

ADDENDUM NO. 7

March 14, 2025

IPS: Joyce Kilmer New School 69
3421 N. Keystone Avenue
Indianapolis, IN 46218

TO: ALL BIDDERS OF RECORD

This Addendum forms a part of and modifies the Bidding Requirements, Contract Forms, Contract Conditions, the Specifications, and the Drawings dated January 17, 2025, by Meticulous Design + Architecture. Acknowledge receipt of the Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of Pages ADD 7-1, Specification Section 01 23 00 – Bid Form, and attached Meticulous Design + Architecture Addendum No. 6, dated March 13, 2025, consisting of 2 pages, Specification Section 0814106 – Flush Wood Doors, 085113 – Aluminum Windows, 323913.19 – Decorative Metal Bollards, and Addendum Drawing Sheets: Revised sheet G-100 LIFE SAFETY PLAN a. Added FEC locations 2. Revised sheet G-101 LIFE SAFETY PLAN a. Added FEC locations 3. Revised sheet A-101 01 FLOOR PLAN -OVERALL a. Added FEC locations 4. Revised sheet A-102 02 FLOOR PLAN -OVERALL a. Added FEC locations 5. Revised sheet A-111A 01 FLOOR PLAN -AREA A a. Added FEC locations b. Added notes about Backstops and Hoops, including Powered locations. 6. Revised sheet A-111B 01 FLOOR PLAN -AREA B a. Added FEC locations 7. Revised sheet A-112A 02 FLOOR PLAN -AREA A A a. Added FEC locations 8. Revised sheet A-112B 02 FLOOR PLAN -AREA B a. Added FEC locations 9. Revised sheet L2.01 MATERIALS LAYOUT a. Added callout along sidewalk in the bus drop off area for Painted Steel Bollards. i. See Detail 8/L3.05 (included in Addendum 05). 10. Revised sheet L2.02 MATERIALS LAYOUT a. Added callout at intersection of Keystone and East 34th St for Reclaimed Bollards. i. See Detail 2/L3.06 (included in Addendum 05).

A. SPECIFICATION SECTION 01 12 00 -MULTIPLE CONTRACT SUMMARY

B. BID CATEGORY NO. 6 – ALUMINUM ENTRANCES AND STOREFRONTS

- 1. Bid Category No. 6 – Aluminum Entrances & Storefronts will not bid at this time. The Bid Date is March 25, 2025, 2:00PM, via eBid.**

B. SPECIFICATION SECTION 01 23 00 – ALTERNATES

Delete Alternate No. 2 in its entirety. Revised Bid Form included with this Addendum.

CONTRACTOR'S BID FOR PUBLIC WORKS FORM NO. 96

Format (Revised 2013)
(Amended for IPS)

IPS JOYCE KILMER NEW SCHOOL 69
(Indianapolis Public Schools)
(Marion County, Indiana)

PART I

(To be completed for all bids. Please type or print)

Date (month, day, year): _____

BIDDER (Firm): _____

Address: _____ P.O. Box: _____

City/State/Zip): _____

Telephone Number: _____ Email Address: _____

Person to contact regarding this Bid _____

Pursuant to notices given, the undersigned offers to furnish labor and/or materials necessary to complete the public works project of:

Insert Category No. (s) and Name(s)

Of public works project, *Joyce Kilmer 69 Main Building Package*, in accordance with Plans and Specifications prepared by *Meticulous Design+Architecture, 25 N. Pine Street Suite B, Indianapolis, IN 46204*, as follows:

BASE BID

For the sum of _____
(Sum in words)

_____ DOLLARS (\$ _____)
(Sum in figures)

The undersigned acknowledges receipt of the following Addenda:
Receipt of Addenda No. (s) _____

PROPOSAL TIME

Bidder agrees that this Bid shall remain in force for a period of sixty (60) consecutive calendar days from the due date, and Bids may be accepted or rejected during this period. Bids not accepted within said sixty (60) consecutive calendar days shall be deemed rejected.

Attended pre-bid conference YES _____ NO _____

Has visited the jobsite YES _____ NO _____

The Bidder has reviewed the Guideline Schedule in Section 01 32 00 and the intent
Of the schedule can be met. YES _____ NO _____

Bidder has included their Written Drug Testing Plan that covers all employees of the bidder who will perform work on the public work project and meets or exceeds the requirements set in IC 4-13-18-5 or IC 4-13-18-6. YES _____ NO _____

The Skillman Corporation's diversity initiative is to create a program to encourage, assist and measure the active participation of Minority- Owned, Women-Owned, Veteran – Owned and Disabled Individual-Owned Businesses. The Program is to ensure that MWVDBEs are provided full and equal opportunity to participate in all Skillman Corporation's Projects.
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Bidder has included: DBE: YES _____% NO _____
 MBE: YES _____% NO _____
 WBE: YES _____% NO _____
 VBE: YES _____% NO _____

The undersigned further agrees to furnish a bond or certified check with this Bid for an amount specified in the Notice to Bidders. If Alternate Bids apply, submit a proposal for each in accordance with the Plans and Specifications.

If additional units of material included in the contract are needed, the cost of units must be the same as that shown in the original contract if accepted by the governmental unit. If the bid is to be awarded on a unit bases, the itemization of the units shall be shown on a separate attachment.

The contractor and his subcontractors, if any, shall not discriminate against or intimidate any employee, or applicant for employment, to be employed in the performance of this contract, with respect to any matter directly or indirectly related to employment because of race, religion, color, sex, national origin or ancestry. Breach of this covenant may be regarded as a material breach of the contract.

CERTIFICATION OF USE OF UNITED STATES STEEL PRODUCTS
(if applicable)

I, the undersigned bidder or agent as a contractor on a public works project, understand my statutory obligation to use steel products made in the United States (I.C. 5-16-8-2). I hereby certify that I and all subcontractors employed by me for this project will use U.S. steel on this project if awarded. I understand that violations hereunder may result in forfeiture of contractual payments.

ALTERNATE BIDS

A blank entry or an entry of "No Bid", "N/A", or similar entry on any Alternate will cause the bid to be rejected as non-responsive only if that Alternate is selected. If no change in the bid amount is required, indicate "No Change".

****MARK "ADD" OR "DEDUCT" FOR EACH ALTERNATE****

Alternate Bid No. 1 – Continue Ceramic Wall Tile up to ceiling.

1. Base Bid: Ceramic tile applied to walls terminates at 5'-6" A.F.F. as indicated on interior design sheets within the architectural portion of the drawings and as specified in Section 093013 "Ceramic Tiling."

2. Alternate #1: Ceramic tile applied to walls terminates at ceiling as indicated on interior design sheets within the architectural portion of the drawings and as specified in Section 093013 "Ceramic Tiling."

Change the Base Bid the sum of _____
(sum in words)

_____ DOLLARS (\$ _____) ADD
(sum in figures) DEDUCT

PART II

(For projects of \$150,000 or more – IC 36-1-12-4)

These statements to be submitted under oath by each bidder with and as a part of his bid. (Attach additional pages for each section as needed.)

SECTION I EXPERIENCE QUESTIONNAIRE

1. What public works projects has your organization completed for the period of one (1) year prior to the date of the current bid?

Contract Amount	Class of Work	Completion Date	Name and Address of Owner

2. What public works projects are now in process of construction by your organization?

Contract Amount	Class of Work	Completion Date	Name and Address of Owner

3. Have you ever failed to complete any work awarded to you? _____ If so, where and why?

4. List references from private firms for which you have performed work.

SECTION II PLAN AND EQUIPMENT QUESTIONNAIRE

1. Explain your plan or layout for performing proposed Work. (Examples could include a narrative of when you could begin, complete the project, number of workers, etc. and any other information which you believe would enable the governmental unit to consider your bid.)

2. Please list the names and addresses of all subcontractors (i.e. persons or firms outside your own firm who have performed part of the work) that you have used on public works projects during the past five (5) years along with a brief description of the work done by each subcontractor.

3. If you intend to sublet any portion of the work, state the name and addresses of each subcontractor, equipment to be used by the subcontractor, and whether you will required a bond. However, if you are unable to currently provide a listing, please understand a listing must be provided prior to contract approval. Until the completion of the proposed project, you are under a continuing obligation to immediately notify the governmental unit in the event that you subsequently determine that you will use a subcontractor on the proposed project.

