

**ADDENDUM  
NO. 3**

**February 21, 2025**

**TRI-COUNTY SCHOOL CORPORATION – JR-SR HIGH SCHOOL  
ADDITION AND RENOVATIONS  
Wolcott, IN 47995**

**TO: ALL BIDDERS OF RECORD**

This Addendum forms a part of and modifies the Bidding Requirements, Contract Forms, Contract Conditions, the Specifications, and the Drawings dated December 20, 2024, by Gibraltar Design. Acknowledge receipt of the Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of Page ADD 3-1, and attached Addendum No. 3 from Gibraltar Design dated February 21, 2025, consisting of 2 pages, and 4 drawings.

## ADDENDUM THREE

**Addendum Three (AD.03)** to the drawings and specifications prepared by Gibraltar Design for **Tri-County Jr/Sr High School Additions and Renovations** for Tri-County School Corporation, Wolcott, Indiana.

All Contractors bidding on this project shall read all of the items covered below and shall comply with all of the requirements as set forth, including any necessary refinements or additions generated by this Addendum and required by the intent of the original contract documents. All Contractors shall acknowledge on their bid form that they have received this Addendum, Addendum One and Addendum Two, and include the appropriate content of same within their bid proposal.

### SPECIFICATIONS

**1. Specification Section 08 36 13                      Overhead Sectional Doors**

A. Add new Paragraph 2.1.D to read as follows:

D. Clopay Corporation, Mason, Ohio: Insulated Flush Steel; Clopay Model 3722

**2. Specification Section 09 91 00                      Painting**

Add new Paragraph 3.13.H to read as follows:

H.

Electrostatic Paint Finish – Existing Locker Room Lockers; Existing Metal Enclosures	
	Clean and sand existing surfaces to be finished. Apply two component epoxy coating using Ransburg electrostatic catalyzed process, installed in strict accordance with the manufacturer's specifications. Do not refinish the interior surfaces of lockers.
S-W	Pro Industrial High-Performance Epoxy, B67W00200/B67V00200 Series.

**3. Specification Section 10 26 00                      Wall Protection**

A. Revise Paragraph 2.3 Corner Guards as follows:

A. Surface-Mounted, Vinyl Corner Guards: Assembly consisting of Factory Applied tape; fabricated with 90-degree turn to match wall condition.

1. Cover: One-piece Vinyl, chemical and stain-resistant unplasticized polyvinyl chloride (uPVC), minimum 0.080-inch wall thickness.

- a. Profile: Nominal 1 1/2-inch-long leg.
- b. Height: Full height, 4 inches above finish floor to ceiling.
- c. Color:

- A. CG1 As selected by Architect from manufacturer's full range of choices.
- B. CG2 As selected by Architect from manufacturer's full range of choices.

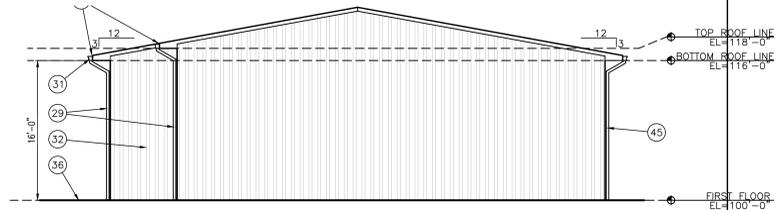
2. Attachment: Factory Applied double faced foam tape.

## **DRAWINGS**

**Refer to Revised Full-Size Drawings included in this Addendum for revisions (unless noted that no drawing is attached).**

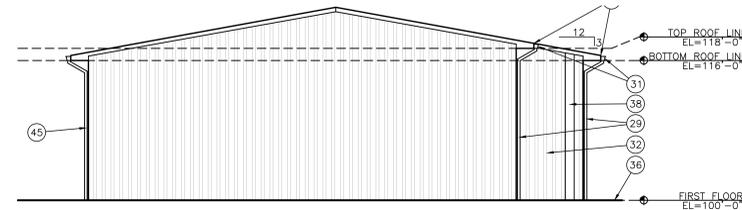
1. **Sheet AD101-103 (Drawings not attached)**
  - A. Remove notes 15, 16, 18, and 27 from the scope of work.
2. **Sheet A-104**
  - A. Add additional section cuts to floor plan and North Elevation.
3. **Sheet A-201**
  - A. Add roof type "C" and replace roof type "A" to "C" for select locations on roof plan.
4. **Sheet A-401 (Drawing not attached)**
  - A. Add note on section 2, 3, and 4 "New roof membrane, refer to roof plan."
5. **Sheet A-402**
  - A. Add sections 4 and 5 and reorganize sheet.
6. **Sheet A-403**
  - A. Revise section 1 to increase the roof eave height to match elevations.
7. **Sheet A-801-803 (Drawings not attached)**
  - A. Remove notes 8 and 9 from the scope of work.
8. **Sheet E-701 (Drawing not attached)**
  - A. Delete (Alternate Bid) from Plan Note 3. This work is Base Bid.

Pages 1 through 2, inclusive, and Three (3) Full-Size Drawings, constitute the total makeup of **Addendum Three**.



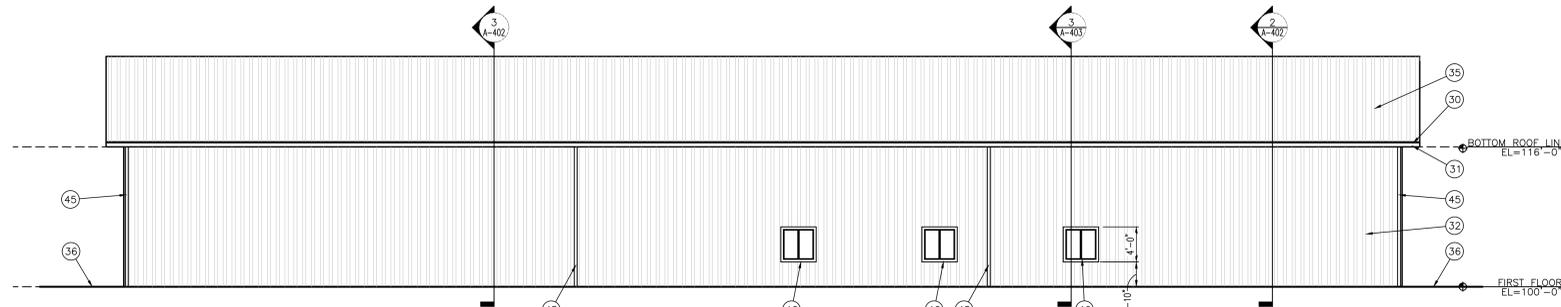
**WEST ELEVATION**

SCALE: 1/8" = 1'-0"



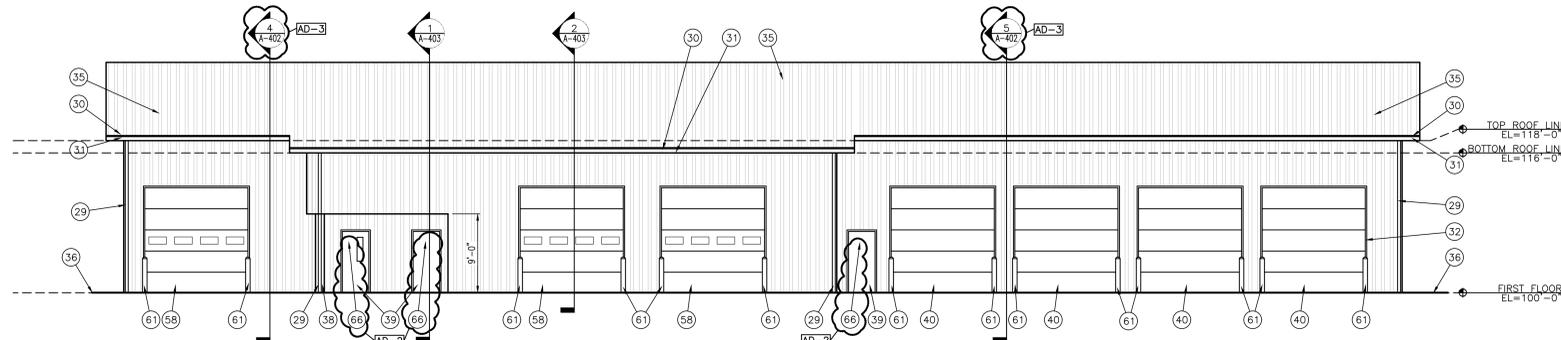
**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

**GENERAL RESTROOM PLAN NOTES:**

- A. FOR GENERAL NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC. SEE SHEET G101.
- B. DEPTH OF ALL TOILET ENCLOSURES SHALL BE A MINIMUM OF 5'-0" CLEAR INSIDE DIMENSION UNLESS NOTED OTHERWISE.
- C. REFER TO PLUMBING DRAWINGS FOR FIXTURE TYPES.
- D. REFER TO PLUMBING DRAWINGS FOR FLOOR DRAIN LOCATIONS.
- E. COORDINATE HEIGHT OF GRAB BAR WITH TANK OF FLOOR MOUNTED WATER CLOSET OR FLUSH VALVE OF WALL MOUNTED WATER CLOSET.
- F. INSTALL LAVATORIES AND URINALS AT 2'-6" ON CENTER MINIMUM UNLESS NOTED OTHERWISE.
- G. FOR PARTITION TYPES REFER TO SHEET G-301.
- H. FOR ACCESSIBLE MOUNTING HEIGHTS REFER TO SHEET G-301.

