

**Kalamazoo Public Schools**

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**Loy Norrix High School**

**Health Suite**

**PRE-BID MEETING**



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**April 2, 2024**

# PRE-BID MEETING



Loy Norrix High School Health Suite  
606 East Kilgore Road  
Kalamazoo, MI 49001

# OWNER



## Kalamazoo Public Schools

- **Karen Jackson - Executive Supervisor,  
Facilities Management**

Kalamazoo Public Schools

Every child. Every opportunity. Every time.

# ARCHITECT



TowerPinkster

- Mike Galovan, Senior Project Manager

[mgalovan@towerpinkster.com](mailto:mgalovan@towerpinkster.com)

269-492-6763

**TowerPinkster**  
Architecture · Engineering · Interiors

# THE SKILLMAN TEAM



## ACCOUNT EXECUTIVE

- Michael Kounelis
- 269-207-3049
- [mkounelis@skillman.com](mailto:mkounelis@skillman.com)

## PROJECT MANAGER

- Max Tackett
- 269-207-3049
- [mtackett@skillman.com](mailto:mtackett@skillman.com)

## PROJECT ENGINEER

- Will Karnes
- 269-908-9684
- [wkarnes@skillman.com](mailto:wkarnes@skillman.com)

## SITE MANAGER

- TBD

## ADMIN. ASSISTANT

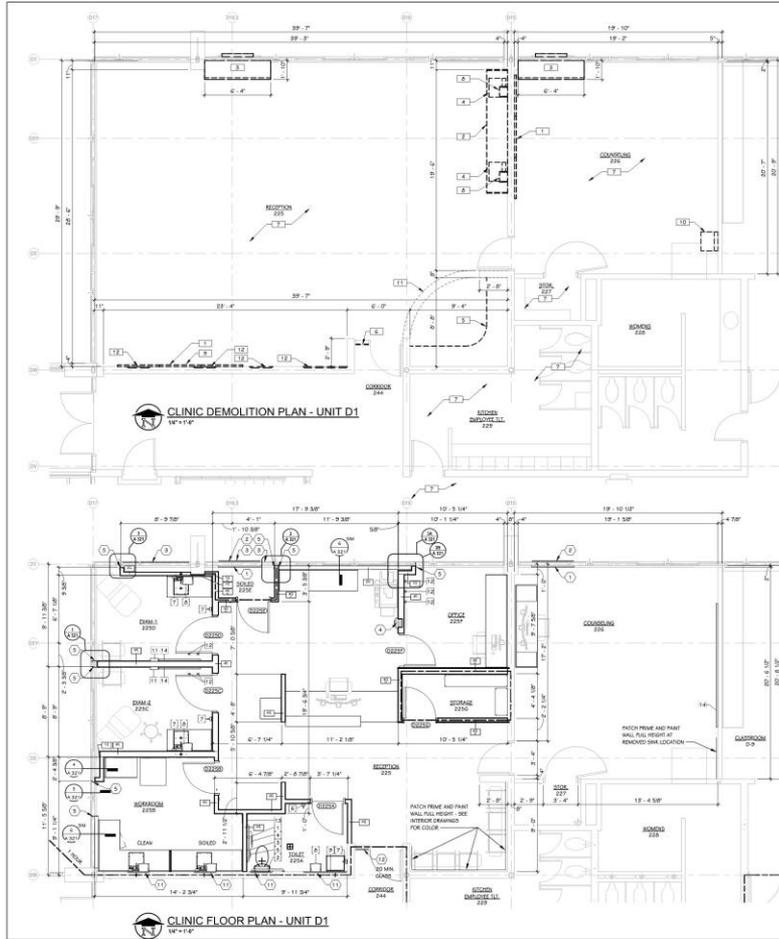
- Caralee Sokolowski
- 269-350-5757
- [csokolowski@skillman.com](mailto:csokolowski@skillman.com)

# SCOPE OF WORK

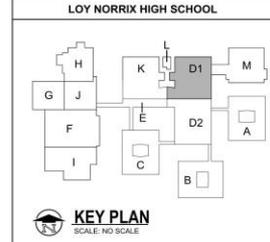
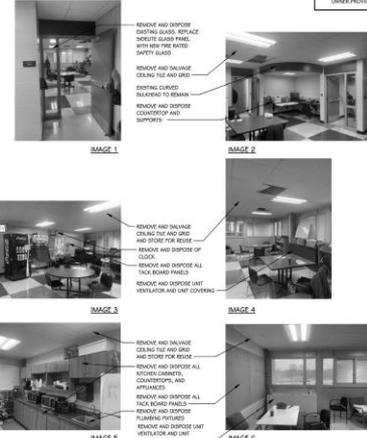