4. What equipment do you have available to use for the proposed Project? Any equipment used by subcontractors may also be required to be listed by the governmental unit.

5. Have you into contracts or received offers for all materials which substantiate the prices used in preparing your proposal? If not, please explain the rationale used which corroborate the process listed.

SECTION III CONTRACTOR'S FINANCIAL STATEMENT

Attachment of Bidder's financial statement is mandatory. Any Bid submitted without said financial statement as required by statute shall thereby be rendered invalid. The financial statement provided hereunder to the governing body awarding the Contract must be specific enough in detail so that said governing body can make a proper determination of the Bidder's capability for completing the Project if awarded.

SECTION IV CONTRACTOR NON-COLLUSION AFFIDAVIT

The undersigned Bidder or agent, being duly sworn on oath, says that he has not, nor has any other member, representative, or agent of the firm, company, corporation or partnership represented by him, entered into any combination, collusion or agreement with any person relative to the price to be bid by anyone at such letting nor to prevent any person from bidding nor to induce anyone to refrain from bidding, and that this Bid is made without reference to any other bid and without any agreement, understanding or combination with any other person in reference to such bidding.

He further says that no person or persons, firms, or corporations has, have, or will receive directly or indirectly, any rebate, fee, gift, commission, or thing of value on account of such contract.

IPS Joyce Kilmer 69
ADDENDUM 6 DRAWINGS AND SPECIFICATIONS
3/13/25

QUESTIONS

1. On drawing I131B General Finish plan note AA indicates to install a shower curtain at the Clinic Restroom. We are not finding shower curtains specified. Please advise of spec and which bid package is responsible to provide.
Answer: See Spec Section 102123 CUBICLE CURTAINS AND TRACK.
2. General Finish plan note D indicates to caulk all slab control joints prior to installation of flooring. Typically, we see these joints filled with compound by the flooring installers that is compatible with their materials in lieu of caulk at these locations. Please confirm caulk is to be installed at these joints and if BC 2 or BC 9 will be responsible for this note.
Answer: This question was answered in Addendum #4, see Question 9.
3. Please confirm doors are to be finished on site by the BC 8 contractor.
Answer: See revised spec Section 081416 - Flush Wood Doors.
4. Addenda 6 did not clarify locations of mirrors to be included per section 088300. Please advise locations and quantities.
Answer: Delete specification Section 085113 MIRRORS.
5. Bollard detail indicates bollards are to be field painted but spec lists a stainless steel cover. Are the covers required if they are being painted?
Answer: IPS wants painted bollards in lieu of stainless steel. The detail was updated, please see the updated specification included. Stainless steel Cover removed from specification. Yellow paint color added to specification.
6. Drawing L2.02 Schedule note item 3-07 references reclaimed bollards. We are not finding details for "reclaimed" bollards. Please provide a detail for installation of the reclaimed bollards.
Answer: Reclaimed Bollards: See sheet L2.02 for callout at intersection of Keystone and East 34th St. See Detail 2/L3.06 (included in Addendum 05).
7. We are not finding the stainless-steel bollards called out on the site or landscaping plans as far as location. Please call out the stainless bollards and reclaimed bollards so we know which is which.
Answer: Painted Steel Bollards: See sheet L2.01 for callout along sidewalk in the bus drop off area. See Detail 8/L3.05 (included in Addendum 05).
8. Abrasive coating was added to the BC 2 General Trades Scope. However, question on locations was not addressed. Note indicates to provide the coating on all walks with slopes. All sidewalks are inherently sloped for drainage but we are doubting the intent is for this to be on all walks. Please confirm what areas are considered sloping and require this product. In addition to this, please provide specification for the product material. The listed manufacturer has multiple products, so we need to know which is required.
Answer: Disregard Note 4 that references Abrasion Resistant Coating on sheet CS-501.

SPECIFICATIONS

1. Revised Project Manual Cover Page to include standard IPS information and Addenda
2. Revised 000110 - TABLE OF CONTENTS
 - a. To indicate additions, deletions, and revisions to various SECTIONS.
 - i. Revised Section 081416 FLUSH WOOD DOORS
 - ii. Reissued Section 085113 ALUMINUM WINDOWS
 - iii. Revised Section 323913.19 DECORATIVE METAL BOLLARDS
3. Revised Section 081416 FLUSH WOOD DOORS

TRANSMITTAL

- a. Revised Paragraph 1.4.B. to read, "Package doors individually in cardboard cartons and wrap bundles in plastic sheeting."
 - b. Revised Article 2.7 to read, "FACTORY FINISHING" and replaced information to read:
 - A. *Comply with referenced quality standard for factory finishing.*
 1. *Complete fabrication, including fitting doors for openings and machining for hardware that is not surface applied, before finishing.*
 2. *Finish faces, all four edges, edges of cutouts, and mortises.*
 - B. *Factory finish doors.*
 - C. *Transparent Finish:*
 3. *ANSI/WDMA I.S. 1A Grade: Premium.*
 - a. *TR-8 UV Cured Acrylated Polyester/Urethane.*
 4. *Staining: As selected by Architect from manufacturer's full range.*
 5. *Sheen: Semigloss.*
4. Reissued Section 085113 ALUMINUM WINDOWS which was published in Addendum #4.
 5. Revised Section 323913.19 DECORATIVE METAL BOLLARDS
 - a. Stainless steel Cover removed from specification.
 - b. Yellow paint color added to specification.

DRAWINGS

1. Revised sheet G-100 LIFE SAFETY PLAN
 - a. Added FEC locations
2. Revised sheet G-101 LIFE SAFETY PLAN
 - a. Added FEC locations
3. Revised sheet A-101 01 FLOOR PLAN -OVERALL
 - a. Added FEC locations
4. Revised sheet A-102 02 FLOOR PLAN -OVERALL
 - a. Added FEC locations
5. Revised sheet A-111A 01 FLOOR PLAN -AREA A
 - a. Added FEC locations
 - b. Added notes about Backstops and Hoops, including Powered locations.
6. Revised sheet A-111B 01 FLOOR PLAN -AREA B
 - a. Added FEC locations
7. Revised sheet A-112A 02 FLOOR PLAN -AREA A
 - a. Added FEC locations
8. Revised sheet A-112B 02 FLOOR PLAN -AREA B
 - a. Added FEC locations
9. Revised sheet L2.01 MATERIALS LAYOUT
 - a. Added callout along sidewalk in the bus drop off area for Painted Steel Bollards.
 - i. See Detail 8/L3.05 (included in Addendum 05).
10. Revised sheet L2.02 MATERIALS LAYOUT
 - a. Added callout at intersection of Keystone and East 34th St for Reclaimed Bollards.
 - i. See Detail 2/L3.06 (included in Addendum 05).

END OF ADDENDUM

PROJECT MANUAL FOR:

**2025 IPS Joyce Kilmer
New School 69
3421 North Keystone, Indianapolis, IN 46218**

Project No P23-0116



**THE BOARD OF SCHOOL COMMISSIONERS
INDIANAPOLIS PUBLIC SCHOOLS
120 E. WALNUT STREET
INDIANAPOLIS, INDIANA 46204**

For Further Bid Information Contact Owner:
Indianapolis Public Schools – Facilities Management Division
Mr. Paul Riley
Director of Facilities

Drawings & Specifications Prepared By:
Meticulous Design + Architecture, LLC
25 N Pine Street
Indianapolis, Indiana 46202
317/926-1820
Email: info@meticulousda.com

Signed by: _____
Paul Riley
Director of Facilities

Certified by: _____
Frank Mora
Principal in Charge - MDA, LLC

Date: January 17, 2025
February 11, 2025 Addendum #1
February 17, 2025 Addendum #2
February 24, 2025 Addendum #3
March 3, 2025 Addendum #4
March 10, 2025 Addendum #5
March 13, 2025 Addendum #6

MDA Project Number: P23-0116

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END OF SECTION 000110

SECTION 081416 (REVISED ADDENDUM NO. 6)
FLUSH WOOD DOORS

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

1. Solid-core five-ply flush wood veneer-faced doors.

B. Related Requirements:

1. Section 088000 "Glazing" for glass view panels in flush wood doors.

1.2 ACTION SUBMITTALS

A. Product Data:

1. Solid-core five-ply flush wood veneer-faced doors.
2. Light frames.

B. Product Data Submittals: For each product, including the following:

1. Door core materials and construction.
2. Door edge construction
3. Door face type and characteristics.
4. Door trim for openings.
5. Factory-machining criteria.
6. Factory-finishing specifications.