**GENERAL PLAN NOTES:**

- A. FOR GENERAL PROJECT NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC., REFER TO G SERIES SHEETS.
- B. PLAN DIMENSIONS TO MASONRY WALLS ARE TO FACE OF ROUGH MASONRY. PLAN DIMENSIONS TO STUD WALLS ARE TO FACE OF FINISHED GYPSUM BOARD OR PLASTER. PLAN DIMENSIONS TO STUD WALLS WITH CERAMIC TILE FINISH ARE TO THE FACE OF TILE BACKER BOARD.
- C. ALL CMU WALLS THAT DO NOT LAY OUT IN FULL OR HALF LENGTHS SHOULD BE BALANCED SO AS NOT TO HAVE ANY PIECES LESS THAN 4" IN SIZE EXPOSED TO VIEW.
- D. MASONRY WALLS BEARING ON A THICKENED SLAB AT SLAB DEPRESSIONS REQUIRE CUT MASONRY UNITS SO THAT COURSING BEGINS AT THE FLOOR LINE.
- E. THE BASE FIRST FLOOR ELEVATION INDICATED FOR THE PROJECT IS 100'-0". REFER TO SITE PLAN FOR CORRELATION TO USGS DATUM.
- F. HINGE SIDE OF DOOR JAMB AT CMU WALLS SHALL BE LOCATED 8" MINIMUM FROM ADJACENT WALL AND HINGE SIDE OF DOOR JAMB AT GYPSUM BOARD WALLS SHALL BE LOCATED 4" MINIMUM FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- G. PROVIDE WOOD BLOCKING (OR METAL STRAPPING WHERE APPLICABLE) AS REQUIRED WITHIN METAL STUD WALLS FOR WALL MOUNTED ITEMS.
- H. REFER TO LIFE SAFETY PLANS REGARDING FIRE RATED WALL LOCATIONS AND OTHER CODE INFORMATION.
- I. INTERIOR CMU WALLS ARE TO BE RUNNING BOND UNLESS NOTED OTHERWISE.
- J. ALL EXPOSED CONCRETE MASONRY UNITS (CMU) CORNERS ARE TO BE BULLHOUSED, EXCEPT AT MASONRY BULKHEADS AND EXTERIOR WINDOW JAMBS.
- K. WHERE NEW CMU WALLS INTERSECT EXISTING CMU WALLS AT A CORNER OR ARE ALIGNED WITH EXISTING CMU WALLS, TOOTH NEW CMU INTO EXISTING CMU UNLESS NOTED OTHERWISE.
- L. REFER TO DEMOLITION SHEETS FOR ADDITIONAL PATCHING AND REPAIR WORK.
- M. REFER TO FINISH PLANS FOR INTERIOR ELEVATIONS, LOCATION AND EXTENT OF FINISHED FLOOR AND WALL MATERIAL.
- N. REFER TO EQUIPMENT PLANS FOR CASEWORK, DISPLAY BOARDS, LOCKERS, AND OTHER ADDITIONAL TYPICAL EQUIPMENT NOTES AND INFORMATION.
- O. REFER TO EQUIPMENT PLANS FOR REFERENCE TO ENLARGED TOILET ROOM PLANS AND TOILET ACCESSORIES.

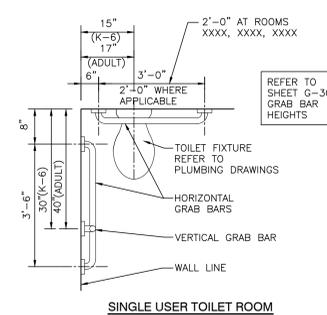
**PLAN LEGEND:**

- ◻ INDICATES WINDOW SYSTEM. REFER TO A-600 SERIES DRAWINGS FOR ELEVATIONS AND DETAILS.
- ◻ INDICATES DOOR, STOREFRONT, OR CURTAIN WALL SYSTEM. REFER TO A-600 SERIES DRAWINGS FOR ELEVATIONS AND DETAILS.
- ◻ INDICATES WALL TYPES REFER TO G-201 FOR WALL THICKNESS, HEIGHT, AND COMPOSITION.

**PLAN NOTES:**

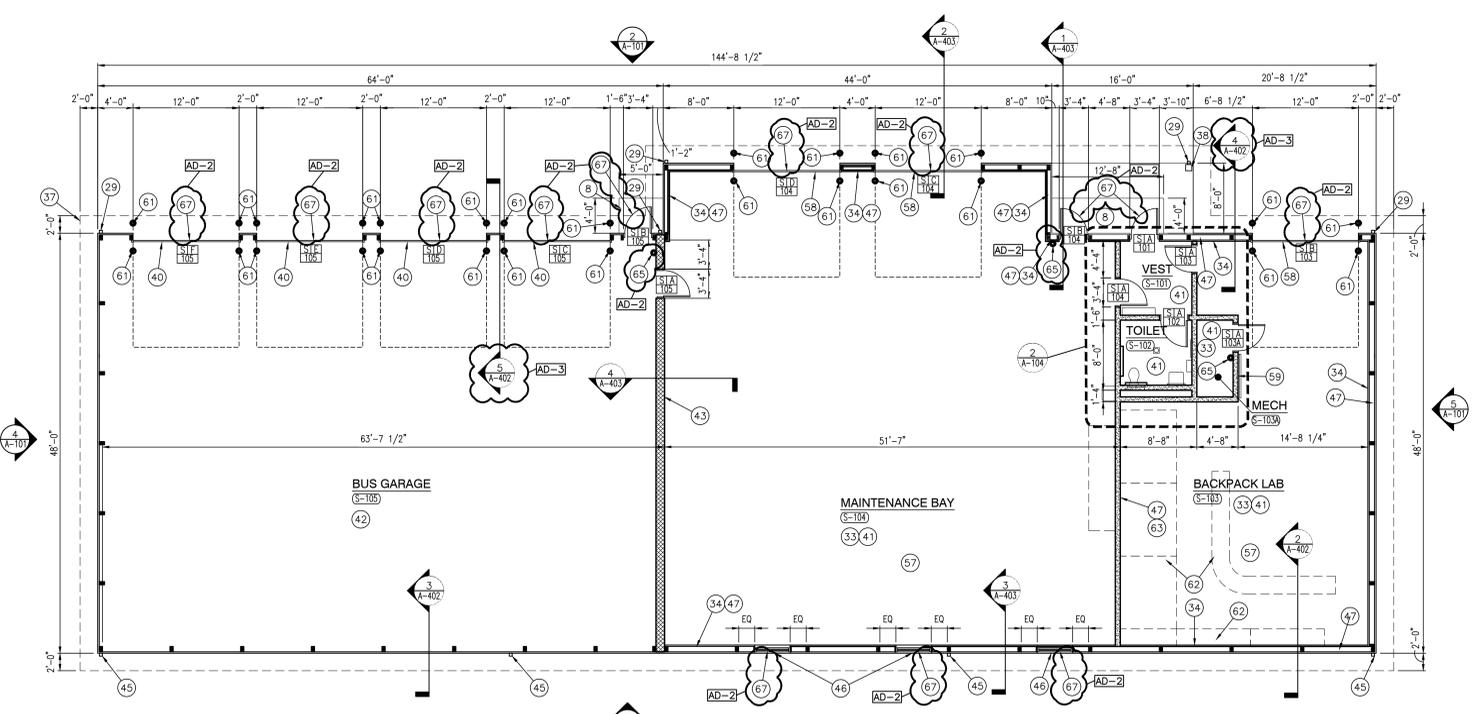
(ALL PLAN NOTES MAY NOT BE INDICATED ON THIS SHEET.)