- **Remodeling of 1,711 SF of interior office area into a Health Clinic.**
- **Refer to sheet A101A for demolition and floor plan key notes. New metal stud, insulated, drywall walls/partitions, new casework, new accessories, grab bars, dispensers, markerboards, etc...Ceiling grid and tile assembly is remove and reinstall.**
- **Select roofing removal for (1) new RTU, select plumbing demo and new plumbing work, and select electrical demo and new power and lighting, connecting to existing panels.**
- **Construction work to commence mid-June and be complete by the end of August.**

# FLOOR PLANS / SITE PLANS



| KEYED NOTES - DEMOLITION   | KEYED NOTES - NEW CONSTRUCTION   | KEYED NOTES - ACCESSORIES   |
|--|--|---|
| <ol style="list-style-type: none"> <li>REMOVE ALL DRY BOARD PANELS, PATCH AND PREP SURFACE FOR NEW PANELS. COORDINATE WITH NEW CONSTRUCTION.</li> <li>REMOVE COUNTERTOP AND COUNTERTOP, PATCH AND PREP SURFACE FOR NEW PANELS. COORDINATE WITH NEW CONSTRUCTION.</li> <li>REMOVE ALL UNIT VENTILATOR AND VENTILATOR COVER, PREP FLOOR SURFACE FOR NEW PANELS.</li> <li>REMOVE DMC. SEE ARCH. DRAWINGS FOR MORE INFORMATION.</li> <li>REMOVE EXISTING COUNTERTOP.</li> <li>REMOVE AND DISPOSE EXISTING WEEZ GLASS PANEL FROM EXISTING BEEHIVE FRAME.</li> <li>REMOVE AND SALVAGE ACQUISITION CEILING TIE RODS AND GRID SYSTEM. PATCH AND REPAIR FOR REINTEGRATION. SEE ALSO CEILING PLANS FOR SCOPE.</li> <li>REMOVE AND DISPOSE PANEL TONGUE SUPPORTS.</li> <li>REMOVE AND DISPOSE OF CLOAK.</li> <li>REMOVE DMC. SEE ARCH. DRAWINGS FOR MORE INFORMATION. PATCH AND PREP SURFACE FOR NEW PANELS.</li> <li>REPAIR TO REMAIN. PATCH AND REPAIR. PREP SURFACE FOR NEW FLOOR.</li> <li>REMOVE DRY GYM WALL. FULL HEIGHT FOR PROPOSED BLUMBERG. PREP AND ALLOW FOR KEY-IN OF NEW DRY GYM SHEET.</li> </ol> | <ol style="list-style-type: none"> <li>INSTALL NEW PRIME AND PAINTED WOOD TRIM AT FLOOR TO CEILING SPRING. SEE DETAILS.</li> <li>INSTALL NEW INSULATED METAL PANELS, WHITE UNIT VENT AND REDUCED. UNIT VENTING.</li> <li>INSTALL NEW SPANDREL GLASS.</li> <li>FREE INTERLOCKER CABINET.</li> <li>INSTALL ALUMINUM TRIM WITH GOREX - SEE DETAILS. SHOP OF BRONX WALL COVER.</li> <li>REINSTALL SALVAGED ACQUISITION CEILING SYSTEM.</li> <li>PATCH AND REPAIR BLUMBERG - REFER TO ARCHITECT FOR FLOOR INFORMATION.</li> <li>REPAIR TO REMAIN. CEILING. SEE TYPICAL KEY IN NEW DRY GYM PANELS ON DRAWING A-201 (PART OF D).</li> <li>REMOVE AND REPAIR TO REMAIN. INSULATION, AND DRY GYM NECESSARY FOR KEY INSTALLATION. COORDINATE WITH MEDICAL DIVISION.</li> <li>CONTROL JOINT OF ALUMINUM TRIM AGAINST CEILING EDGE OF CARTRIDGE. LOCATIONS. COLOR TO MATCH EXISTING CARTRIDGE TRIMMING. SHOP OF DESIGN.</li> <li>INSTALLING ARCH.</li> <li>NEW GYM WALL SHEET. FULL HEIGHT FOR PROPOSED BLUMBERG. KEY IN NEW DRY GYM SHEET. ALL SHEET, FRAME AND TRIM. SEE INTERIOR DRAWINGS FOR COLOR.</li> <li>INSTALL FIRE RATED SAFETY GLASS IN SECURE PANEL.</li> </ol> | <ol style="list-style-type: none"> <li>1/2" VERTICAL STAINLESS STEEL GRAB BAR (C)</li> <li>3/4" STAINLESS STEEL GRAB BAR (C)</li> <li>1/2" STAINLESS STEEL GRAB BAR (C)</li> <li>TOLLY PATINA DOORSTOP (C)</li> <li>STAINLESS STEEL FINISH DOORSTOP (C)</li> <li>HAND SHOWER OF (C)</li> <li>SOAK OFF DOORSTOP OF (C)</li> <li>PAPER TOWEL REEL DOORSTOP OF (C)</li> <li>BRASS/STEEL FINISH MIRROR (C)</li> <li>GLASS BOX HOLDER OF (C)</li> <li>16" SQUARE HOLE IN 4" x 4" JAC. AT 8' x 4" VENT. 1/2" (PART OF D)</li> <li>SPECIAL HAND THROUGH OF (C)</li> <li>WATERBOARD OF (C)</li> </ol> |
| <b>NOTES - TOILET ACCESSORY</b> <ol style="list-style-type: none"> <li>CP = COVER PURCHASED, CD = COVER INSTALLED, CP + CD = CONTRACTOR PURCHASED, CD = CONTRACTOR INSTALLED.</li> <li>DIMENSIONS INDICATED ARE TYPICAL UNLESS NOTED OTHERWISE ON PLANS.</li> <li>CONCRETE PLUMBING FINISHED AND SHOW. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR HEIGHTS, TYPICAL MANUFACTURER AND INSTALLATION HEIGHTS.</li> <li>CODE REQUIRED VENTROK SHOWER. INCLUDES MINIMUM REQUIRED DATA TYPES REQUIRED FOR OCCUPANCY AS INDICATED BY IBC, IFC, AND NFPA. COORDINATE WITH MEP OWNER PROVIDED DRAWING.</li> </ol>   |  |   |