C. Shop Drawings: Indicate location, size, and hand of each door; elevation of each type of door; construction details not covered in Product Data; and the following:

1. Door schedule indicating door and frame location, type, size, fire protection rating, and swing.
2. Door elevations, dimension and locations of hardware, lite and louver cutouts, and glazing thicknesses.
3. Details of electrical raceway and preparation for electrified hardware, access control systems, and security systems.
4. Dimensions and locations of blocking for hardware attachment.
5. Dimensions and locations of mortises and holes for hardware.
6. Clearances and undercuts.
7. Requirements for veneer matching.
8. Doors to be factory finished and application requirements.

D. Samples for Verification:

1. Factory finishes applied to actual door face materials, approximately 8 by 10 inches, for each material and finish. For each wood species and transparent finish, provide set of three Samples showing typical range of color and grain to be expected in finished Work.
2. Corner sections of doors, approximately 8 by 10 inches, with door faces and edges representing actual materials to be used.
3. Frames for light openings, 6 inches long, for each material, type, and finish required.

1.3 CLOSEOUT SUBMITTALS

- A. Special warranties.
- B. Record Documents: For fire-rated doors, list of door numbers and applicable room name and number to which door accesses.

1.4 DELIVERY, STORAGE, AND HANDLING

- A. Comply with requirements of referenced standard and manufacturer's written instructions.
- B. Package doors individually in **cardboard cartons and wrap bundles in plastic sheeting**.
- C. Mark each door on top and bottom rail with opening number used on Shop Drawings.

1.5 FIELD CONDITIONS

- A. Environmental Limitations:
 - 1. Do not deliver or install doors until building is enclosed and weathertight, wet work is complete, and HVAC system is operating and maintaining temperature between 60 and 90 deg F and relative humidity between 25 and 55 percent during remainder of construction period.

1.6 WARRANTY

- A. Special Warranty: Manufacturer agrees to repair or replace doors that fail in materials or workmanship within specified warranty period.
 - 1. Failures include, but are not limited to, the following:
 - a. Delamination of veneer.
 - b. Warping (bow, cup, or twist) more than 1/4 inch in a 42-by-84-inch section.
 - c. Telegraphing of core construction in face veneers exceeding 0.01 inch in a 3-inch span.
 - 2. Warranty also includes installation and finishing that may be required due to repair or replacement of defective doors.
 - 3. Warranty Period for Solid-Core Interior Doors: Life of installation.

PART 2 - PRODUCTS

2.1 SOURCE LIMITATIONS

- A. Obtain flush wood doors from single manufacturer.

2.2 PERFORMANCE REQUIREMENTS

- A. Fire-Rated Wood Door and Frame Assemblies: Assemblies complying with NFPA 80 that are listed and labeled by a qualified testing agency acceptable to authorities having jurisdiction, for fire-protection ratings and temperature-rise limits indicated on Drawings, based on testing at positive pressure in accordance with UL 10C or NFPA 252.

2.3 FLUSH WOOD DOORS AND FRAMES, GENERAL

- A. Quality Standard: In addition to requirements specified, comply with ANSI/WDMA I.S. 1A.

2.4 SOLID-CORE FIVE-PLY FLUSH WOOD VENEER-FACED DOORS AND TRANSOM PANELS FOR TRANSPARENT FINISH

- A. Interior Doors, Solid-Core Five-Ply Veneer-Faced:

1. Basis-of-Design Product: Subject to compliance with requirements, provide VT Industries, Inc. or comparable product by one of the following:
 - a. Lambton Doors
 - b. Lynden Door, Inc.
 - c. Masonite Architectural
 - d. Oregon Door
 - e. Oshkosh Door Company
 - f. Wilsonart LLC
2. Performance Grade: ANSI/WDMA I.S. 1A Heavy Duty.
3. ANSI/WDMA I.S. 1A Quality Grade: Premium.
4. Faces: Single-ply wood veneer not less than 1/50 inch thick.
 - a. Species: Red oak.
 - b. Cut: Plain sliced (flat sliced).
 - c. Match between Veneer Leaves: Slip.
 - d. Assembly of Veneer Leaves on Door Faces: Balance.
 - e. Pair and Set Match: Provide for doors hung in same opening or separated by mullions.
 - f. Room Match:
 - 1) Provide door faces of compatible color and grain within each separate room or area of building.
5. Exposed Vertical and Top Edges: Same species as faces or a compatible species - Architectural Woodwork Standards edge Type A.
 - a. Fire-Rated Single Doors: Provide edge construction with intumescent seals concealed by outer stile. Comply with specified requirements for exposed vertical edges.
 - b. Fire-Rated Pairs of Doors:
 - 1) Provide fire-retardant stiles that are listed and labeled for applications indicated without formed-steel edges and astragals. Provide stiles with concealed intumescent seals. Comply with specified requirements for exposed edges.
 - 2) Provide formed-steel edges and astragals with intumescent seals.
 - a) Finish steel edges and astragals to match door hardware (locksets or exit devices).
 - c. Mineral-Core Doors: At hinge stiles, provide laminated-edge construction with improved screw-holding capability and split resistance. Comply with specified requirements for exposed edges.
 - 1) Screw-Holding Capability: 475 lbf in accordance with WDMA T.M. 10.
6. Core for Non-Fire-Rated Doors:

- a. ANSI A208.1, Grade LD-1 particleboard.
 - 1) Blocking: Provide wood blocking in particleboard-core doors as needed to eliminate through-bolting hardware. Usually delete requirement for midrail blocking in last subparagraph above and retain first subparagraph below.
 - 2) Provide doors with glued-wood-stave or WDMA I.S. 10 structural-composite-lumber cores instead of particleboard cores for doors scheduled to receive exit devices in Section 087100 "Door Hardware."
- b. Glued wood stave.
- c. WDMA I.S. 10 structural composite lumber.
 - 1) Screw Withdrawal, Door Face: 475 lbf.
 - 2) Screw Withdrawal, Vertical Door Edge: 475 lbf.
- d. Either glued wood stave or WDMA I.S. 10 structural composite lumber.
- 7. Core for Fire-Rated Doors: As required to achieve fire-protection rating indicated on Drawings.
 - a. Blocking for Mineral-Core Doors: Provide composite blocking with improved screw-holding capability approved for use in doors of fire-protection ratings indicated on Drawings as needed to eliminate through-bolting hardware.
- 8. Construction: Five plies, hot-pressed bonded (vertical and horizontal edging is bonded to core), with entire unit abrasive planed before veneering.

2.5 LIGHT FRAMES

- A. Metal Frames for Light Openings in Fire-Rated Doors: Manufacturer's standard frame formed of 0.048-inch- thick, cold-rolled steel sheet; factory primed for paint finish; and approved for use in doors of fire-protection rating indicated on Drawings.

2.6 FABRICATION

- A. Factory fit doors to suit frame-opening sizes indicated.
 - 1. Comply with clearance requirements of referenced quality standard for fitting unless otherwise indicated.
 - 2. Comply with NFPA 80 requirements for fire-rated doors.
- B. Factory machine doors for hardware that is not surface applied.
 - 1. Locate hardware to comply with DHI-WDHS-3.
 - 2. Comply with final hardware schedules, door frame Shop Drawings, ANSI/BHMA-156.115-W, and hardware templates.
 - 3. Coordinate with hardware mortises in metal frames, to verify dimensions and alignment before factory machining.
 - 4. For doors scheduled to receive electrified locksets, provide factory-installed raceway and wiring to accommodate specified hardware.
 - 5. Metal Astragals: Factory machine astragals and formed-steel edges for hardware for pairs of fire-rated doors.
- C. Openings: Factory cut and trim openings through doors.
 - 1. Light Openings: Trim openings with moldings of material and profile indicated.
 - 2. Glazing: Factory install glazing in doors indicated to be factory finished. Comply with

applicable requirements in Section 088000 "Glazing."

- a. Glass in vision panels shall be laminated.

2.7 FACTORY FINISHING

A. Comply with referenced quality standard for factory finishing.

1. Complete fabrication, including fitting doors for openings and machining for hardware that is not surface applied, before finishing.
2. Finish faces, all four edges, edges of cutouts, and mortises.