- 1 NEW ALUMINUM STOREFRONT
- 2 DASHED LINE INDICATES TYPICAL BULKHEAD, REFER TO SECTIONS AND REFLECTED CEILING PLANS. (ALL BULKHEADS MAY NOT BE INDICATED ON THIS PLAN)
- 3 CASEWORK AND/OR MILLWORK (TYPICAL), REFER TO EQUIPMENT PLANS.
- 4 DISPLAY/TV MONITOR (TYP), REFER TO EQUIPMENT PLANS.
- 5 PUSH PAD FOR ADA OPERATOR, REFER TO ELECTRICAL DRAWINGS.
- 6 CARD/FOB READER, REFER TO ELECTRICAL/TECHNOLOGY DRAWINGS.
- 7 SALVAGED AI DEVICE, REFER TO ELECTRICAL/TECHNOLOGY DRAWINGS.
- 8 CONCRETE STOOP/ VOID SLAB. REFER TO STRUCTURAL.
- 9 CHAIN LINK FENCE, REFER TO CIVIL DRAWINGS.
- 10 CABINET HEATER, REFER TO MECHANICAL DRAWINGS.
- 11 FLOOR DRAIN, REFER TO PLUMBING DRAWING.
- 12 WHERE CONNECTING CMU WALL HAS BEEN REMOVED, PATCH WALL TO MATCH EXISTING ADJACENT WALL SURFACES (TYPICAL).
- 13 PROVIDE NEW CONCRETE SIDEWALK. COORDINATE WITH CIVIL.
- 14 WHERE CONNECTING GYPSUM WALL HAS BEEN REMOVED, PATCH WALL TO MATCH EXISTING ADJACENT WALL SURFACES (TYPICAL).
- 15 NEW CONCRETE SLAB. REFER TO CIVIL DRAWINGS.
- 16 PATCH CONCRETE SLAB WHERE WALLS WERE REMOVED.
- 17 CLEAN AND THEN PAINT EXPOSED STRUCTURE CEILING IN ITS ENTIRETY.
- 18 BASE BID: PAINT EXISTING LOCKERS
- 19 ALTERNATE: NEW METAL LOCKERS
- 20 TOOTH IN NEW MASONRY INTO EXISTING AS REQUIRED TO MATCH EXISTING MASONRY SIZE AND LAYOUT.
- 21 PATCH END OF WALL AND PREP FOR NEW FINISH.
- 22 TELE/POWER POLE. REFER TO ELECTRICAL
- 23 NEW OVERHEAD DOOR, FRAME AND HARDWARE, REFER TO A-601
- 24 NOT USED
- 25 INFILL EXIST MASONRY, MATCH EXISTING CMU SIZE AND LAYOUT
- 26 WALL MOUNTED SHOWER HEAD. REFER TO PLUMBING.
- 27 INFILL WALL OPENING WITH CMU, SKIM COAT CMU FOR SMOOTH LEVEL FINISH MATCHING EXISTING ADJACENT WALLS. PREP TO RECEIVE NEW FINISHES.
- 28 NEW WOOD BENCH
- 29 NEW FENCE WITH 6' SLIDING GATE. REFER TO SPECIFICATIONS
- 30 ALUMINUM FASCIA
- 31 ALUMINUM GUTTER
- 32 METAL PANEL SIDING BY BUILDING MANUFACTURER
- 33 METAL PANEL CEILING BY BUILDING MANUFACTURER ATTACHED TO BOTTOM OF TRUSSES
- 34 METAL PANEL INTERIOR WALLS BY BUILDING MANUFACTURER
- 35 METAL PANEL ROOF BY BUILDING MANUFACTURER
- 36 LINE FOR GRADE
- 37 LINE FOR SHED ROOF ABOVE
- 38 COLUMN BY PRE-ENGINEERED BUILDING MANUFACTURER
- 39 7'H ALUMINUM DOOR WITH ALUMINUM FRAME
- 40 12'x12' OVERHEAD DOOR
- 41 4" CONCRETE SLAB. REFER TO STRUCTURAL
- 42 GRAVEL STONE - REFER TO SPECIFICATIONS.
- 43 3 HOUR RATED 12" CMU WALL CONSTRUCTION.
- 44 NEW SINK AND FAUCET. REFER TO PLUMBING DRAWINGS
- 45 ALUMINUM DOWNSPOUT DISCHARGED ON GROUND
- 46 SLIDING WINDOW BY BUILDING MANUFACTURER
- 47 R-19 BATT INSULATION IN WALL
- 48 2'-0"W X 5'-0"H MIRROR BOTTOM MOUNTED AT 1'-4" AFF
- 49 ACCESSIBLE FACILITIES.
- 50 ACCESSIBLE FIXTURE (LAVATORY/URNAL), REFER TO PLUMBING DRAWINGS.
- 51 TOILET PAPER HOLDER. (OFCI)
- 52 SOAP DISPENSER. (OFCI)
- 53 PAPER TOWEL DISPENSER. (OFCI)
- 54 24"x24" ACCESS PANEL. MOUNT TOP OF PANEL AT 5'-4" A.F.F. COORDINATE LOCATION W/ SENSOR HEIGHT.
- 55 1'-6" W X 3'-0" H MIRROR WITH BOTTOM OF REFLECTIVE SURFACE MOUNTED AT 40" A.F.F.
- 56 FLOOR DRAIN. REFER TO PLUMBING DRAWINGS.
- 57 R-38 INSULATION IN ATTIC.
- 58 12'x12' OVERHEAD DOOR WITH WINDOWS
- 59 4" HIGH X 6" WIDE MARKER BOARD, REFER TO MOUNTING HEIGHT DRAWING.
- 60 ALIGN END OF WALL TO EDGE OF LOCKERS
- 61 PIPE BOLLARD.
- 62 OWNER PROVIDED EQUIPMENT.
- 63 WALL TO BE 2X6 WOOD CONSTRUCTION 16" OC WITH 5/8" ABUSE RESISTANT GYPSUM BOARD (PAINTED W/1). WALL TO EXTEND TO BOTTOM OF WOOD TRUSSES. GYPSUM BOARD NOT REQUIRED ON INSIDE FACE OF PLUMBING CHASSES.
- 64 NEW METAL STAIR CONNECTED TO EXISTING CONCRETE LANDING.
- 65 WALL MOUNTED FIRE EXTINGUISHER.
- 66 VINYL DOOR NUMBER REFER TO SPECIFICATIONS AND COORDINATE NUMBER AND LOCATION WITH OWNER.
- 67 DOOR, OVERHEAD DOOR, AND WINDOW OPENINGS TO BE WRAPPED WITH METAL TRIM MATCHING METAL PANEL COLOR.



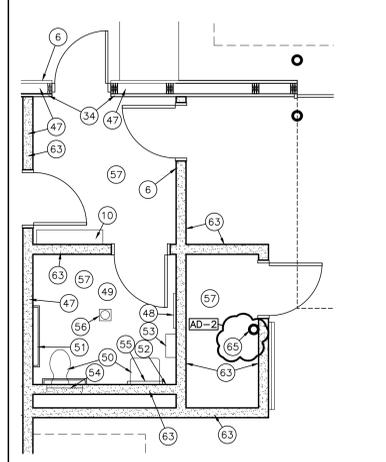
**ACCESSIBLE FACILITIES**

SCALE: 1/4" = 1'-0"



**MAINTENANCE GARAGE ARCHITECTURAL FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"

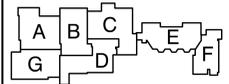


**MAINTENANCE GARAGE ENLARGED RR PLAN**

SCALE: 1/4" = 1'-0"



**PROJECT**  
**TRI-COUNTY JR-SR HIGH SCHOOL - ADDITIONS AND RENOVATIONS**  
 TRI-COUNTY SCHOOL CORPORATION  
 WOLCOTT, INDIANA



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**PROJECT**  
 24-120  
 DATE  
 12/20/24  
 COORDINATED BY  
 JPB DTB  
 DRAWN BY  
 DTS  
 CHECKED BY  
 DTB

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REVISIONS	MARK	DATE	ISSUED FOR
AD-2	02/13/25	ADDENDUM NO. 2	
AD-3	02/21/25	ADDENDUM NO. 3	

