

**ADDENDUM  
NO. 2**

**March 9, 2023**

**SCHOOL TOWN OF HIGHLAND G.O. BOND 2022 PROJECTS**  
**Highland, IN 46322**

**TO: ALL BIDDERS OF RECORD**

This Addendum forms a part of and modifies the Bidding Requirements, Contract Forms, Contract Conditions, the Specifications, and the Drawings dated February 13, 2023, by Schmidt Associates. Acknowledge receipt of the Addendum in the space provided on the Proposal Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of Pages ADD 3-1 and attached Addendum No. 2 from Schmidt Associates dated March 8, 2023 consisting of 3 pages and 1 Drawing.

# **ADDENDUM NO. 2**

## **MARCH 8, 2023**

PREPARED BY SCHMIDT ASSOCIATES FOR:  
**GO BOND 2022 PROJECTS**  
**HIGHLAND, SCHOOL TOWN OF**

This Addendum consists of 2 Addendum pages and 2 attachment pages totaling 4 pages.

Acknowledge receipt of this Addendum by inserting its number on the Bid Form. Failure to do so may subject the Bid to disqualification. This Addendum is part of the Contract Documents.

Bidder is encouraged to verify with reprographer of record all Addenda issued (do not rely exclusively on third party plan room services).

### **PART 1 - CHANGES TO PRIOR ADDENDA (NOT APPLICABLE)**

### **PART 2 - CHANGES TO THE PROJECT MANUAL (NOT APPLICABLE)**

### **PART 3 - CHANGES TO THE DRAWINGS**

Modifications described herein shall be incorporated in the Drawings. All other Work shall remain unchanged.

#### **3.1 DRAWING SHEETS: ADDITIONS, DELETIONS AND REPLACEMENTS**

<b>DRAWING NO.</b>	<b>INDICATE ACTION: ADD (A), DELETE (D), DELETE &amp; REPLACE (R),</b>
<b>C-SERIES DRAWINGS</b>	
<b>CL101.2</b>	<b>DELETE AND REPLACE</b>

#### **3.2 A-SERIES DRAWINGS**

##### **A. Drawing Number A-101.6**

1. DELETE Note referencing the removal of the existing awning system and the provision of a new awning on "EXISTING DOOR 'A2 - SCOPE" 4D/A-101.6 & "EXISTING DOOR 'A3' – SCOPE" in its entirety.

**END OF ADDENDUM 2**

## **BIDDER QUESTIONS AND RESPONSES**

The following Bidder Questions and Responses Sheet is being made available to Bidders for informational purposes only and is not a part of the Addendum.



**SCHMIDT**  
ASSOCIATES

415 Massachusetts Avenue  
Indianapolis, IN 46204  
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Project No. 2022-056.GBP  
Project Date 01.09.2023  
Produced ATJ

**CD Review Set**  
**Not for Construction**

These Drawings and Specifications, and all copies thereof are and shall remain the property and copyright of the Architect. They shall be used only with respect to this Project and are not to be used on any other Project or Work without prior written permission from the Architect.