B. Factory finish doors.

C. Transparent Finish:

1. ANSI/WDMA I.S. 1A Grade: Premium.
 - a. TR-8 UV Cured Acrylated Polyester/Urethane.
2. Staining: As selected by Architect from manufacturer's full range.
3. Sheen: Semigloss.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine doors and installed door frames, with Installer present, before hanging doors.
 1. Verify that installed frames comply with indicated requirements for type, size, location, and swing characteristics and have been installed with level heads and plumb jambs.
 2. Reject doors with defects.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 INSTALLATION

- A. Hardware: For installation, see Section 087100 "Door Hardware."
- B. Install doors to comply with manufacturer's written instructions and referenced quality standard, and as indicated.
- C. Factory-Fitted Doors: Align in frames for uniform clearance at each edge.
- D. Factory-Finished Doors: Restore finish before installation if fitting or machining is required at Project site.

3.3 ADJUSTING

- A. Operation: Rehang or replace doors that do not swing or operate freely.
- B. Finished Doors: Replace doors that are damaged or that do not comply with requirements. Doors may be repaired or refinished if Work complies with requirements and shows no evidence of repair or refinishing.

END OF SECTION 081416

SECTION 085113 (ADDED ADDENDUM NO. 4)
ALUMINUM WINDOWS

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes aluminum windows for exterior locations.
- B. Related Requirements:
 - 1. Section 084113 "Aluminum-Framed Entrances and Storefronts" for coordinating finish among aluminum fenestration units.

1.2 PREINSTALLATION MEETINGS

- A. Preinstallation Conference: Conduct conference at Project site.
 - 1. Review and finalize construction schedule and verify availability of materials, Installer's personnel, equipment, and facilities needed to make progress and avoid delays.
 - 2. Review and discuss the finishing of aluminum windows that is required to be coordinated with the finishing of other aluminum work for color and finish matching.
 - 3. Review, discuss, and coordinate the interrelationship of aluminum windows with other exterior wall components. Include provisions for anchoring, flashing, weeping, sealing perimeters, and protecting finishes.
 - 4. Review and discuss the sequence of work required to construct a watertight and weathertight exterior building envelope.
 - 5. Inspect and discuss the condition of substrate and other preparatory work performed by other trades.

1.3 ACTION SUBMITTALS

- A. Product Data: For each type of product.
 - 1. Include construction details, material descriptions, glazing and fabrication methods, dimensions of individual components and profiles, hardware, and finishes for aluminum windows.
- B. Shop Drawings: For aluminum windows.
 - 1. Include plans, elevations, sections, hardware, accessories, insect screens, operational clearances, and details of installation, including anchor, flashing, and sealant installation.
- C. Samples: For each exposed product and for each color specified, **2 by 4 inches** in size.
- D. Product Schedule: For aluminum windows. Use same designations indicated on Drawings.

1.4 INFORMATIONAL SUBMITTALS

- A. Qualification Data: For manufacturer and Installer.
- B. Product Test Reports: For each type of aluminum window, for tests performed by a qualified testing agency.

- C. Field quality-control reports.
- D. Sample Warranties: For manufacturer's warranties.

1.5 QUALITY ASSURANCE

- A. Manufacturer Qualifications: A manufacturer capable of fabricating aluminum windows that meet or exceed performance requirements indicated and of documenting this performance by test reports and calculations.
- B. Installer Qualifications: An installer acceptable to aluminum window manufacturer for installation of units required for this Project.
- C. Mockups: Build mockups to verify selections made under Sample submittals, to demonstrate aesthetic effects, and to set quality standards for materials and execution.
 - 1. Build mockup of typical wall area as shown on Drawings.
 - 2. Approval of mockups does not constitute approval of deviations from the Contract Documents contained in mockups unless Architect specifically approves such deviations in writing.

1.6 WARRANTY

- A. Manufacturer's Warranty: Manufacturer agrees to repair or replace aluminum windows that fail in materials or workmanship within specified warranty period.
 - 1. Failures include, but are not limited to, the following:
 - a. Failure to meet performance requirements.
 - b. Structural failures including excessive deflection, water leakage, condensation, and air infiltration.
 - c. Faulty operation of movable sash and hardware.
 - d. Deterioration of materials and finishes beyond normal weathering.
 - e. Failure of insulating glass.
 - 2. Warranty Period:
 - a. Window: 10 years from date of Substantial Completion.
 - b. Glazing Units: 10 years from date of Substantial Completion.
 - c. Aluminum Finish: 10 years from date of Substantial Completion.

PART 2 - PRODUCTS

2.1 SOURCE LIMITATIONS

- A. Obtain aluminum windows from single source from single manufacturer.

2.2 WINDOW PERFORMANCE REQUIREMENTS

- A. Product Standard: Comply with AAMA/WDMA/CSA 101/I.S.2/A440 for definitions and minimum standards of performance, materials, components, accessories, and fabrication unless more stringent requirements are indicated.
 - 1. Window Certification: AAMA certified with label attached to each window.

- B. Performance Class and Grade: AAMA/WDMA/CSA 101/I.S.2/A440 as follows:
 - 1. Minimum Performance Class: AW.
 - 2. Minimum Performance Grade: 50.
- C. Thermal Transmittance: NFRC 100 maximum whole-window U-factor of **0.35 Btu/sq. ft. x h x deg F**.
- D. Solar Heat-Gain Coefficient (SHGC): NFRC 200 maximum whole-window SHGC of 0.40.
- E. Condensation-Resistance Factor (CRF): Provide aluminum windows tested for thermal performance according to AAMA 1503, showing a CRF of 52.
- F. Thermal Movements: Provide aluminum windows, including anchorage, that allow for thermal movements resulting from the following maximum change (range) in ambient and surface temperatures by preventing buckling, opening of joints, overstressing of components, failure of joint sealants, failure of connections, and other detrimental effects. Base engineering calculation on surface temperatures of materials due to both solar heat gain and nighttime-sky heat loss.
 - 1. Temperature Change: 120 deg F ambient; 180 deg F material surfaces.
- G. Windborne-Debris Impact Resistance: Passes ASTM E1886 missile-impact and cyclic-pressure tests in accordance with ASTM E1996 for Wind Zone 4 for basic protection.

2.3 ALUMINUM WINDOWS

- A. Basis-of-Design Product: Subject to compliance with requirements, provide EFCO Corp.; Model 2900 Series or comparable product by one of the following:
 - 1. Graham Architectural Products Corporation
 - 2. Kawneer Company, Inc.; Arconic Corporation
 - 3. Manko Window Systems, Inc.
 - 4. Winco Window Company, Inc.
- B. Provide manufacturer's standard aluminum window assemblies consisting of frames, sashes, glass, hardware, fasteners, and all components and accessories as required for a complete installation.
- C. Operating Types: Provide the following operating types in locations indicated on Drawings:
 - 1. Projected, awning.
 - 2. Fixed.
- D. Frames and Sashes: Aluminum extrusions complying with AAMA/WDMA/CSA 101/I.S.2/A440.
 - 1. Thermally Improved Construction: Fabricate frames, sashes, and muntins with an integral, concealed, low-conductance thermal barrier located between exterior materials and window members exposed on interior side in a manner that eliminates direct metal-to-metal contact.
- E. Insulating-Glass Units: ASTM E2190.
 - 1. Glass: ASTM C1036, Type 1, Class 1, q3.