MARK	DATE	ISSUED FOR
AD-2	02/13/25	ADDENDUM NO. 2
AD-3	02/21/25	ADDENDUM NO. 3

**DRAWING**  
**MAINTENANCE GARAGE FLOOR PLAN**

**PROJECT**  
 TRI-COUNTY JR-SR HS  
 ADDITIONS & RENOVATIONS

**DRAWING**  
**S A-104**

Friday, 2/21/2025 1:38 PM - LAST SAVED BY: BURNS  
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 ADDITION AND RENOVATIONS\24-120 DRAWINGS\05  
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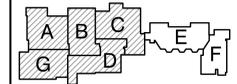
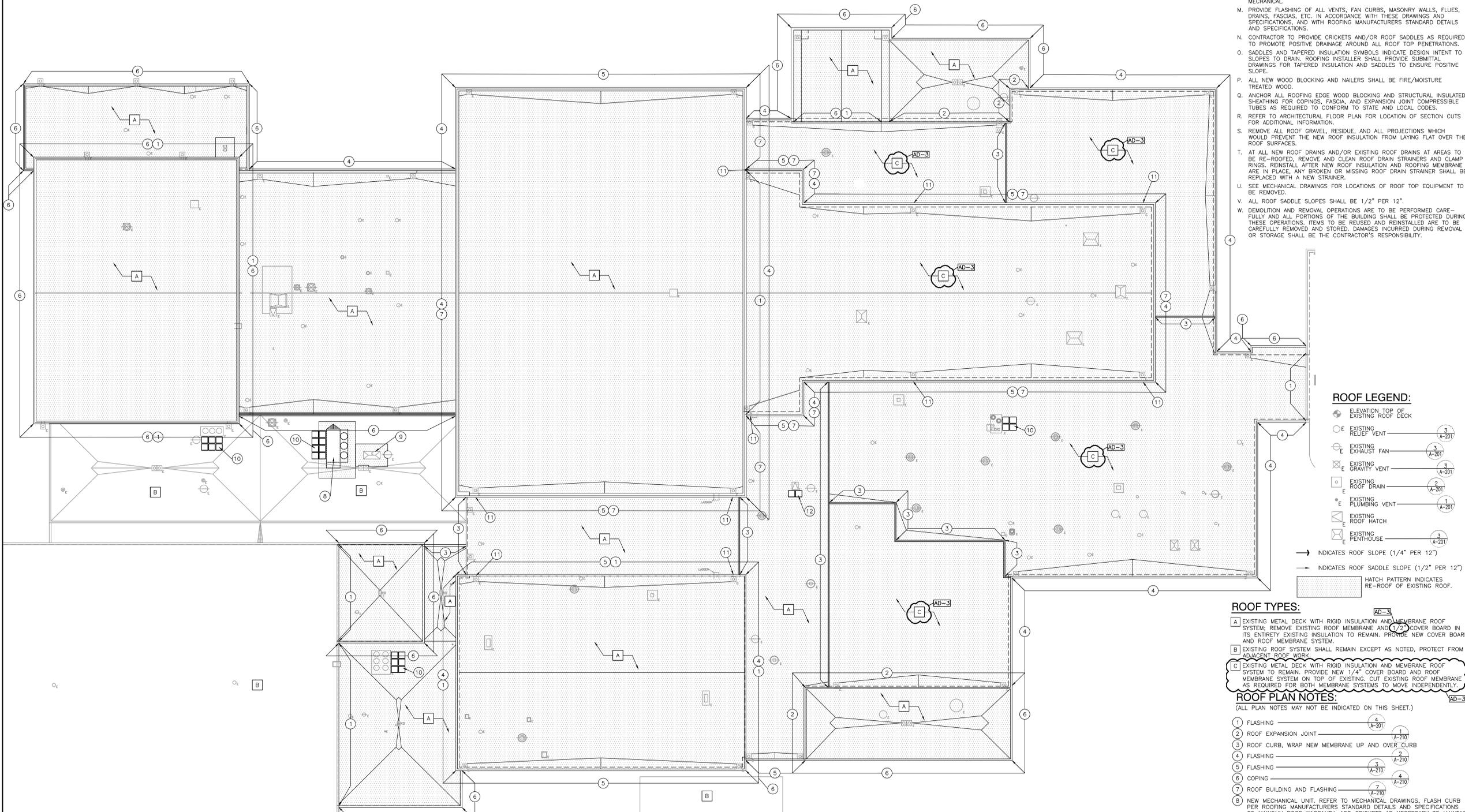
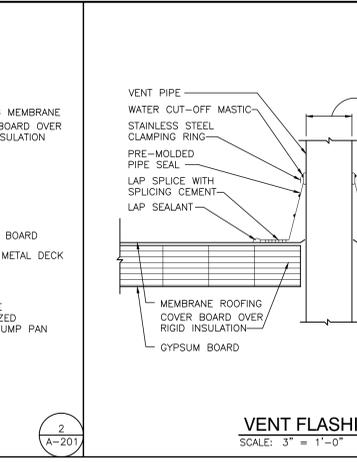
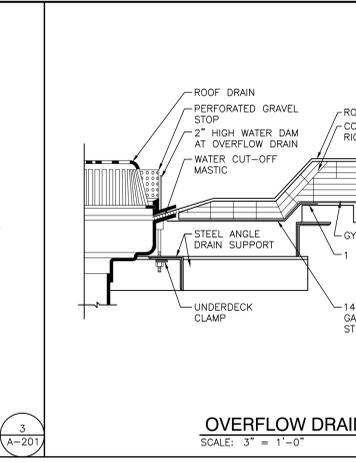
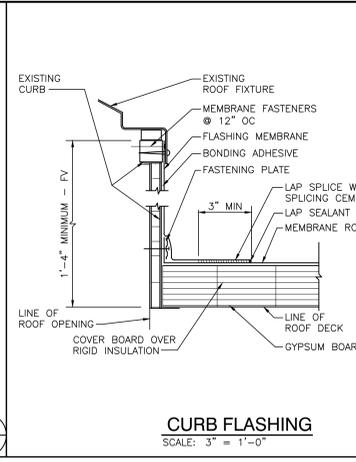
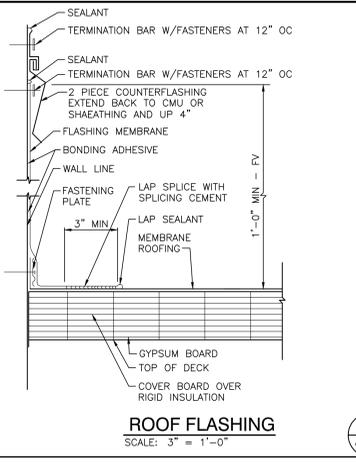
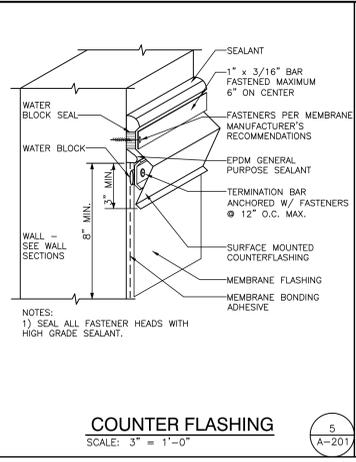


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PROJECT  
**TRI-COUNTY JR-SR HIGH SCHOOL - ADDITIONS AND RENOVATIONS**  
TRI-COUNTY SCHOOL CORPORATION  
WOLCOTT, INDIANA

