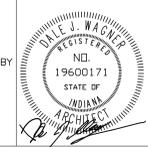
- (ALL PLAN NOTES MAY NOT BE INDICATED ON THIS PLAN)
- NO NEW FINISHES THIS ROOM, EXCLUDING DOOR FRAMES CONNECTED TO OTHER ROOMS THAT RECEIVE NEW FINISHES.
 - MATCH EXISTING WALL FINISHES, WALL PAINT AND PROVIDE NEW BASE.
 - WALL TILE, WT1, FULL HEIGHT OF WALL.
 - WALL TILE - REFER TO INTERIOR ELEVATIONS AND FINISH LEGEND.
 - WALL TILE, SEE WALL TILE PATTERN - A-860
 - PAINT, P2.
 - PAINT, P3
 - WALLCOATING, W6
 - PAINT, P4.
 - PAINT, W6
 - WALL TILE, SEE WALL TILE PATTERN - A-860
 - PAINT, W1
 - CARPET, C4
 - PAINT, P6
 - SEE WALL TILE PATTERN, ALL WALLS WITH PATTERN, A-860
 - PAINT BULKHEAD, P9
 - PAINT, SEE ELEVATION A-860
 - WALLCOATING, W4
 - SCHULTER TILE TRIM AT ALL OUTSIDE CORNERS
 - PAINT, P10
 - PAINT, P1
 - PAINT, P3 COLUMN, EXCLUDE BRICK AND WOOD TRIM.
 - SLOPED CEILING INCLUDING ALL EXPOSED STEEL FRAMING, PAINT P7
 - PAINT BULKHEAD P9, ADD SHARP PAINT LINE AT JUNCTION OF TWO BULKHEADS FOR PAINT SEPARATION.
 - CARPET C5 AT COLUMN SEAT, TOP AND SIDES.
 - CARPET C5 ON WALL BELOW EXISTING WOOD TRIM.
 - INSTALL SALVAGED WOOD BASE AT NEW CONSTRUCTION.
 - MODIFY EXISTING WOOD BASE TO ACCEPT NEW STOREFRONT WALL. USE SALVAGED WOOD BASE AS NEEDED.
 - PAINT BULKHEAD FACE AND BOTTOM, W1.
 - PAINT BULKHEAD FACE AND BOTTOM, W3.
 - PAINT BULKHEAD FACE AND BOTTOM, W9.
 - PAINT BULKHEAD FACE AND BOTTOM, P4.
 - PAINT, P9.
 - PAINT METAL ONLY ON BRICK COLUMN, P8.



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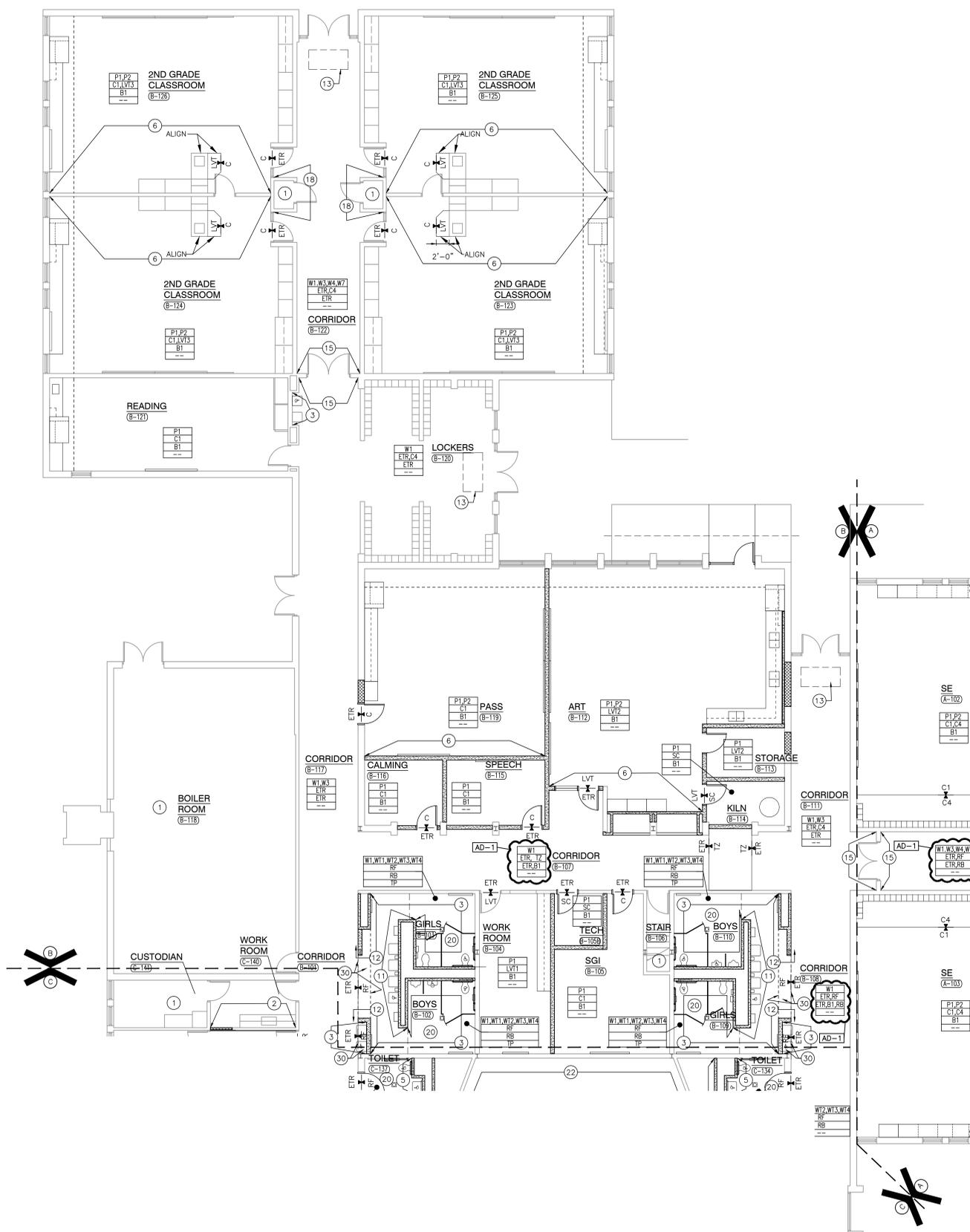
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DRAWING
UNIT "B" FIRST FLOOR FINISH PLAN