- a. Tint: Clear.
 - b. Kind: Fully tempered where indicated on Drawings.
2. Lites: Two.
 3. Filling: Fill space between glass lites with argon.
 4. Low-E Coating: Sputtered on third surface.
 5. The outer pane of glass shall be laminated in all glazed panels located at first floor up to 9'-9" above the floor.
- F. Glazing System: Manufacturer's standard factory-glazing system that produces weathertight seal. All glazing panels to be interior glazed unless noted otherwise.
- G. Hardware, General: Provide manufacturer's standard hardware fabricated from aluminum, stainless steel, carbon steel complying with AAMA 907, or other corrosion-resistant material compatible with adjacent materials; designed to smoothly operate, tightly close, and securely lock windows, and sized to accommodate sash weight and dimensions.
1. Exposed Hardware Color and Finish: As selected by Architect from manufacturer's full range.
- H. Window Hardware: projected.
1. Gear-Type Rotary Operators: Complying with AAMA 901 when tested in accordance with ASTM E405, Method A. Provide operators that function without requiring the removal of interior screens or using screen wickets.
 - a. Type and Style: As selected by Architect from manufacturer's full range of types and styles.
 2. Hinges: Non-friction type, not less than two per sash.
 3. Lock: Lever handle and cam-action lock with keeper. If the window is 36" or larger, two latches are required.
 4. Limit Devices: Concealed support arms with adjustable, limited, hold-open limit devices designed to restrict sash opening.
 - a. Limit clear opening to 4 inches for ventilation; with custodial key release.
- I. Weather Stripping: Provide manufacturer's standard full-perimeter weather stripping for each operable sash unless otherwise indicated.
- J. Fasteners: Noncorrosive and compatible with window members, trim, hardware, anchors, and other components.
1. Exposed Fasteners: Do not use exposed fasteners to greatest extent possible. For application of hardware, use fasteners that match finish hardware being fastened.
- 2.4 ACCESSORIES
- A. Subsills: Thermally broken, extruded-aluminum subsills in configurations indicated on Drawings.
 - B. Column Covers: Extruded-aluminum profiles in sizes and configurations indicated on Drawings.
 - C. Interior Trim: Extruded-aluminum profiles in sizes and configurations indicated on Drawings.

- D. Panning Trim: Extruded-aluminum profiles in sizes and configurations indicated on Drawings.
- E. Receptor System: Two-piece, snap-together, thermally broken, extruded-aluminum receptor system that anchors windows in place.

2.5 FABRICATION

- A. Fabricate aluminum windows in sizes indicated. Include a complete system for assembling components and anchoring windows.
- B. Glaze aluminum windows in the factory.
- C. Weather strip each operable sash to provide weathertight installation.
- D. Weep Holes: Provide weep holes and internal passages to conduct infiltrating water to exterior.
- E. Complete fabrication, assembly, finishing, hardware application, and other work in the factory to greatest extent possible. Disassemble components only as necessary for shipment and installation.

2.6 GENERAL FINISH REQUIREMENTS

- A. Comply with NAAMM's "Metal Finishes Manual" for recommendations for applying and designating finishes.
- B. Protect mechanical finishes on exposed surfaces from damage by applying a strippable, temporary protective covering before shipping.
- C. Appearance of Finished Work: Noticeable variations in same piece are not acceptable. Variations in appearance of adjoining components are acceptable if they are within the range of approved Samples and are assembled or installed to minimize contrast.

2.7 ALUMINUM FINISHES

- A. Finish designations prefixed by AA comply with the system established by the Aluminum Association for designating aluminum finishes.
- B. Class I, Clear Anodic Finish: AA-M12C22A41 (Mechanical Finish: nonspecular as fabricated; Chemical Finish: etched, medium matte; Anodic Coating: Architectural Class I, clear coating 0.018 mm or thicker) complying with AAMA 611.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine openings, substrates, structural support, anchorage, and conditions, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of the Work.
- B. Verify rough opening dimensions, levelness of sill plate, and operational clearances.

- C. Examine wall flashings, vapor retarders, water and weather barriers, and other built-in components to ensure weathertight window installation.
- D. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 INSTALLATION

- A. Comply with manufacturer's written instructions for installing windows, hardware, accessories, and other components. For installation procedures and requirements not addressed in manufacturer's written instructions, comply with installation requirements in ASTM E2112.
- B. Install windows level, plumb, square, true to line, without distortion or impeding thermal movement, anchored securely in place to structural support, and in proper relation to wall flashing and other adjacent construction to produce weathertight construction.
- C. Install windows and components to drain condensation, water penetrating joints, and moisture migrating within windows to the exterior.
- D. Separate aluminum and other corrodible surfaces from sources of corrosion or electrolytic action at points of contact with other materials.

3.3 FIELD QUALITY CONTROL

- A. Testing Agency: Engage a qualified testing agency to perform tests and inspections.
 - 1. Testing and inspecting agency will interpret tests and state in each report whether tested work complies with or deviates from requirements.
- B. Testing Services: Testing and inspecting of installed windows shall take place as follows:
 - 1. Testing Methodology: Testing of windows for air infiltration and water resistance shall be performed according to AAMA 502.
 - 2. Air-Infiltration Testing:
 - a. Test Pressure: That required to determine compliance with AAMA/WDMA/CSA 101/I.S.2/A440 performance class indicated.
 - b. Allowable Air-Leakage Rate: 1.5 times the applicable AAMA/WDMA/CSA 101/I.S.2/A440 rate for product type and performance class rounded down to one decimal place.
 - 3. Water-Resistance Testing:
 - a. Test Pressure: Two-thirds times test pressure required to determine compliance with AAMA/WDMA/CSA 101/I.S.2/A440 performance grade indicated.
 - b. Allowable Water Infiltration: No water penetration.
 - 4. Testing Extent: Three windows of each type as selected by Architect and a qualified independent testing and inspecting agency. Windows shall be tested after perimeter sealants have cured.
 - 5. Test Reports: Prepared according to AAMA 502.
- C. Windows will be considered defective if they do not pass tests and inspections.
- D. Prepare test and inspection reports.

3.4 ADJUSTING, CLEANING, AND PROTECTION

- A. Adjust operating sashes and hardware for a tight fit at contact points and weather stripping for smooth operation and weathertight closure.
- B. Clean exposed surfaces immediately after installing windows. Avoid damaging protective coatings and finishes. Remove excess sealants, glazing materials, dirt, and other substances.
 - 1. Keep protective films and coverings in place until final cleaning.
- C. Remove and replace glass that has been broken, chipped, cracked, abraded, or damaged during construction period.
- D. Protect window surfaces from contact with contaminating substances resulting from construction operations. If contaminating substances do contact window surfaces, remove contaminants immediately according to manufacturer's written instructions.

END OF SECTION 085113

SECTION 323913.19 (Revised for Addendum 06)
DECORATIVE METAL BOLLARDS

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section Includes:

- 1. Security posts

1.3 RELATED SECTIONS

- A. Refer to the following specification sections for related Work.

- 1. Section 312000 "Concrete" for footing and fill.

1.4 SUBMITTALS

- A. Product Data:

- 1. Provide for each type of bollard, component, finish, and accessory specified.
- 2. Color/Finish Sample: Provide for each type of material.
- 3. Setting Drawings:
 - a. Show embedded items and cutouts required for work specified.
- 4. Maintenance Data: Submit manufacturer's field touch -up, cleaning and maintenance instructions.
- 5. Warranty Documentation: Submit sample of manufacturer's warranty.

1.5 QUALITY ASSURANCE

- A. Installer Qualifications: Comply with Section 01 43 00 – Quality Assurance.

1.6 DELIVERY, STORAGE, AND HANDLING

- A. Comply with Section 01 66 00 – Product Storage and Handling Requirements.
- B. Protect bollards and accessories during delivery, storage, and handling.

PART 2 - PRODUCTS

2.1 SECURITY BOLLARDS AND COVERS

A. Basis of Design Manufacturer:

1. Reliance Foundry Co. Ltd., (604) 547-0460, <https://www.reliance-foundry.com/bollard>

B. Products:

1. Security Post: Model R-1007-06, 84-inch height by 6-5/8-inch diameter steel pipe bollard, color coating – primer red

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine paving or other substrates for compliance with manufacturer's requirements for placement and location of embedded items, condition of substrate, and other conditions affecting installation of bollards.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 INSTALLATION

- A. General: Comply with manufacturer's installation instructions and setting drawings.
- B. Do not install damaged, cracked, chipped, deformed or marred bollards. Field touch-up/polish minor imperfections in accordance with manufacturer's instructions. Replace bollards that cannot be field repaired.
- C. Bollards to be painted in the field: color RAQL1028 Yellow or equivalent approved by landscape architect and owner.