**GENERAL ROOF PLAN NOTES:**

- FOR GENERAL NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC. SEE SHEET G-301.
- THERE MAY BE LOCATIONS ON NEW AND/OR EXISTING ROOF WHERE THE ROOF DECK MAY NOT BE STRUCTURALLY SOUND. CONTRACTORS SHOULD USE EXTREME CAUTION IN WORKING THESE ROOF AREAS TO MAINTAIN SAFE WORKING CONDITIONS.
- THE ROOFING INSTALLER SHALL VERIFY ALL DIMENSIONS, CLEARANCES AND ALL EXISTING FIELD CONDITIONS BEFORE STARTING CONSTRUCTION. COMMENCEMENT OF WORK CONSTITUTES ACCEPTANCE OF CONDITIONS. SHOULD DIFFERENT CONDITIONS BE ENCOUNTERED, CONTACT THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- THE ROOFING INSTALLER SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL DAMAGE CAUSED BY THE IMPROPER STORAGE OR STACKING OF ROOFING MATERIALS.
- ALL DIMENSIONS INDICATED ON THE ROOF PLAN ARE APPROXIMATE. THE ROOFING INSTALLER IS RESPONSIBLE FOR OBTAINING ACCURATE FIELD MEASUREMENTS FOR THE EXECUTION OF HIS WORK AND PRIOR TO ANY FABRICATION OF THE VARIOUS MATERIALS.
- THE ROOFING INSTALLER SHALL PROTECT ALL ROOF DRAINS, SCUPPERS AND DOWNSPOUTS FROM DEBRIS CREATED DURING DEMOLITION AND/OR NEW CONSTRUCTION. THE ROOFING INSTALLER SHALL INSPECT AND CLEAR ALL DRAINS, SCUPPERS AND DOWNSPOUTS PRIOR TO COMPLETION OF WORK AND TO ENSURE THAT THEY ARE FREE OF DEBRIS AND ARE FUNCTIONING PROPERLY.
- ROOF DRAIN LOCATION INDICATE DESIGN INTENT. COORDINATE LOCATIONS WITH STRUCTURAL AND MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS AND TRADES.
- FOR LOCATION AND QUANTITY OF ALL ROOFTOP MECHANICAL EQUIPMENT, REFER TO MECHANICAL DRAWINGS.
- FOR LOCATION OF ALL NEW AND/OR EXISTING PLUMBING VENTS, REFER TO MECHANICAL ROOF PLANS.
- EXTEND ALL PLUMBING VENTS SO THAT THE TOP IS A MINIMUM OF 12" ABOVE THE ROOFING MEMBRANE.
- PROVIDE NEW FLASHING AND TWO PIECE COUNTER-FLASHING WHERE NEW ROOFING ABUTS A NEW OR EXISTING WALL, UNLESS OTHERWISE NOTED OR DETAILED.
- PROVIDE FLASHING AND SADDLES FOR ALL EQUIPMENT PROVIDED UNDER MECHANICAL.
- PROVIDE FLASHING OF ALL VENTS, FAN CURBS, MASONRY WALLS, FLUES, DRAINS, FASCIAS, ETC. IN ACCORDANCE WITH THESE DRAWINGS AND SPECIFICATIONS, AND WITH ROOFING MANUFACTURERS STANDARD DETAILS AND SPECIFICATIONS.
- CONTRACTOR TO PROVIDE CRICKETS AND/OR ROOF SADDLES AS REQUIRED TO PROMOTE POSITIVE DRAINAGE AROUND ALL ROOF TOP PENETRATIONS.
- SADDLES AND TAPERED INSULATION SYMBOLS INDICATE DESIGN INTENT TO SLOPES TO DRAIN. ROOFING INSTALLER SHALL PROVIDE SUBMITTAL DRAWINGS FOR TAPERED INSULATION AND SADDLES TO ENSURE POSITIVE SLOPE.
- ALL NEW WOOD BLOCKING AND NAILERS SHALL BE FIRE/MOISTURE TREATED WOOD.
- ANCHOR ALL ROOFING EDGE WOOD BLOCKING AND STRUCTURAL INSULATED SHEATHING FOR COPINGS, FASCIA, AND EXPANSION JOINT COMPRESSIBLE TUBES AS REQUIRED TO CONFORM TO STATE AND LOCAL CODES.
- REFER TO ARCHITECTURAL FLOOR PLAN FOR LOCATION OF SECTION CUTS FOR ADDITIONAL INFORMATION.
- REMOVE ALL ROOF GRAVEL, RESIDUE, AND ALL PROJECTIONS WHICH WOULD PREVENT THE NEW ROOF INSULATION FROM LAYING FLAT OVER THE ROOF SURFACES.
- AT ALL NEW ROOF DRAINS AND/OR EXISTING ROOF DRAINS AT AREAS TO BE RE-ROOFED, REMOVE AND CLEAN ROOF DRAIN STRAINERS AND CLAMP RINGS. REINSTALL AFTER NEW ROOF INSULATION AND ROOFING MEMBRANE ARE IN PLACE. ANY BROKEN OR MISSING ROOF DRAIN STRAINER SHALL BE REPLACED WITH A NEW STRAINER.
- SEE MECHANICAL DRAWINGS FOR LOCATIONS OF ROOF TOP EQUIPMENT TO BE REMOVED.
- ALL ROOF SADDLE SLOPES SHALL BE 1/2" PER 12".
- DEMOLITION AND REMOVAL OPERATIONS ARE TO BE PERFORMED CAREFULLY AND ALL PORTIONS OF THE BUILDING SHALL BE PROTECTED DURING THESE OPERATIONS. ITEMS TO BE REUSED AND REINSTALLED ARE TO BE CAREFULLY REMOVED AND STORED. DAMAGES INCURRED DURING REMOVAL OR STORAGE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.



**KEY PLAN**

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PROJECT  
24-120  
DATE  
12/20/24  
COORDINATED BY  
JPB DTB  
DRAWN BY  
DTS  
CHECKED BY  
DTB

**ROOF LEGEND:**

- ⊕ ELEVATION TOP OF EXISTING ROOF DECK
- EXISTING RELIEF VENT
- ⊖ EXISTING EXHAUST FAN
- ⊗ EXISTING GRAVITY VENT
- EXISTING ROOF DRAIN
- ⊕ EXISTING PLUMBING VENT
- ⊖ EXISTING ROOF HATCH
- ⊗ EXISTING PENTHOUSE

→ INDICATES ROOF SLOPE (1/4" PER 12")  
- - INDICATES ROOF SADDLE SLOPE (1/2" PER 12")  
[HATCH PATTERN] INDICATES RE-ROOF OF EXISTING ROOF.

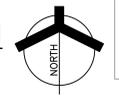
**ROOF TYPES:**

- A** EXISTING METAL DECK WITH RIGID INSULATION AND MEMBRANE ROOF SYSTEM; REMOVE EXISTING ROOF MEMBRANE AND COVER BOARD IN ITS ENTIRETY EXISTING INSULATION TO REMAIN. PROVIDE NEW COVER BOARD AND ROOF MEMBRANE SYSTEM.
- B** EXISTING ROOF SYSTEM SHALL REMAIN EXCEPT AS NOTED, PROTECT FROM ADJACENT ROOF WORK.
- C** EXISTING METAL DECK WITH RIGID INSULATION AND MEMBRANE ROOF SYSTEM TO REMAIN. PROVIDE NEW 1/4" COVER BOARD AND ROOF MEMBRANE SYSTEM ON TOP OF EXISTING. CUT EXISTING ROOF MEMBRANE AS REQUIRED FOR BOTH MEMBRANE SYSTEMS TO MOVE INDEPENDENTLY.

**ROOF PLAN NOTES:**

- (ALL PLAN NOTES MAY NOT BE INDICATED ON THIS SHEET.)
- FLASHING
  - ROOF EXPANSION JOINT
  - ROOF CURB, WRAP NEW MEMBRANE UP AND OVER CURB
  - FLASHING
  - FLASHING
  - COPING
  - ROOF BUILDING AND FLASHING
  - NEW MECHANICAL UNIT. REFER TO MECHANICAL DRAWINGS, FLASH CURB PER ROOFING MANUFACTURERS STANDARD DETAILS AND SPECIFICATIONS TO MAINTAIN ROOF WARRANTY. ADD CRICKETS AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE AROUND UNIT
  - REMOVE EXISTING MECHANICAL ROOF PENETRATION. REFER TO MECHANICAL DRAWINGS. INFILL WITH METAL DECK, INSULATION, COVER BOARD AND REFER TO STRUCTURAL FOLLOW ROOFING MANUFACTURERS STANDARD DETAILS AND SPECIFICATIONS TO MAINTAIN ROOF WARRANTY.
  - ROOF WALKWAY PADS AT MECHANICAL UNIT COORDINATE LOCATION WITH OWNER AND MAINTENANCE SIDE OF UNIT
  - REPLACE DOWNSPOUT WITH NEW. CUT EXISTING OFF JUST BELOW SOFFIT AND SECURE NEW OVER THE EXISTING SO THAT THE EXISTING IS NOT VISIBLE. COLOR TO MATCH EXISTING METAL COPING. PUT WALKWAY PAD

**UNIT "A", "B", AND "C"  
ARCHITECTUREAL ROOF PLAN**  
SCALE: 1/16" = 1'-0"



DRAWING  
**UNITS "A", "B", AND "C"  
ARCHITECTUREAL ROOF PLAN**

PROJECT  
TRI-COUNTY JR-SR HS  
ADDITIONS & RENOVATIONS

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**A A-201**

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PROJECT  
**TRI-COUNTY  
JR-SR HIGH  
SCHOOL -  
ADDITIONS AND  
RENOVATIONS**  
TRI-COUNTY SCHOOL  
CORPORATION  
WOLCOTT, INDIANA

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PROJECT  
24-120  
DATE  
12/20/24  
COORDINATED BY  
JPB DTB  
DRAWN BY  
DTS  
CHECKED BY  
DTB