**TowerPinkster**  
Architecture - Engineering - Interiors

PROJECT TITLE: **NORRICH HIGH SCHOOL HEALTH SUITE**

OWNER: **KALAMAZOO PUBLIC SCHOOLS**

OWNER: **Kalamazoo, Michigan**

ISSUED FOR: \_\_\_\_\_ DATE: \_\_\_\_\_

SHEET TITLE: **CLINIC DEMOLITION PLAN AND FLOOR PLAN**

DATE: **MARCH 8, 2024**

SHEET NUMBER: **A-101A**

23-612.00

# MULTIPLE CONTRACT SUMMARY



**Review Section 01 12 00 – Multiple Contract Summary.  
Review all Specification Sections that are in your Scope  
of Work.**

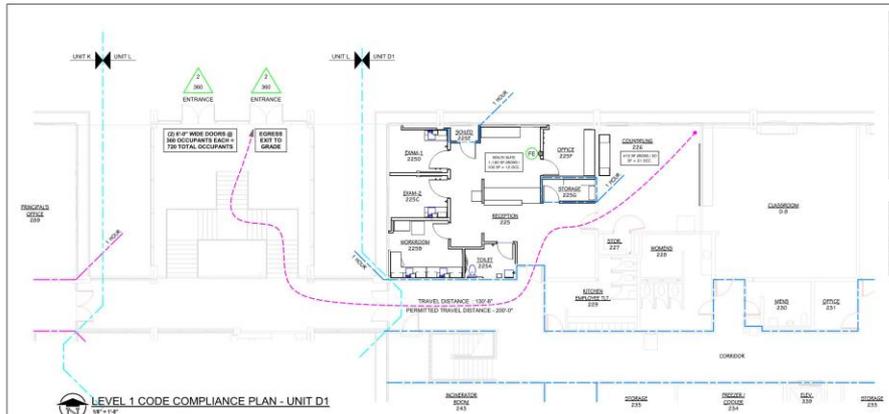
- **1.05 Prime Contractors Use of Premises**
- **1.07 Occupancy Requirements, A. Full Owner Occupancy**
- **1.09 Permits, Fees and Notices**
- **1.10 Labor and Materials. A, B, & C**
- **1.14 Schedules of Contract Responsibilities-Scope**
- **1.16 Time of Commencement and Completion**

# BID CATEGORIES



|                    |                |
|--------------------|----------------|
| BID CATEGORY NO. 1 | General Trades |
| BID CATEGORY NO. 2 | Mechanical     |
| BID CATEGORY NO. 3 | Electrical     |