#	Revision	Date
A2	ADDENDUM 2	03.08.2023

9135 Erie Street  
Highland, IN 46332

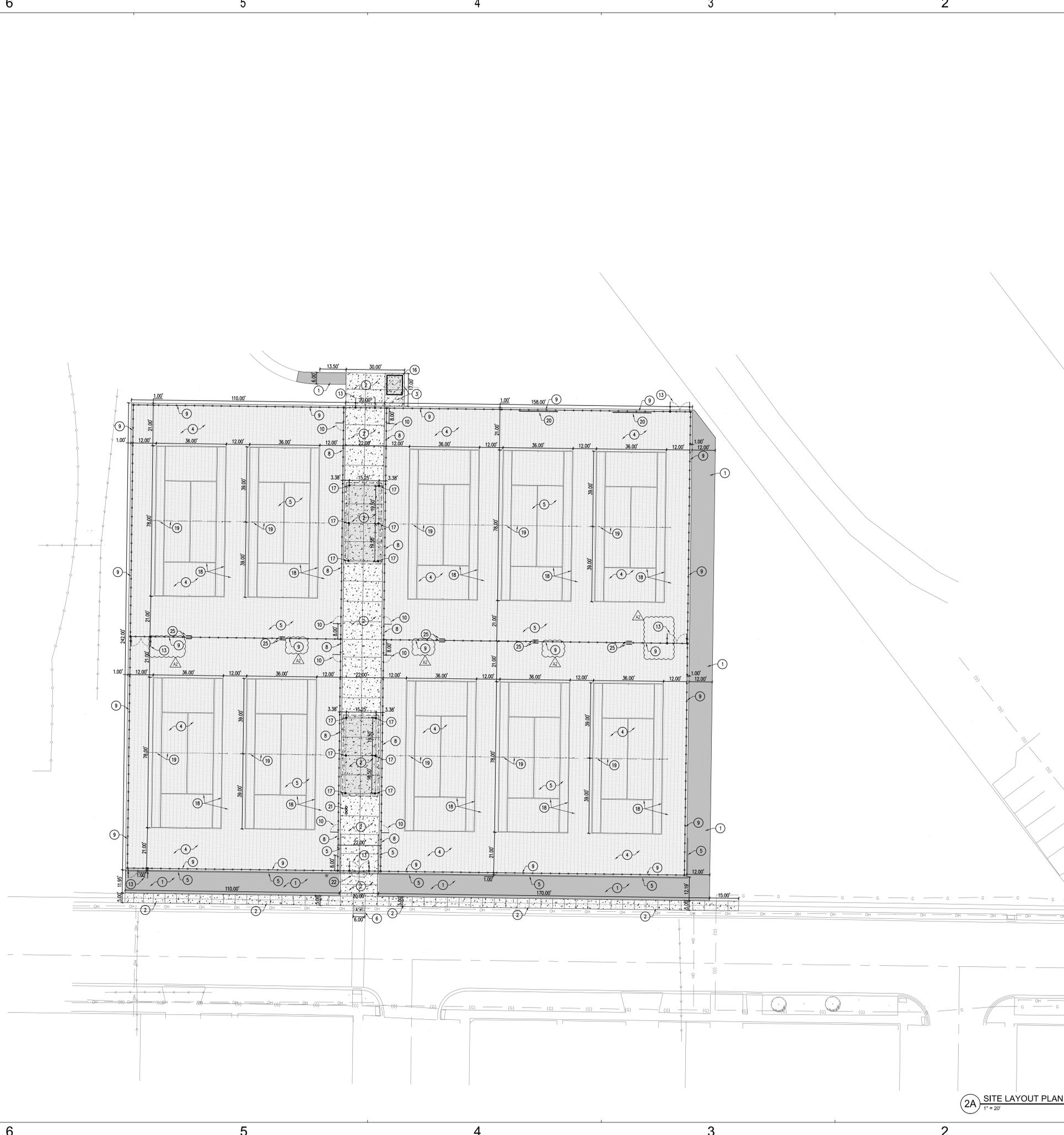
School Town of  
Highland



Highland HS / MS  
Site Improvements

SITE LAYOUT PLAN

CL101.2



**LAYOUT LEGEND**

- |  |                                                                |     |                           |
|--|----------------------------------------------------------------|-----|---------------------------|
|  | REGULAR DUTY ASPHALT PAVEMENT<br>SEE DETAIL 1A/CL501.2         | T/M | TYPICAL OF MULTIPLE AREAS |
|  | REGULAR DUTY CONCRETE PAVEMENT<br>SEE DETAIL 1B/CL501.2        | VA  | VAN ACCESSIBLE            |
|  | HEAVY DUTY CONCRETE PAVEMENT<br>SEE DETAIL 1C/CL501.2          | ASR | ACCESSIBLE SIDEWALK RAMP  |
|  | POST-TENSIONED CONCRETE SLAB<br>SEE DETAILS 4E, 5E, 6E/CL501.2 | R   | RADIUS                    |
|  | ASPHALT MILL & OVERLAY<br>SEE DETAILS 1E/CL501.2               | N   | NORTHING COORDINATE       |
|  |                                                                | E   | EASTING COORDINATE        |