JOSEPH P. BRIGGS  
REGISTERED  
ARCHITECT  
NO. 11600109  
STATE OF INDIANA  
*Joseph P. Briggs*

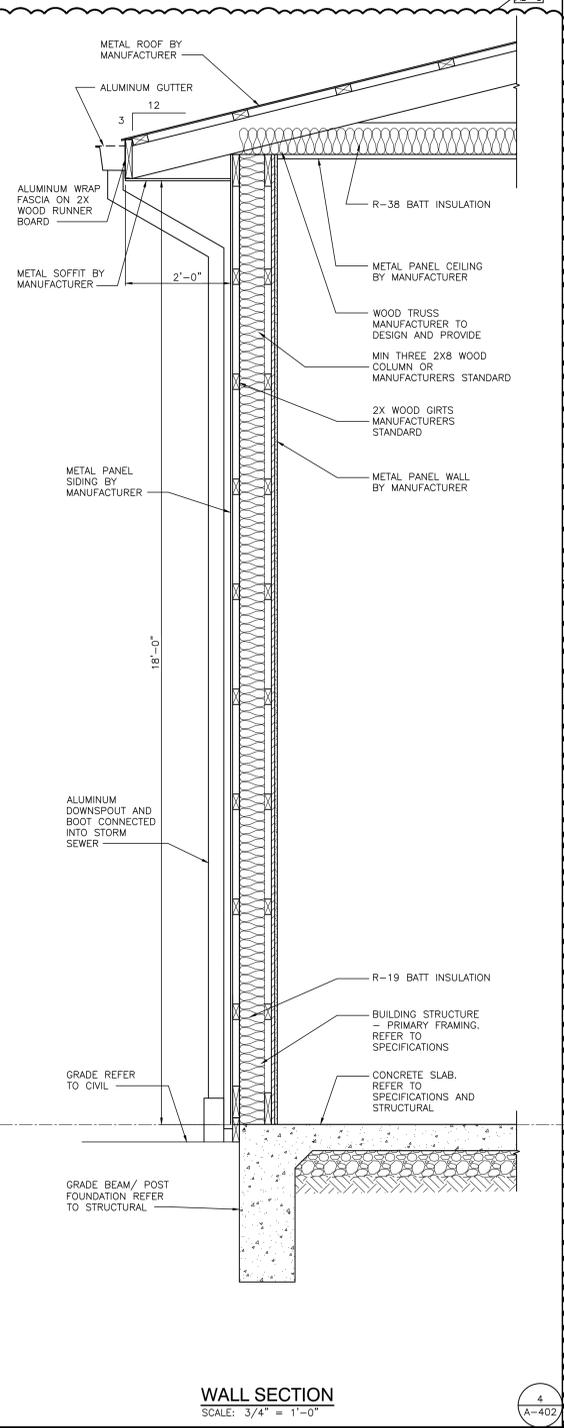
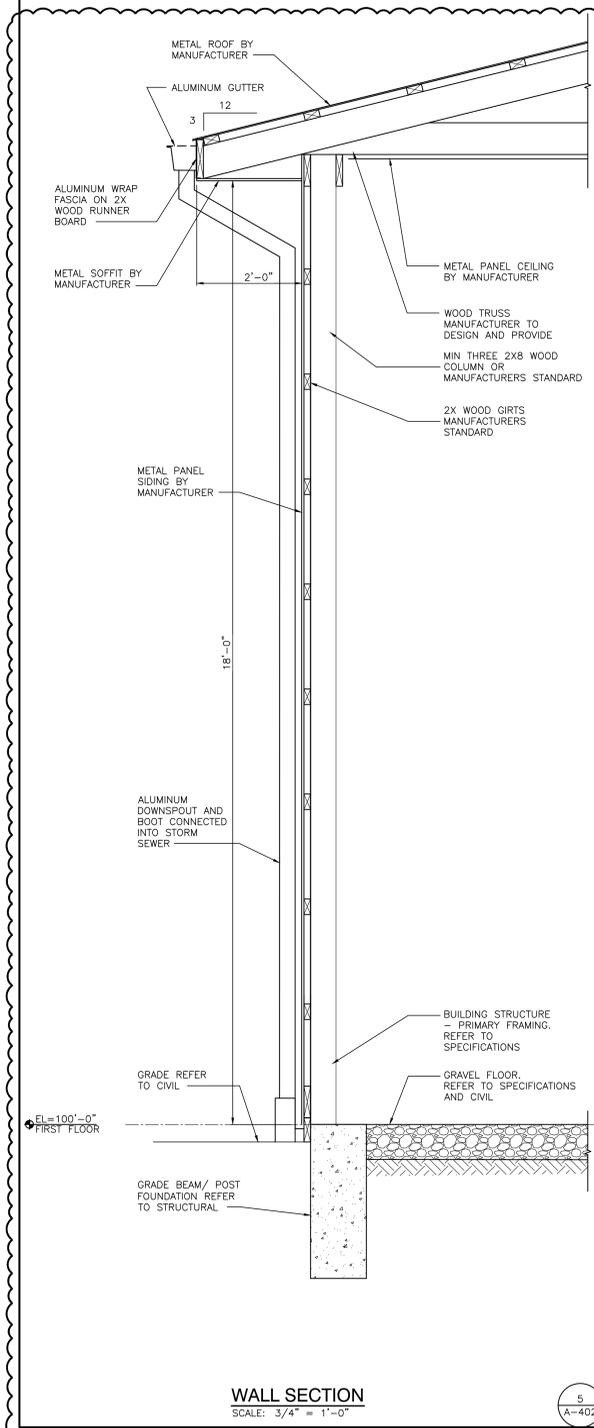
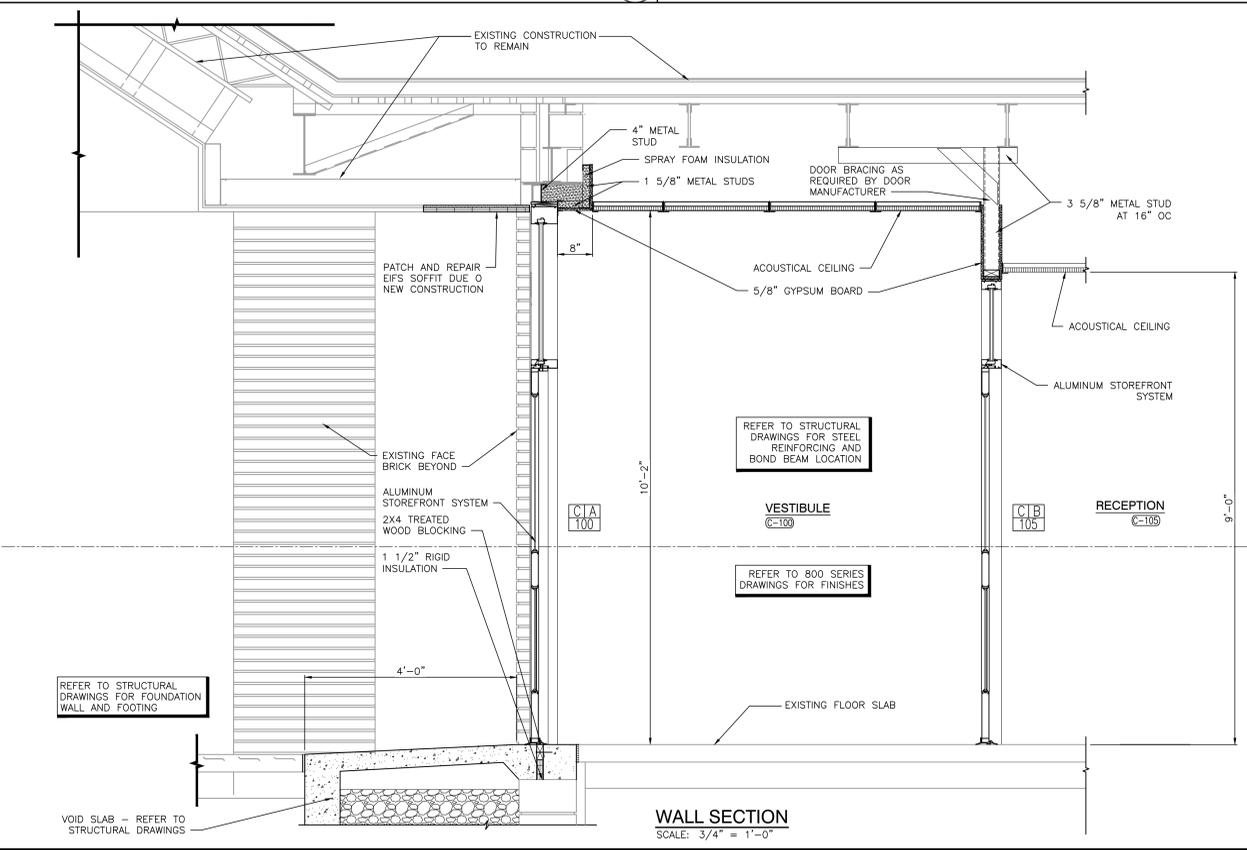