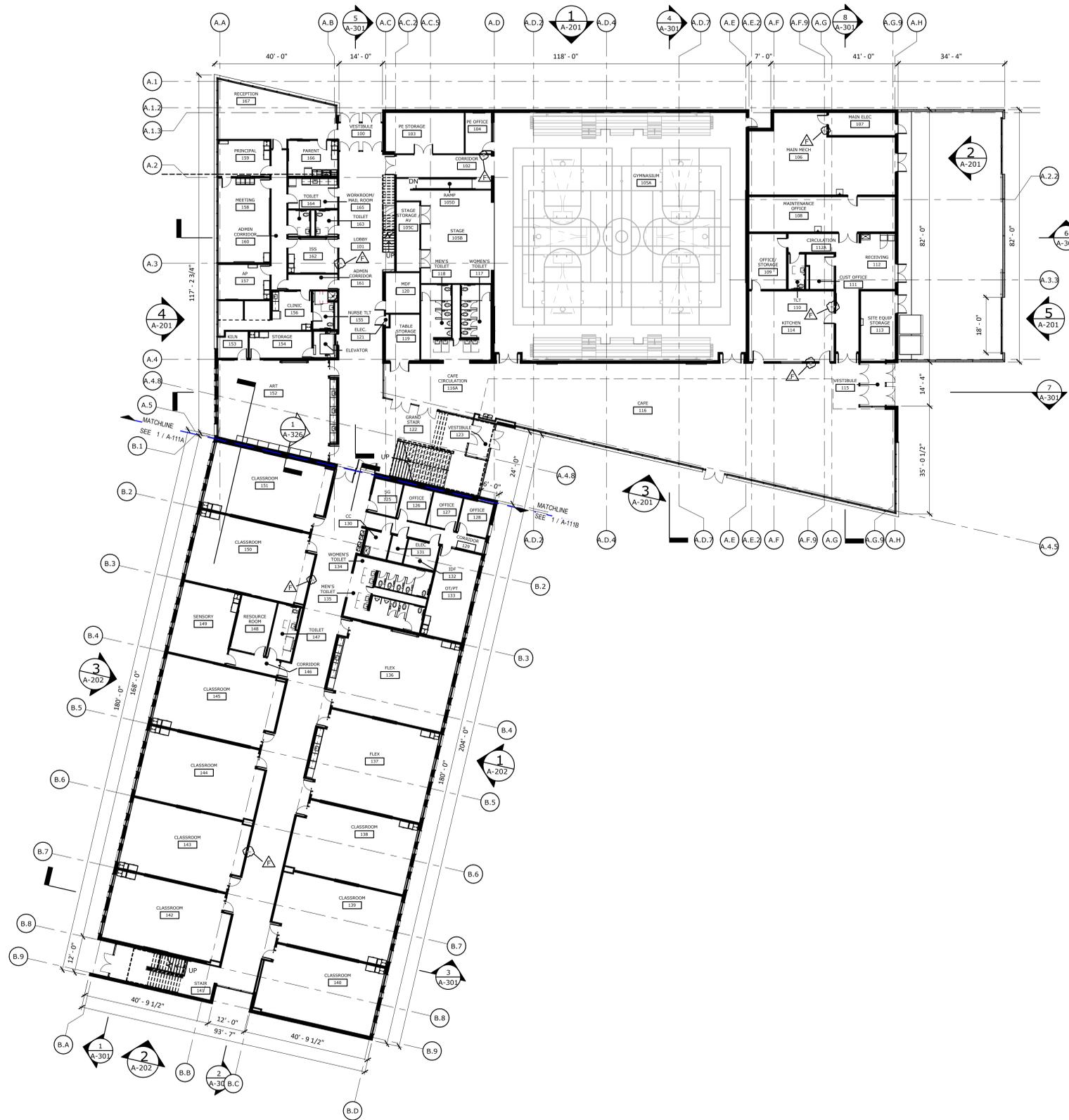
3.3 CLEANING & PROTECTION

- A. Protect bollards against damage.
- B. Immediately prior to Substantial Completion, clean bollards in accordance with manufacturer's instructions to remove dust, dirt, adhesives and other foreign materials.
- C. Touch up damaged finishes according to manufacturer's instructions.

3.4 CLOSEOUT ACTIVITIES

- A. Provide executed warranty.

END OF SECTION 323912.19



ARCHITECTURAL KEYS LEGEND

NEW CONSTRUCTION

DEMOLISHED CONSTRUCTION

EXISTING CONSTRUCTION

□ DENOTES FRAME ELEVATION. SEE FRAME ELEVATIONS.

⊕ DENOTES DOOR NUMBER. SEE DOOR SCHEDULE.

○ DENOTES ITEM FROM LEGEND. PLAN ELEVATION SECTION NOTES.

AS WALL TYPES. SEE WALL TYPE LEGEND SHEET A-003.

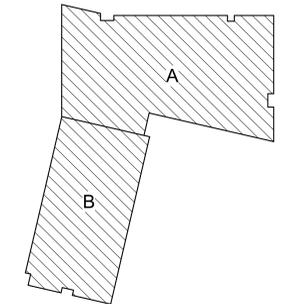
P-1 WALL FINISH. SEE ROOM FINISH SCHEDULE SHEET I-101.

⊗ DEMOLITION NOTES

⊗ FLOOR PLAN NOTES

⊗ EXTERIOR ELEVATION NOTES

- GENERAL PLAN NOTES**
- A. ALL DIMENSIONS SHOWN ARE TO FACE OF STUD OR MASONRY, UNLESS NOTED OTHERWISE. DIMENSIONS DESIGNATED AS "CLR OR CLEAR" INDICATE A CLEAR DIMENSION FROM FACE OF FINISH TO FACE OF FINISH. DIMENSIONS OF EXTERIOR WALLS ARE TO OUTSIDE EDGE OF FOUNDATION. DIMENSIONS AT MASONRY WALLS ARE NOMINAL, UNLESS OTHERWISE NOTED.
- B. PROVIDE BRACING AND BLOCKING AS REQUIRED IN WALLS SUPPORTING CASEWORK, TACKBOARDS, MARKERBOARDS, AND RESTROOM ACCESSORIES.
- C. ALL DOOR FRAMES ARE LOCATED 6" FROM ADJACENT WALL TO DOOR HINGE SIDE OF FRAME, UNLESS NOTED OTHERWISE.
- D. CMU TO BE BULLNOSED AT WALL ENDS AND WALL OPENINGS.
- E. SEAL ALL JOINTS BETWEEN DISSIMILAR MATERIALS.
- F. ALL GYPSUM WALLBOARD IS 5/8" TYPE "X", UNLESS NOTED OTHERWISE.
- G. BASE ELEVATION IS 0'-0" = 746.72' (UNITED STATES GEOLOGICAL SURVEY DATA).



1_01 FLOOR PLAN - OVERALL

A-101 1/16" = 1'-0"