**LAYOUT KEY NOTES**

- REGULAR DUTY ASPHALT PAVEMENT. SEE DETAIL 1A/CL501.2.
- REGULAR DUTY CONCRETE PAVEMENT. SEE DETAIL 1B/CL501.2.
- HEAVY DUTY CONCRETE PAVEMENT. SEE DETAIL 1C/CL501.2.
- POST-TENSIONED CONCRETE TENNIS COURT SLAB. SEE DETAILS 4E, 5E, 6E/CL501.2.
- VARIABLE HEIGHT CONCRETE CURB POURED AGAINST EDGE OF POST-TENSIONED SLAB WITH TOP OF CURB AT SLAB GRADE. SEE DETAIL 2A/CL501.2.
- ADA ACCESSIBLE SIDEWALK RAMP. SEE DETAIL 2D/CL501.2.
- STEEL PIPE UTILITY BOLLARD. SEE DETAIL 3A/CL501.2.
- 4" CHAIN LINK FENCE, BLACK VINYL FINISH. SEE SPECS.
- 10" CHAIN LINK FENCE WITH INTERMEDIATE AND BOTTOM RAILS, BLACK VINYL FINISH. SEE DETAIL 5A/CL501.2 & SPECS.
- 4" x 4" SINGLE LEAF SWING GATE, MATCH ADJACENT FENCING. SEE SPECS.
- 4" x 6" SINGLE LEAF SWING GATE, MATCH ADJACENT FENCING. SEE SPECS.
- 4" x 12" DOUBLE LEAF SWING GATE, MATCH ADJACENT FENCING. SEE SPECS.
- 10" x 10" DOUBLE LEAF SWING GATE, MATCH ADJACENT FENCING. SEE SPECS.
- 8" DECORATIVE METAL SCREEN FENCE, BASTEE ESSEX OR APPROVED EQUAL. SEE DETAIL 1C/CL502.2 & SPECS.
- 8" x 12" DECORATIVE METAL DOUBLE LEAF SWING GATE, BASTEE ESSEX OR APPROVED EQUAL. SEE SPECS.
- EXISTING WOOD FRAMED STORAGE BUILDING RESET ON HEAVY DUTY CONCRETE PAD.
- EXISTING METAL FRAMED CANOPY STRUCTURE TO REMAIN ON EXISTING FOOTINGS. COAT BASE OF COLUMNS BELOW FINAL GRADE WITH (2) COATS OF ASPHALTIC OR BITUMINOUS COATING SUCH AS KARNAK BBR (OR SIMILAR) TO PROTECT FROM CORROSION. AFTER COATING AND BEFORE INSTALLING NEW SLAB, WRAP BASE OF COLUMN BELOW FINAL GRADE WITH 1/2" FIBRE EXPANSION JOINT MATERIAL. AFTER SLAB PLACEMENT, INSTALL SEALANT AROUND BASE OF COLUMN TO CONCEAL AND PROTECT THE EXPANSION JOINT.
- TENNIS COURT SURFACING AND STRIPING. SEE SPECS. COURT MARKINGS TO BE LAID OUT IN ACCORDANCE WITH USTA TENNIS COURT DESIGN MANUAL, LATEST REVISION. COLORS TO BE PER USTA STDS. - BLUE COURTS, GREEN FIELD, WHITE STRIPING.
- TENNIS NETS, POSTS, FOOTINGS, & HARDWARE. SEE DETAIL 5D/CL501.2 & SPECS.
- 10" x 20" TENNIS RETURN WALL / PRACTICE WALL SYSTEM MOUNTED TO FENCE POSTS, RALLY MASTER BACKBOARDS OR APPROVED EQUAL.
- OUTDOOR ADA DRINKING FOUNTAIN WITH BOTTLE FILLER, MDF 2440 SMSS OR APPROVED EQUAL. SEE DETAIL 1A/CL502.
- INSTALL SALVAGED ENTRANCE ANNING ABOVE ENTRANCE GATES. PROVIDE STRUTS & FASTENERS AS REQ'D TO MOUNT TO FENCE FRAMING.
- FOOD SERVICE FREEZER/COOLER UNIT INSTALLED ON THICKENED CONCRETE PAD. SEE ARCH. PLANS.
- BACKUP GENERATOR UNIT INSTALLED ON THICKENED CONCRETE PAD. SEE MECH. PLANS.
- TENNIS COURT NUMBER SIGNS. SEE DETAIL 6B/CL501.2.
- ASPHALT PAVEMENT MILL & OVERLAY. SEE DETAIL 1E/CL501.2.
- 8" CHAIN LINK FENCE WITH BOTTOM RAIL, BLACK VINYL FINISH, & BLACK SCREENING SLATS. SEE SPECS.
- 8" x 8" DOUBLE LEAF SWING GATE, MATCH ADJACENT FENCING. SEE SPECS.
- CONDENSING UNIT FOR FREEZER/COOLER INSTALLED ON REINFORCED CONCRETE SLAB. SEE MECH. PLANS.
- 6" WIDE BY VARIABLE HEIGHT CONCRETE CURB.