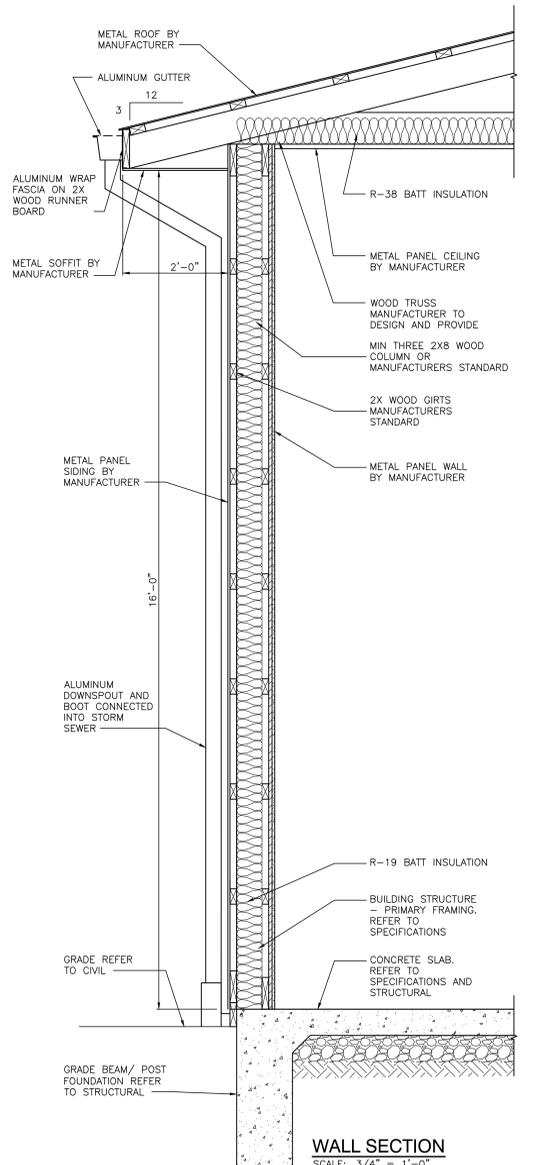
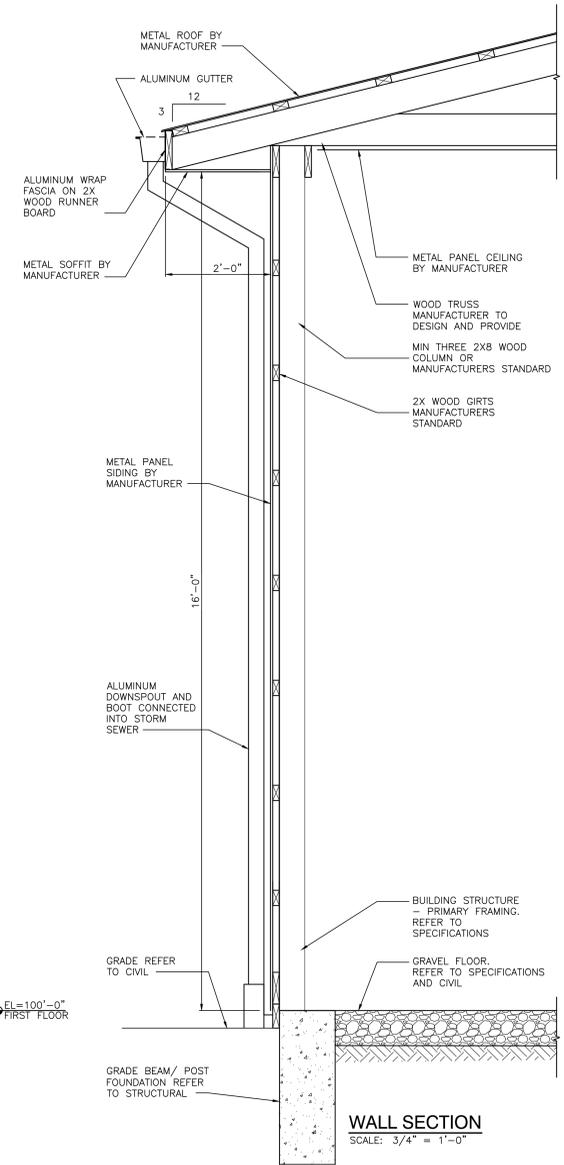
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REVISIONS	MARK	DATE	ISSUED FOR
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**WALL SECTIONS**