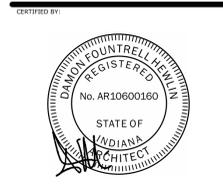
KEY PLAN - NOT TO SCALE

CONSTRUCTION DOCUMENT SET

IPS 69 - JOYCE KILMER
3421 N KEYSTONE AVE.
INDIANAPOLIS, INDIANA

REVISIONS

No.	Description	Date
95%	CD SET	12-18-24
100%	CD SET	01-17-25
F	ADD #6	03-12-25



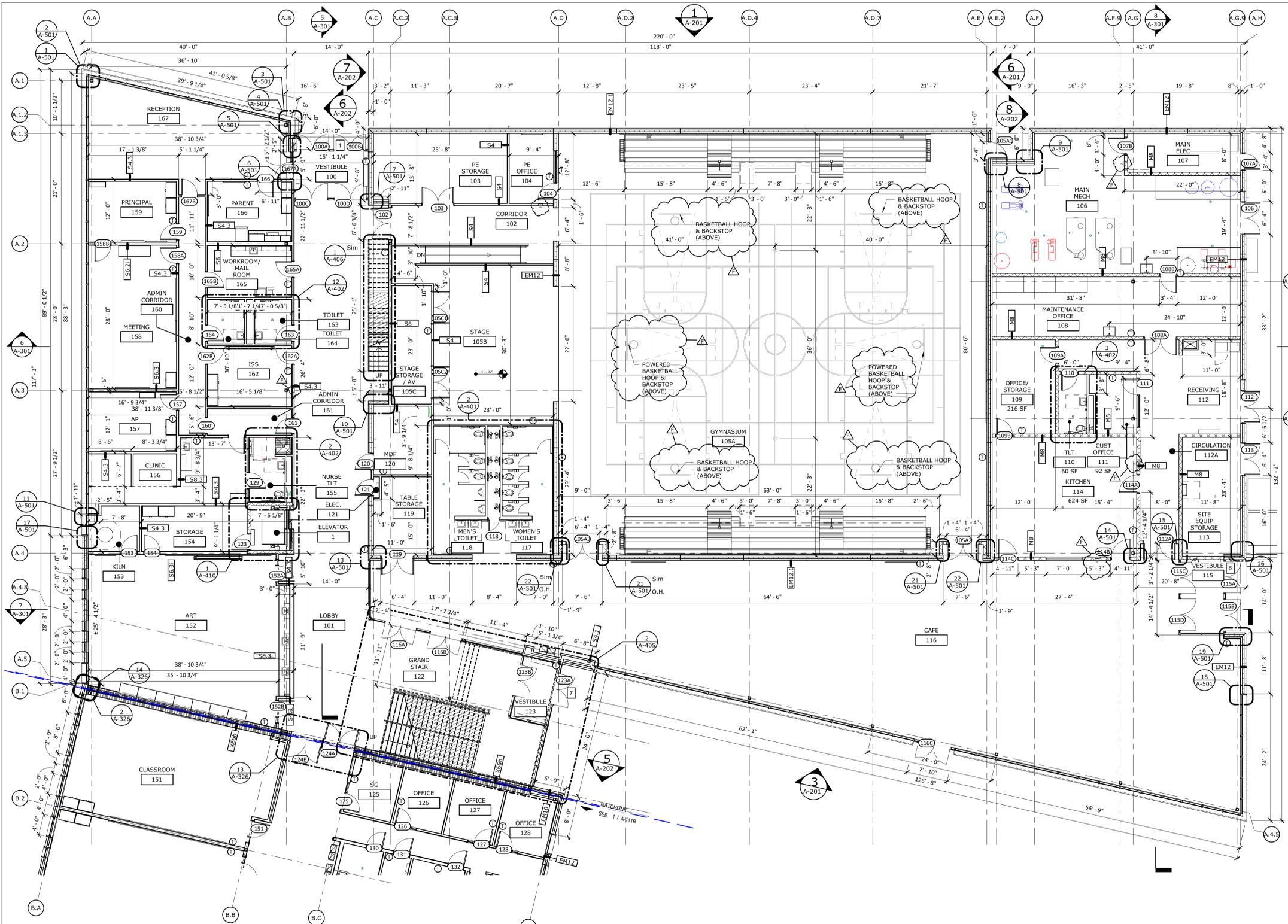
ISSUE DATE: 01/17/2025

DRAWN: Author CHECKED: Checker

PROJECT NO.: P23-0116

REVISION NO.: F

**01 FLOOR PLAN -
OVERALL**

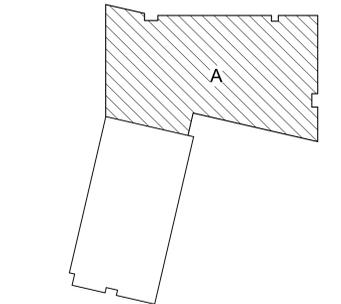


1 01 FLOOR ARCHITECTURAL PLAN - AREA A
 A-111A 1/8" = 1'-0"

ARCHITECTURAL KEYS LEGEND

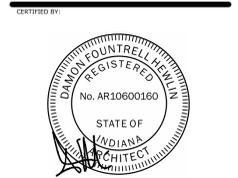
- NEW CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- EXISTING CONSTRUCTION
- DENOTES FRAME ELEVATION. SEE FRAME ELEVATIONS.
- DENOTES DOOR NUMBER. SEE DOOR SCHEDULE.
- DENOTES ITEM FROM LEGEND. PLAN ELEVATION SECTION NOTES.
- WALL TYPES. SEE WALL TYPE LEGEND SHEET A-003.
- WALL FINISH. SEE ROOM FINISH SCHEDULE SHEET I-101.
- DEMOLITION NOTES
- FLOOR PLAN NOTES
- EXTERIOR ELEVATION NOTES

- GENERAL PLAN NOTES**
- A. ALL DIMENSIONS SHOWN ARE TO FACE OF STUD OR MASONRY, UNLESS NOTED OTHERWISE. DIMENSIONS DESIGNATED AS "CLR OR CLEAR" INDICATE A CLEAR DIMENSION FROM FACE OF FINISH TO FACE OF FINISH. DIMENSIONS OF EXTERIOR WALLS ARE TO OUTSIDE EDGE OF FOUNDATION. DIMENSIONS AT MASONRY WALLS ARE NOMINAL, UNLESS OTHERWISE NOTED.
 - B. PROVIDE BRACING AND BLOCKING AS REQUIRED IN WALLS SUPPORTING CASEWORK, TACKBOARDS, MARKERBOARDS, AND RESTROOM ACCESSORIES.
 - C. ALL DOOR FRAMES ARE LOCATED 6" FROM ADJACENT WALL TO DOOR HINGE SIDE OF FRAME, UNLESS NOTED OTHERWISE.
 - D. CMU TO BE BULLNOSED AT WALL ENDS AND WALL OPENINGS.
 - E. SEAL ALL JOINTS BETWEEN DISSIMILAR MATERIALS.
 - F. ALL GYPSUM WALLBOARD IS 5/8" TYPE "X", UNLESS NOTED OTHERWISE.
 - G. BASE ELEVATION IS 0'-0" = 746.72' (UNITED STATES GEOLOGICAL SURVEY DATA).



REVISIONS

No.	Description	Date
95%	CD SET	12-18-24
100%	CD SET	01-17-25
C	ADD #3	02-24-25
F	ADD #6	03-12-25