**GENERAL LAYOUT NOTES**

- NORTHING AND EASTING COORDINATES ARE STATE PLANE COORDINATES, NAD83, WEST ZONE, US FEET. REFER TO SURVEY DRAWINGS FOR HORIZONTAL CONTROL POINT DATA.
- ALL DIMENSIONS ARE REFERENCED TO THE FACE OF CURB, EDGE OF PAVEMENT, EDGE OF SIDEWALK, OR OUTSIDE SURFACE OF BUILDING WALL UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS AND LAYOUT DETAILS.
- REFER TO SHEET C-001 FOR ADDITIONAL LAYOUT PLAN NOTES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL REQUIRED CONSTRUCTION LINE AND GRADE TO ENSURE ACCURATE LAYOUT OF SITE IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTS. ANY PROPERTY CORNER MONUMENT DISTURBED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY AN INDIANA LICENSED SURVEYOR AT CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING PERMANENT BENCHMARKS. IF BENCHMARKS ARE TO BE DISTURBED OR DESTROYED AS PART OF DEMOLITION ACTIVITY, THE CONTRACTOR SHALL HAVE AN INDIANA LICENSED SURVEYOR ESTABLISH ANOTHER BENCHMARK AT A NEARBY LOCATION OUT OF HARM'S WAY.
- ALL EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO MATCH CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
- ALL WORK WITHIN THE ADJACENT STREET RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH THE OSBORN COUNTY HIGHWAY DEPT STANDARDS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC WORKS PROJECTS, LATEST REVISION.

2A SITE LAYOUT PLAN  
1" = 20'

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ajacobson, Bubeckem PDF\_ARCH ET, 10/01/2023, 4:20:00, J:\chris, T, Schmidt Associates

## Highland 2022 G.O. Projects

### Bidder Questions and Responses - Addendum #2

1. Question: Drawing CL 101.2 Layout key notes 23 and 27 may need some additional clarifications. The drawing is showing note 23 as a freezer/cooler unit installed on a thickened slab. There are 5 places where this is shown. Item 27 on the drawing is not listed on the keynotes. **Response: These Keynotes are clarified. See Addendum 2**
2. The Layout Legend on Sheet CL101.2 shows two notes with the same hatch pattern. Details 4E, 5E, 6E on CL501.2 (referenced in the first of two similar hatch patterns) here show stone, fine aggregate, 10 mil poly and reinforced concrete slab over "Existing Asphalt Tennis Courts". Detail 1E (referenced in the second of two similar hatch patterns) shows existing asphalt being milled to 1.5" depth and a new HMA surfacing being placed over existing. Please clarify the intent at the existing tennis courts. Is milling and resurfacing the existing tennis courts necessary if we are installing stone over the top of it? **Response: There is no mill/overlay at tennis courts. The existing asphalt pavement either remain or is removed to full depth. The mill/overlay note is deleted from the Legend. See Addendum 2.**
3. See sheets CD101.2 demo note 17 which indicates to remove fence, posts, and gates with footings to remain. See sheet CL101.2 which calls out notes 23 & 27 for the fence that would be installed where demo'd by note 17. Note 23 does not relate to fence installation and note 27 is not found on the plan. There also appears to be some other note callouts on sheet CL101.2 which are erroneous or do not relate to the work being called out. Please provide revise notes in this area to reflect work being completed.
  - a. Additionally are the footings for fence posts noted with 17 on CD101.2 intended to be reused for new posts or abandoned in place?  
**Response: The existing tennis court fencing around the perimeter of the courts to be removed including the footings. The existing interior tennis court fencing running north-south to be removed including the footings. The existing interior tennis court fencing running east-west to be removed but the footings can remain with the posts cut off at grade; however, the new east-west interior fence is about 9" south of the existing east-west fence so there may be conflicts between the existing fence footings and the new fence post installation depending on location. Any fence post footings scheduled to remain that are not in conflict with new work may be abandoned in place.**
- 4.