# SITE LOGISTICS PLAN



LEVEL 1 CODE COMPLIANCE PLAN - UNIT D1

- MFR 101 - 2017 Life Safety Code**
- Section 7.1.3.2.1 Fire detection, alarm, and coverage through, and end enclosure shall be located to detect and alarm protection serving the end enclosure.
  - Section 7.2.1.4.1 Any door or means of egress shall be of the building's approved proof-ringing type.
  - Section 7.2.4.3 The fire-resisting building or area between which there are horizontal exits shall have a 2-hr fire-resistance rating and shall provide a separation enclosure to ground.
  - Table 7.3.1.2 Occupant Load Factors
    - Classrooms - 20/sq ft
  - Section 7.3.3.1 Egress Capacity Calculations
    - All egress - 0.2 persons per square foot
  - Section 7.4.1.2 Maximum Number of Means of Egress
    - 1 to 1000 Occupants - 3 Egress
    - 1001 and above - Minimum 4 Egress
  - Section 7.5.1.3.2 Exit Separation
    - When two exits or exit access doors are required, they shall be placed at a distance from one another equal to least one-half the length of the maximum overall diagonal dimension of the building or area to be served when not separated.
  - Section 14.2.3.2 Exit access corridors in education occupancies shall not be less than 4 feet in width.
  - Section 15.2.2 Means of Egress Components
    - Any required exit door shall be use by 100 or more persons shall be provided for by provided with a width not less than the width or door in place before or the fire feature complying with 7.2.1.2.
  - Section 15.2.3.3 No dead end corridors shall exceed 20 feet.
  - Section 15.2.3.4 Every room or space larger than 1000 sq. ft. or with an occupant load of more than 50 persons shall comply with the following:
    - The door or gate shall have a means of egress access door.
    - The door shall be 15.2.3.4.1) Labeled smoke seals to separate exits.
    - The door required for 15.2.3.4.1) shall be permitted to open into a common corridor, provided that such corridor leads to separate exits located in separate divisions.
  - Section 15.2.3.5 Every room that is normally subject to student occupancy shall have an exit access door leading directly to an exit access corridor or exit, unless otherwise identified by one of the following:
    - The requirement shall not apply when an exit door opens directly to the outside or to an exterior balcony or corridor or enclosure as described in 15.2.3.5.
  - Section 15.2.3.6 Doors that swing into an exit access corridor shall be permitted to prevent interference with corridor travel.
  - Section 15.2.3.6 Corridors shall be separated from other parts by having a minimum 1-hr fire resistance rating provided to Section 8.2 unless otherwise permitted by the following:
    - (1) Corridor protection shall not be required when all egress normally subject to student occupancy have a door.
    - (2) The following shall apply when egress protection is provided for the exterior or an exterior exit enclosure balcony or corridor pursuant to Section 7.3.3.
    - (3) The following shall apply when egress protection is provided for an approved automatic sprinkler system when the egress protection is accomplished with Section 8.1.
    - (4) Corridor walls shall not be required to be rated or protected that such walls have a fire-resistance rating of not less than 1-hr.
    - (5) The provisions of 8.2.3.5 shall not apply to normally occupied classrooms.

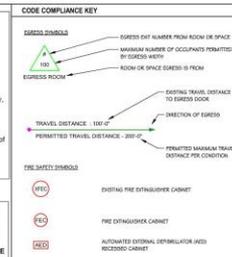
- 2012 Michigan Building Code**
- Construction Type: Type 1B  
 Use Group: I-2  
 Table 503 - Occupancy: Assembly Building (Night)  
 Table 503.2 - Type I-B Construction Group - I-2  
 Permitted: 10' 0" high egress  
 Provision: 15' 0" provided (Sprinkled).
- Table 506.4 - Assembly Building Area  
 Type I-B Construction Group - I-2  
 1,400 Square Feet Allowed (See Allowance)  
 Provision: Limit (omit the address) = 11,896 square feet.
- OCCUPANCY SEPARATION - NONCOMMENTS**  
 Section 1006.4.1 Non-separated occupancies: Minimum area and height... shall be based on the rear restrictive Allowance of the occupancy group under consideration.  
 Section 1006.4.2 Separation: No separation is required between non-separated occupancies. Mark must note restrictive requirements for non-Chapter 4 (High-rise buildings), Chapter 3 (Substantive area & height), and Chapter 8 (Bike production).
- TYPE OF CONSTRUCTION**  
 Table 602.2 Type I-B (State 601) Non-combustible construction, non-protected structural members, supports and roof assembly.
- Table 603 - Minimum Protection  
 603.1.1 One Step C, Stairwell Enclosure  
 603.1.2 Corridor and Exit Enclosure  
 603.1.3 Common  
 603.1.4 Not Required
- FIRE EXTINGUISHERS**  
 Section 906.4.1 Portable Fire Extinguishers shall be provided:  
 906.4.1.1 Where Required - Portable fire extinguishers shall be installed at the following locations:  
 1. In an area having A, B, C, E, K, 1, 1A, R, K-1, R-1, and 1A-1 occupancies.  
 2. Within 30 feet of commercial cooking equipment.  
 3. In areas where flammable or combustible liquids are stored, used or dispensed.  
 4. On each floor of structure under construction.  
 5. Where required by the International Fire Code Sections indicated in Table 906.1.  
 6. Special hazard areas.
- SECTION 8**  
 801.1 - Minimum area for light hazard 11,250 square feet.  
 Minimum allowed = 750 feet.