PROJECT  
**TRI-COUNTY JR-SR HS  
ADDITIONS & RENOVATIONS**

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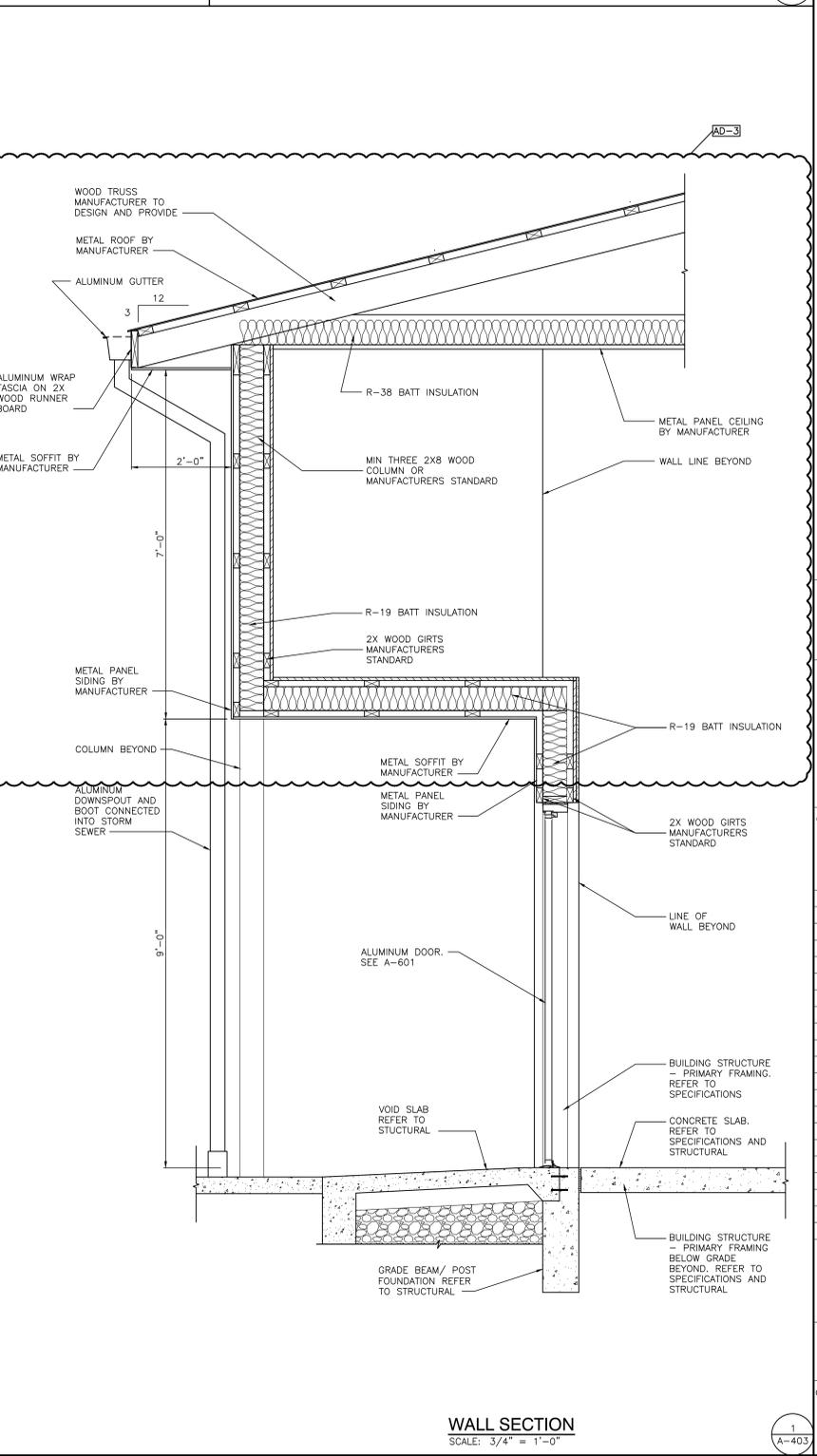
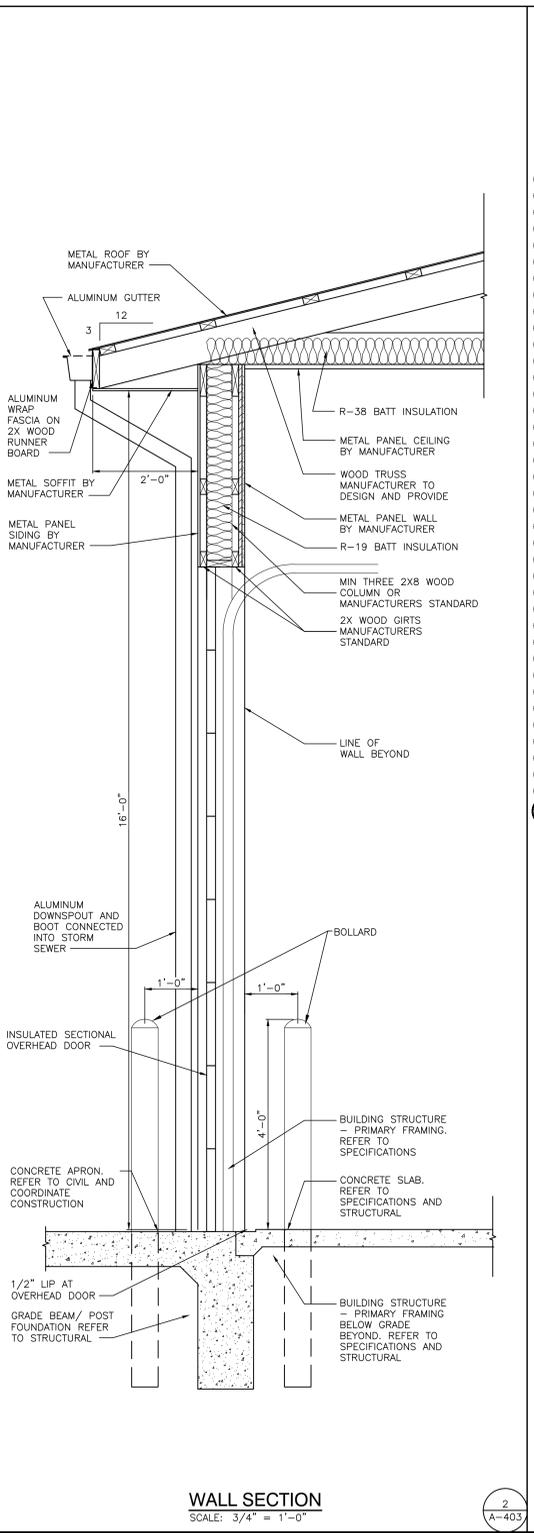
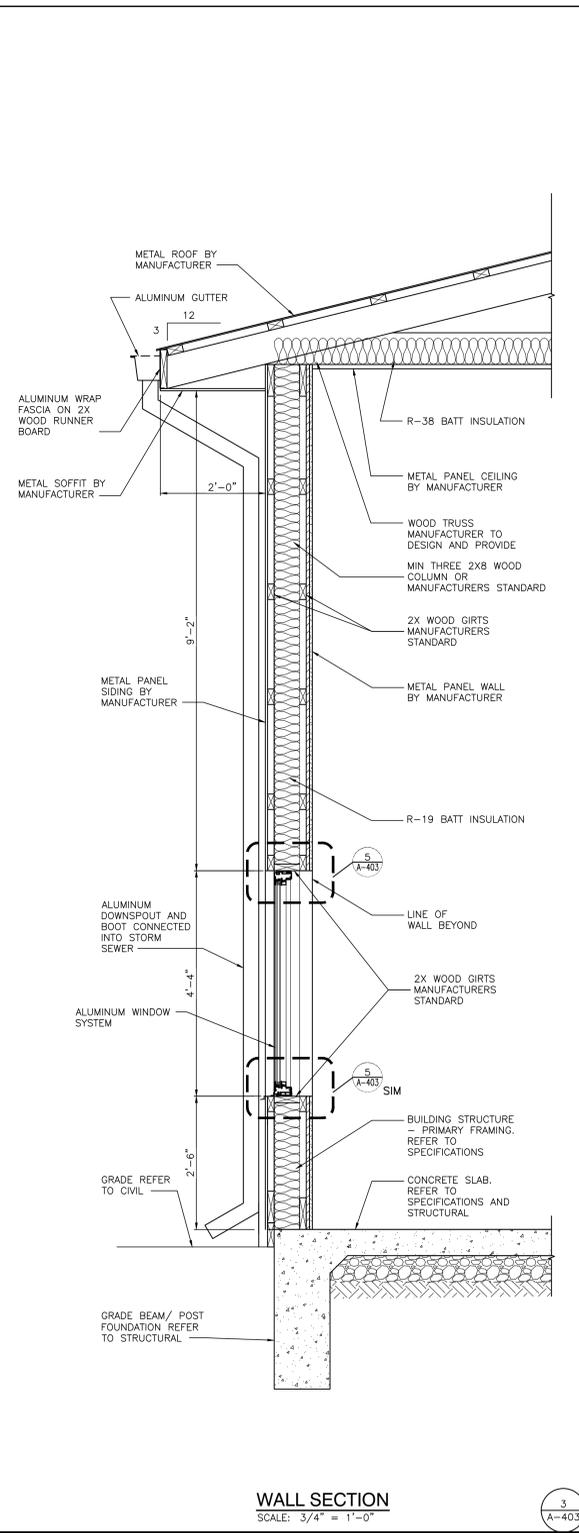
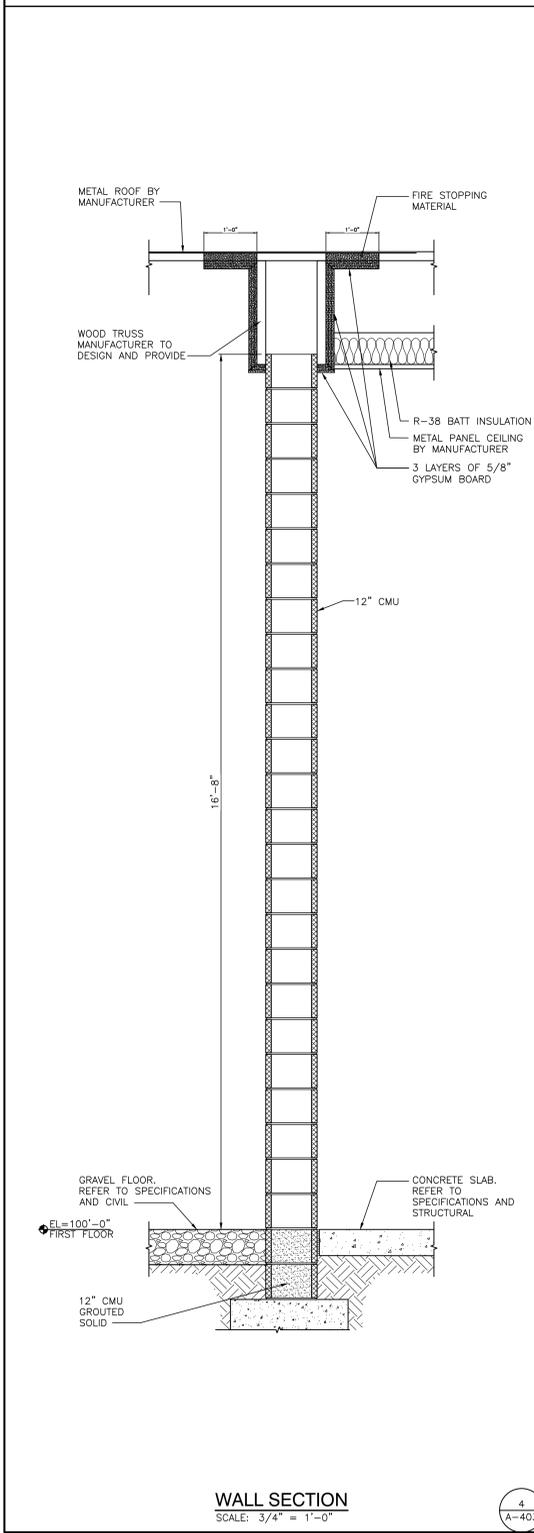
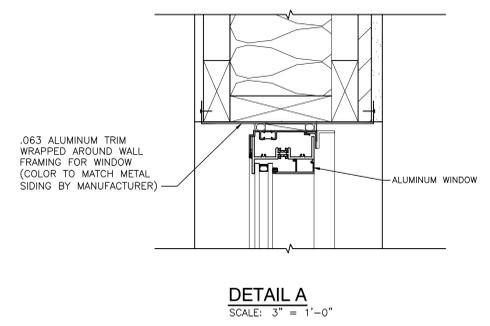
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PROJECT  
**TRI-COUNTY JR-SR HIGH SCHOOL - ADDITIONS AND RENOVATIONS**  
TRI-COUNTY SCHOOL CORPORATION  
WOLCOTT, INDIANA

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PROJECT  
24-120  
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12/20/24  
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REVISIONS	MARK	DATE	ISSUED FOR
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DRAWING  
**WALL SECTIONS**

PROJECT  
**TRI-COUNTY JR-SR HS ADDITIONS & RENOVATIONS**

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