PROJECT
BAILLY ES - RENOVATIONS

GIBRALTAR DESIGN SHEET
B A-802



UNIT "B" FIRST FLOOR FINISH PLAN
SCALE: 1/8" = 1'-0"



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SHEET NOTES

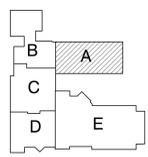
1. EXTEND CONDENSATE PIPING FROM UNIT THRU WALL. TERMINATE WITH 45 DEGREE ELBOW DOWN TO GRADE. SLEEVE AND SEAL PIPE THROUGH WALL PENETRATION WEATHERTIGHT.



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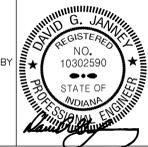
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CHECKED BY: DJ



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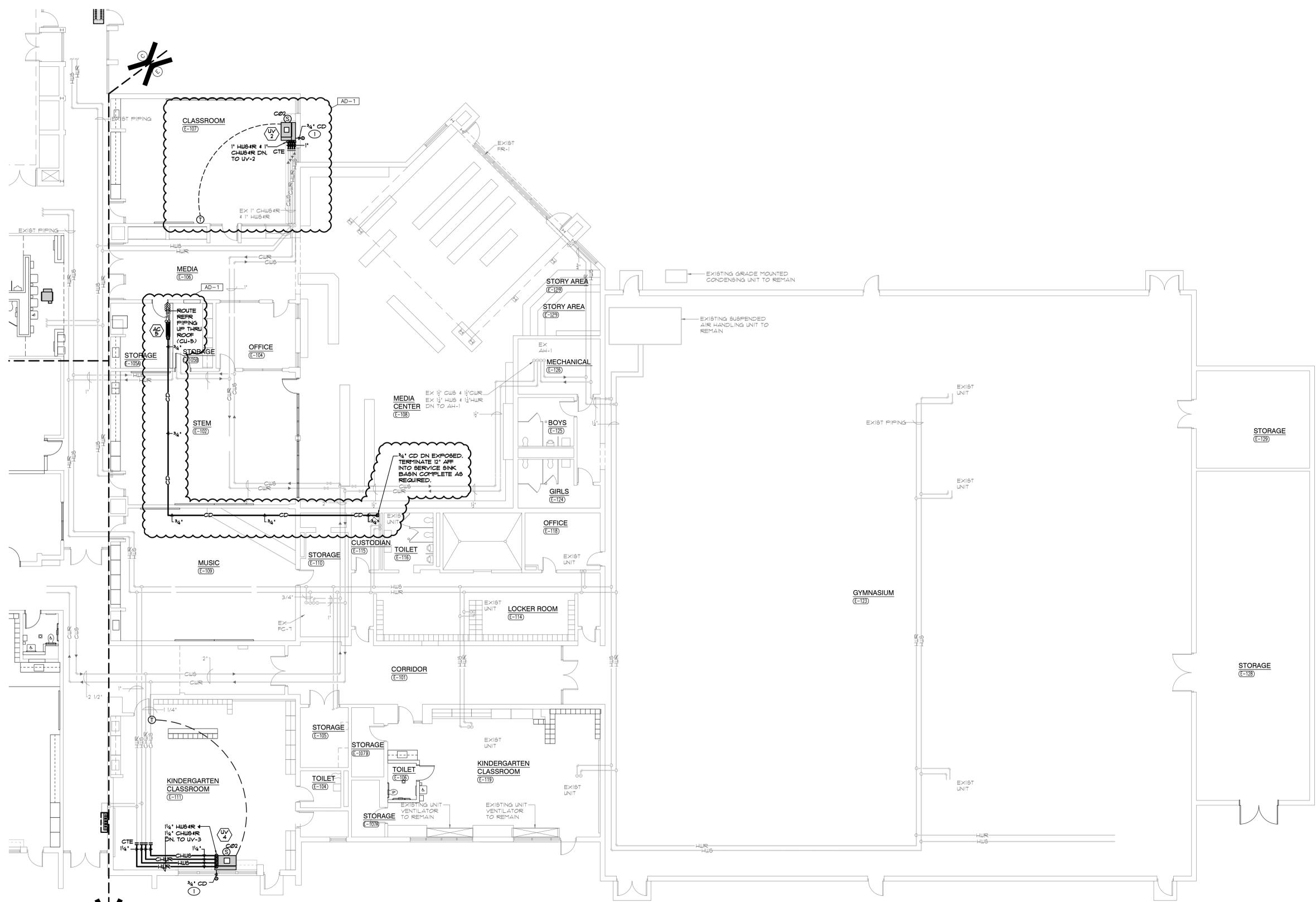
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DRAWING
UNIT "E" MECHANICAL
FIRST FLOOR PIPING PLAN

PROJECT
BAILLY ES -
RENOVATIONS

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E MP105



UNIT "E" MECHANICAL FIRST FLOOR PIPING PLAN
SCALE: 1/8" = 1'-0"