- 2012 Michigan Building Code**
- FIRE ALARM SYSTEM**  
 Section 907.5.1.1 Group 1  
 A manual fire alarm system that initiates the occupant notification signal using an emergency voice/communication system meeting the requirements of Section 907.5.2.2 and installed in accordance with Section 907.5.1 shall be Group 1 Equipment. When... smoke detectors are installed, such systems or detectors shall be connected to the building fire alarm system.
- OCCUPANT LOAD**  
 Section 1008 Occupant Load: In determining the means of egress requirements, the number of occupants for whom means of egress facilities are provided shall be established by the largest number contained in accordance with Section 1008.1.1 through 1008.1.5.
- Table 1004.1.1 - Maximum Floor Area Allowance per occupant  
 Section 1005 Minimum Required Egress Width. The minimum of egress width shall not be less than required by the section:  
 E Corridor with Sprinkler System at other = 0.2  
 E Corridor with Sprinkler System at other = 0.2  
 Section 1014 Egress through Enclosure System  
 Egress through a door or space shall not pass through adjoining rooms or areas, except where such adjoining rooms or areas and the areas served are accessible to one another... and provide a discernible path of egress travel to an exit.
- MEANS OF EGRESS**  
 1006.2.1 Common Parts of Travel shall not exceed 75 feet.  
 1007.1.1 Where two exits or exit access doors are required from any portion of the exit access, the exit doors or exit access doors shall be placed a distance apart equal to not less than one-half the length of the diagonal of the room or space.  
 1007.1.2 Where access to three or more exits is required, the exit doors or exit access doors shall be arranged in accordance with the provisions of Section 1007.1.1. Additional required exit or exit access doors shall be arranged in a separate entrance area that is not otherwise blocked, the doors will be available.  
 Table 1017.1.2 Exit Access Travel Distance - 2007  
 Table 1020.1.2 Egressway, not sprinkled also requires a 1-hour corner separation.  
 Section 1020.4.1 Door Edge  
 Door shall not be more than 62 inches in length.  
 Section 1026 Minimum Number of Exits  
 Table 1026.2.1 Minimum Number of Exits for Occupant Load less than 1,000 Occupants = 2 Exits Required.

**MICHIGAN REHABILITATION CODE:**  
 Section 503 Alteration - Level 3  
 505.1 Alteration-Level 3  
 Level 3 alterations apply where the work area exceeds 50 percent of the building area.  
 505.2 Application  
 Level 3 alterations shall comply with the provisions of Chapters 7 and 8 for Level 1 and 2 alterations, respectively, as well as the provisions of Chapter 9.

**MICHIGAN REHABILITATION CODE PROJECT SCOPE:**  
 Areas remodeling and improvements exceeds 50 percent of the building area.

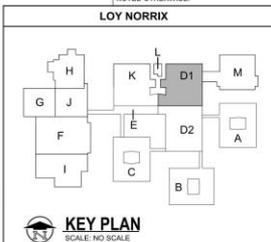
**NOTE:**  
 ALL CORRIDORS ARE ASSUMED TO BE 1 HOUR FIRE RATED.  
 ALL NEW CORRIDOR WALLS, OR CORRIDOR WALLS BEING MODIFIED AS PART OF THIS PROJECT WILL BE BROUGHT UP TO 1 HOUR FIRE RATED WALL STANDARDS UNLESS NOTED OTHERWISE.



**FIRE-RATING KEY**

| DESCRIPTION | RATING          | COUNT |
|-------------|-----------------|-------|
| [Green bar] | 3 HOUR          | 1     |
| [Blue bar]  | 2 HOUR          | 2     |
| [Red bar]   | 1 HOUR          | 3     |
| [White bar] | SMOKE RESISTANT | 4     |

- ALL PENETRATIONS THROUGH A FIRE OR SMOKE RATED PARTITION SHALL BE DETAIL WITH AN APPROVED LISTED PRODUCT.
  - THE TOPS OF ALL FIRE RATED PARTITIONS SHALL BE SEALED TO THE CONTIGUOUS STRUCTURE ABOVE WITH A U.L. RATED SYSTEM OR APPROVED.
  - WHERE REQUIRED IN THE LISTED PARTITIONS SHALL BE NON-COMBUSTIBLE TREATED WOOD.
  - REFER TO SPECIFICATION U.L. RATING INFORMATION.
  - FIRE RATED WALLS PENETRATED BY AN ACCELSOUND CEILING SHALL BE PLUTED FULLED. REFER TO TOP OF WALL DETAIL AT ACCELSOUND CEILING ON THIS SHEET.
  - FOR HARDWARE WALLS THE HARDWARE SHALL BE LISTED AND THE GREY WITH LISTED HARDWARE.
  - FOR GLASS WALLS USE FIRE SAFETY GLASS PANELS.
- NOTE:**  
 ALL CORRIDORS ARE ASSUMED TO BE 1 HOUR FIRE RATED.  
 ALL NEW CORRIDOR WALLS, OR CORRIDOR WALLS BEING MODIFIED AS PART OF THIS PROJECT WILL BE BROUGHT UP TO 1 HOUR FIRE RATED WALL STANDARDS UNLESS NOTED OTHERWISE.



**THIS DRAWING SHEET IS INTENDED TO BE PLOTTED IN COLOR. IF THIS TEXT APPEARS IN BLACK AND WHITE, IT IS PLOTTED INCORRECTLY. DISCARD AND OBTAIN AN ACCURATE DRAWING**

**TowerPinkster**  
 Architecture - Engineering - Interiors  
 PROJECT TITLE: LOY NORRIX HIGH SCHOOL HEALTH SUITE  
 OWNER: KALAMAZOO PUBLIC SCHOOLS  
 Kalamazoo, Michigan  
 DATE: MARCH 8, 2024  
 SHEET NUMBER: G 101D1  
 23-412.00



## **REQUIRED FOR EVERY CONTRACTOR**

- **No subscription is required**
- **Current set of documents**
- **Issues tracking**
  - Safety
  - QA/QC
  - Noncompliance
  - Work Completion List
  - Punch List
- **As-built record drawings**

# ANTICIPATED CHALLENGES



- **CM will procure required Building Permit, any other permits are by Contractors.**
- **Field verifications of existing conditions.**
- **Expedite any required submittals, and release material for timely delivery and installation.**
- **Select Arch., Plumbing, Mechanical & Electrical demolition**
- **Protection to existing finishes**
- **Safety**
- **Complete all construction work by the end of August and close out project by end of September, 2024.**

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# AREAS OF COORDINATION

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- **Ceiling grid and tile removal.**
- **Interior wall layout.**
- **Plumbing disconnects and tie-in to existing system.**
- **Roofing and deck removal for RTU-1D.**
- **Mechanical ductwork runs and connections.**

# ALTERNATES



**Review Section 01 23 00 for Alternates that may alter your Scope of Work.**

- **No Alternates, at this time.**

# ALLOWANCES



Review Section 01 21 00 for Allowances that apply to your Scope of Work.

**Bid Category 01 General Trades: \$5,000.00**

**Bid Category 02 Mechanical: \$5,000.00**

**Bid Category 03 Electrical: \$5,000.00**

**Include Allowance amounts in your Base Bid**

# INSTRUCTIONS TO BIDDERS



**Review Section 00 10 00 for Instructions to Bidders.**

- **1.02 Bidders Examination & Representation**
- **1.10 Bidding Procedures, (R.) Sales Tax (include in bid)**
- **1.15 Determination of Lowest Responsible & Responsive Bid**
- **1.17 Execution of The Contract**
- **1.19 Wage Rates-NOT APPLICABLE.**

# RFI PROCESS



Each Bidder is encouraged to contact the Architect and Construction Manager if problems occur or questions arise in analyzing the Drawings and Specifications, where additional clarification or information would be helpful in the preparation of a proper bid.

Submit all questions in writing to: Max Tackett  
[mtackett@skillman.com](mailto:mtackett@skillman.com)

All RFIs must be received before: **April 11, 2024, by 4:00pm**

# SUBSTITUTION REQUESTS



Prior to receipt of bids, the Architect will consider proposals for substitution of materials, equipment, and methods only when such proposals are submitted in writing within the time period stated before the date and time set for receipt bids, and are accompanied by full and complete technical data and other information required by the Architect to evaluate the proposed substitution.

Request for product approval shall be submitted on the Substitution Request Form and sent to: Mike Galovan

[mgalovan@towerpinkster.com](mailto:mgalovan@towerpinkster.com)

# CONSTRUCTION TIMELINE



**Review Section 01 32 00 – Schedules & Reports.**

**Anticipated Construction Start Date: June 17, 2024**

**Anticipated Construction**

**Completion Date: August 30, 2024**

# BID TO AWARD TIMELINE



- Bid Tab posted: **April 19, 2024**
- Pre-Award Conferences: **April 22 ... April 24, 2024**
- Notice To Proceed: **May 10, 2024**

**All Subcontractor & Products Lists**

**must be submitted by: Within 48 hours of bid opening**

# BID FORM



**Review and fully complete the Bid Form 00 31 00**

**Complete all alternates on the Bid Form that may affect your Scope of Work.**

# BIDDERS' REMINDER LIST



|  | YES | NO |
|--|-----|----|
| Have you properly and completely executed the <b>Bid Form</b> (Section 00 31 00)?  |     |    |
| Is the <b>Bid Total</b> written in both words and figures?   |     |    |
| Are the <b>Alternate</b> quantities in both words and figures and noted as <b>Add or Deduct</b> ?  |     |    |
| Is the <b>Non-Collusion Affidavit</b> , part of the Bid Form, signed, & notarized?   |     |    |
| Is the <b>Familial Disclosure Affidavit</b> , part of the Bid Form, signed and notarized?  |     |    |
| Is the <b>Iran Sanctions Act Certificate of Compliance</b> , part of the Bid Form, signed and notarized?   |     |    |
| Have you enclosed a certified check or <b>Bid Bond</b> ? (Note: bond must be signed by Surety and Principal)   |     |    |
| Have you included your company's <b>Financial Statement</b> ?  |     |    |
| <p>On the outside of the envelope containing your Bid have you indicated:</p> <ul style="list-style-type: none"> <li><b>The Project Name</b></li> <li><b>Bidder's Name</b></li> <li><b>Bid Category No.</b></li> <li><b>Date and Time of Bid Opening</b></li> <li><b>Owner's Address</b></li> <li>Address to Where Bid is to be Delivered if different from Owner's Address</li> </ul> |     |    |

**IF ANY OF THE REQUIRED BIDDING DOCUMENTS ARE NOT INCLUDED, DATED, OR PROPERLY EXECUTED, THE CONTRACTOR'S BID MAY NOT BE ACCEPTED.**

# CONSTRUCTION DOCUMENTS



**Construction Documents are available at:**  
[www.skillmanplanroom.com](http://www.skillmanplanroom.com)

**Bidding Contractors are required to pay for printed Documents. The electronic files are available at no cost.**

# PRE-AWARD INTERVIEWS



- **Date & Time TBD**
- **Bid Cat 01: General Trades**
  
- **Date & Time TBD**
- **Bid Cat 02: Mechanical**
  
- **Date & Time TBD**
- **Bid Cat 03: Electrical**

# BID OPENING

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**Date: April 18, 2024**

**Time: 2:00 PM**

**Location: Kalamazoo Public School Facilities Office  
600 West Vine Street  
Kalamazoo, MI 49008**



# LOY NORRIX HIGH SCHOOL HEALTH SUITE

## KALAMAZOO PUBLIC SCHOOLS

### Kalamazoo, Michigan

### CONSTRUCTION DOCUMENTS

**TowerPinkster**  
Architecture · Engineering · Interiors

#### DESIGN TEAM

##### ARCHITECT/ENGINEER

**TowerPinkster**  
Architecture · Engineering · Interiors

242 E KALAMAZOO AVE, SUITE 200  
KALAMAZOO, MICHIGAN 49007  
PHONE: 269.343.6133  
FAX: 269.343.6633

#### REFERENCE CODES

BUILDING: 2015 MICHIGAN BUILDING CODE AND 2012 NFPA 101 LIFE SAFETY CODE  
BUILDING: 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS  
ENERGY: 2015 MICHIGAN ENERGY CODE  
PLUMBING: 2021 MICHIGAN PLUMBING CODE  
MECHANICAL: 2021 MICHIGAN MECHANICAL CODE  
FUEL GAS: (IFGC) 2015 INTERNATIONAL FUEL GAS CODE  
ELECTRICAL: 2023 NATIONAL ELECTRICAL CODE WITH MICHIGAN AMENDMENTS  
BARBIEER-FREE: 2015 MICHIGAN BUILDING CODE AND 2009 ICC & C A117.1  
USE GROUP: E  
CONSTRUCTION TYPE: 2B  
AUTOMATIC SPRINKLERS: PARTIALLY SPRINKLED

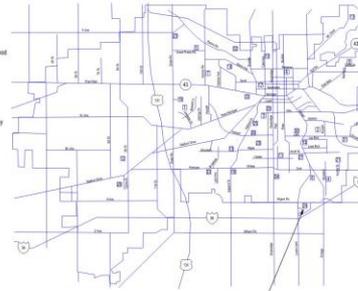
#### PROJECT AREA

EXISTING LOWER FLOOR: 190,676 SQ. FT.  
EXISTING 1ST FLOOR: 217,760 SQ. FT.  
TOTAL SQ. FT.: 368,436 SQ. FT.

RENOVATION AREA SUMMARY:  
TOTAL RENOVATION SF. FT.: 1,711 SQ. FT.  
TOTAL UNMODIFIED BUILDING AREA: 366,725 SQ. FT.  
TOTAL SQ. FT.: 368,436 SQ. FT.

#### DISTRICT MAP

- Elementary Schools
- 1. Anolis
- 2. Eden Environmental Science Academy
- 3. El Sol
- 4. Openroad
- 5. Indian Prairie
- 6. Lincoln International Studies School
- 7. High/Lower King in Westwood
- 8. Mikoyan
- 9. Northcreek
- 10. Northgate Montessori Magnet School
- 11. Parkview-Uptown for Education
- 12. Spring Valley Center for Education
- 13. Washington-Wyand Academy
- 14. Woods Lake - A Magnet Center for the Arts
- 15. Woodward School for Technology and Research
- Middle Schools
- 16. Willow
- 17. Linden Drive
- 18. Stone Street Magnet School for Fine Arts
- 19. Woodward Magnet School A Center for Math, Science, and Technology
- 20. Cleveland Alternative Learning Program
- High Schools
- 21. Kalamazoo Central
- 22. Lay Haven
- 23. Phoenix
- Facilities and Programs
- 24. Administration Building
- 25. Acad Street Business Center
- 26. China
- 27. Community Education Center
- 28. Lake Street Barn
- 29. Lakeside
- 30. Transportation
- 31. Westside School
- 32. South Westridge School



LOY NORRIX HIGH SCHOOL  
405 EAST SIBLEY ROAD  
KALAMAZOO, MI 49001



KALAMAZOO PUBLIC SCHOOLS DISTRICT MAP  
SCALE: NONE

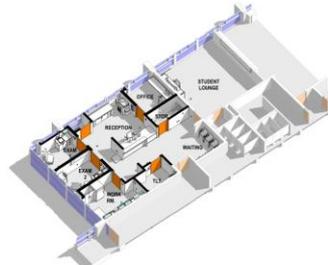
#### CONSTRUCTION MANAGER



8120 MOORSBRIDGE RD  
KALAMAZOO, MICHIGAN 49024  
PHONE: 269.656.3757

#### SITE ADDRESS

KALAMAZOO PUBLIC SCHOOLS  
LOY NORRIX HIGH SCHOOL  
405 EAST SIBLEY ROAD  
KALAMAZOO, MI 49001



HEALTH SUITE - 3D VIEW

ISSUED FOR \_\_\_\_\_ DATE \_\_\_\_\_

PROJECT TITLE  
LOY NORRIX HIGH SCHOOL HEALTH SUITE

OWNER  
KALAMAZOO PUBLIC SCHOOLS

Kalamazoo, Michigan

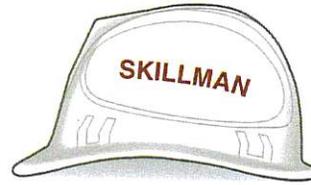
DATE  
MARCH 8, 2024

SHEET TITLE  
COVER SHEET

SHEET NUMBER  
G 001  
23-012.00

**TowerPinkster**  
Architecture · Engineering · Interiors

KPS Loy Norrix High School  
Health Suite



DATE: April 2, 2024

TSC PROJECT NO.: 218020.42

## PRE-BID MEETING SIGN-IN SHEET

| COMPANY REPRESENTED      | ATTENDEE NAME  | EMAIL ADDRESS                      | PHONE NUMBER |
|--------------------------|----------------|------------------------------------|--------------|
| KALAMAZOO PUBLIC SCHOOLS | Karen Jackson  | _____                              | _____        |
| KALAMAZOO PUBLIC SCHOOLS |                |                                    |              |
| THE SKILLMAN CORPORATION | Mike Kounelis  | mjkounelis@skillman.com            | 269-207-3049 |
| THE SKILLMAN CORPORATION | Will Karnes    | wkarnes@skillman.com               | 269-908-9684 |
| TOWERPINKSTER            |                |                                    |              |
| TOWERPINKSTER            |                |                                    |              |
| Jergens Piping           | Brian Lemmer   | brianlemmer@jergenspiping.com      | 269-506-0807 |
| Circuit Electric         | Andrew Clemens | Andrew.Clemens@circuitelectric.com | 269-366-9131 |

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