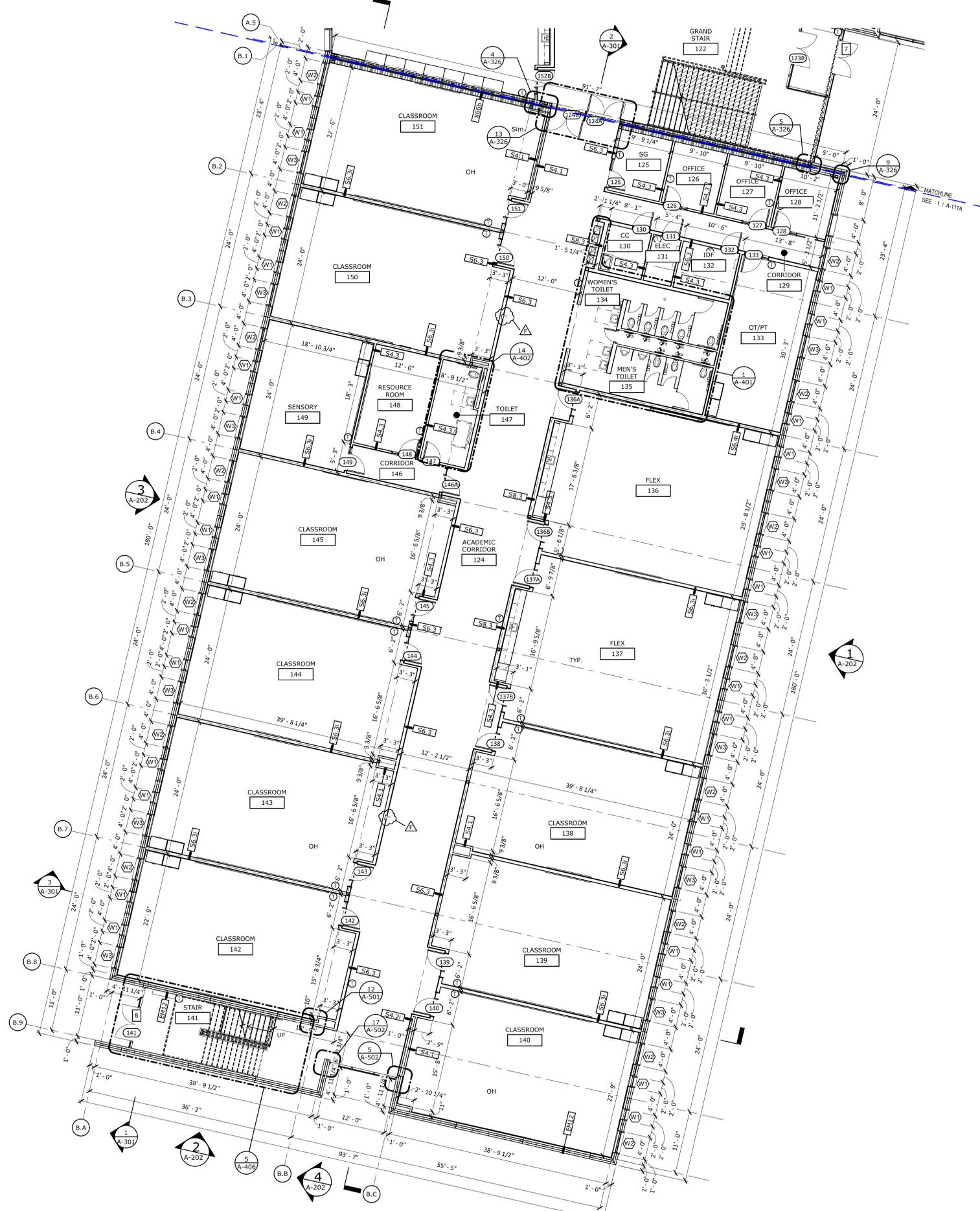


ISSUE DATE: 01/17/2025

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PROJECT NO.: P23-0116

REVISION NO.: F

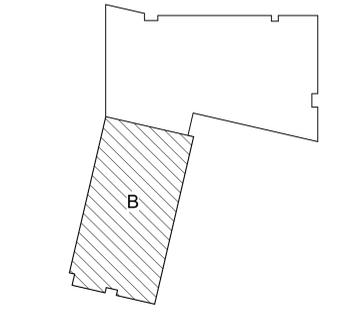


1 01 FLOOR ARCHITECTURAL PLAN - AREA B
 A-111B 1/8" = 1'-0"

ARCHITECTURAL KEYS LEGEND

- NEW CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- EXISTING CONSTRUCTION
- DENOTES FRAME ELEVATION. SEE FRAME ELEVATIONS.
- DENOTES DOOR NUMBER. SEE DOOR SCHEDULE.
- DENOTES ITEM FROM LEGEND. PLAN ELEVATION SECTION NOTES.
- WALL TYPES. SEE WALL TYPE LEGEND SHEET A-003.
- WALL FINISH. SEE ROOM FINISH SCHEDULE SHEET F-101.
- DEMOLITION NOTES
- FLOOR PLAN NOTES
- EXTERIOR ELEVATION NOTES

- GENERAL PLAN NOTES**
- A. ALL DIMENSIONS SHOWN ARE TO FACE OF STUD OR MASONRY, UNLESS NOTED OTHERWISE. DIMENSIONS DESIGNATED AS "CLR OR CLEAR" INDICATE A CLEAR DIMENSION FROM FACE OF FINISH TO FACE OF FINISH. DIMENSIONS OF EXTERIOR WALLS ARE TO OUTSIDE EDGE OF FOUNDATION. DIMENSIONS AT MASONRY WALLS ARE NOMINAL, UNLESS OTHERWISE NOTED.
 - B. PROVIDE BRACING AND BLOCKING AS REQUIRED IN WALLS SUPPORTING CASEWORK, TACKBOARDS, MARKERBOARDS, AND RESTROOM ACCESSORIES.
 - C. ALL DOOR FRAMES ARE LOCATED 6" FROM ADJACENT WALL TO DOOR HINGE SIDE OF FRAME, UNLESS NOTED OTHERWISE.
 - D. CMU TO BE BULLNOSED AT WALL ENDS AND WALL OPENINGS.
 - E. SEAL ALL JOINTS BETWEEN DISSIMILAR MATERIALS.
 - F. ALL GYPSUM WALLBOARD IS 5/8" TYPE "X", UNLESS NOTED OTHERWISE.
 - G. BASE ELEVATION IS 0'-0" = 746.72' (UNITED STATES GEOLOGICAL SURVEY DATA).



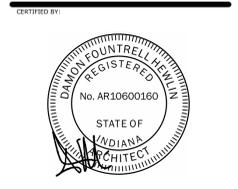
KEY PLAN - NOT TO SCALE

CONSTRUCTION DOCUMENT SET

IPS 69 - JOYCE KILMER
 3421 N KEYSTONE AVE.
 INDIANAPOLIS, INDIANA

REVISIONS

No.	Description	Date
95%	CD SET	12-18-24
100%	CD SET	01-17-25
C	ADD #3	02-24-25
F	ADD #6	03-12-25



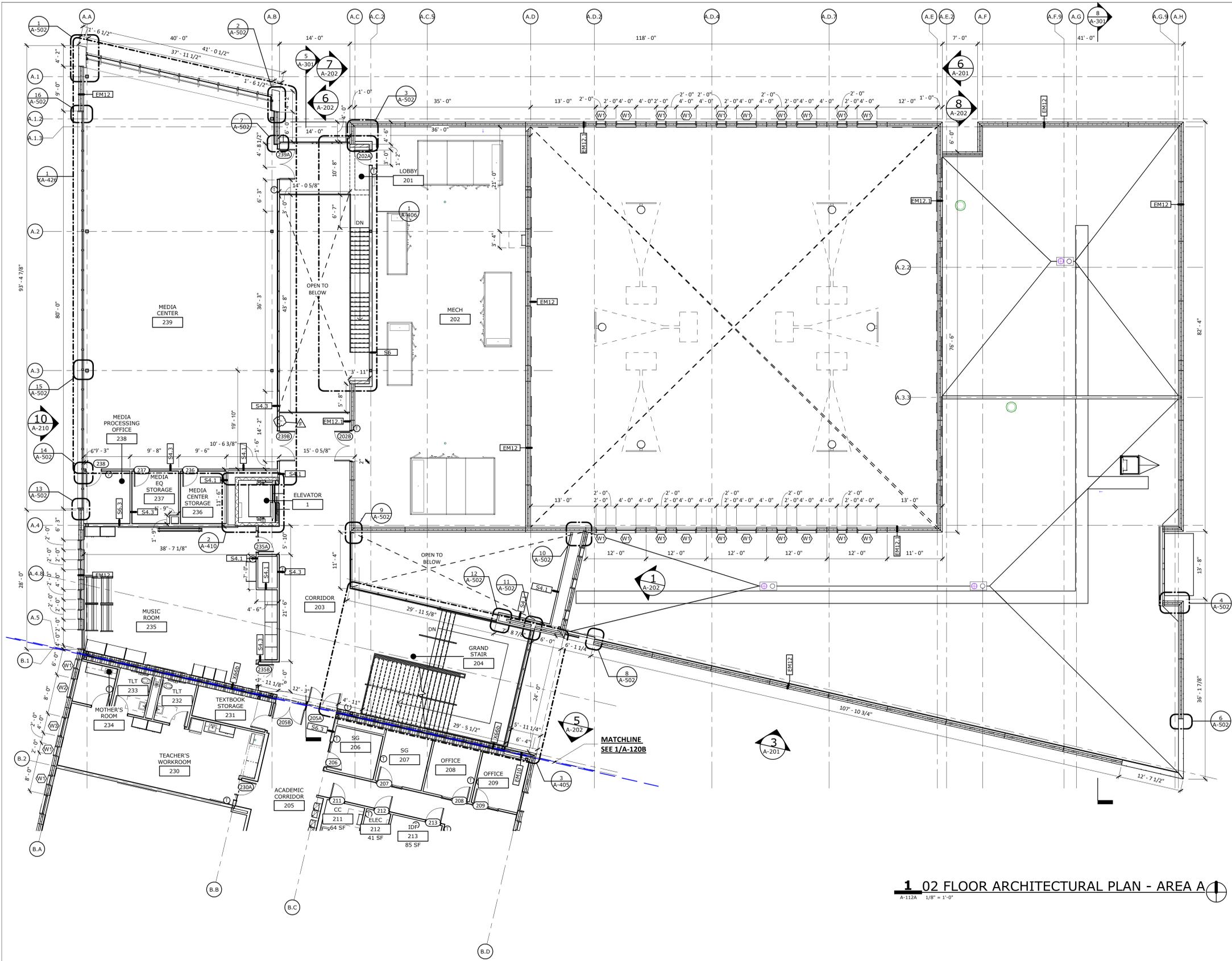
ISSUE DATE: 01/17/2025

DRAWN: Author **CHECKED:** Checker

PROJECT NO.: P23-0116

REVISION NO.: F

**01 FLOOR PLAN -
 AREA B**

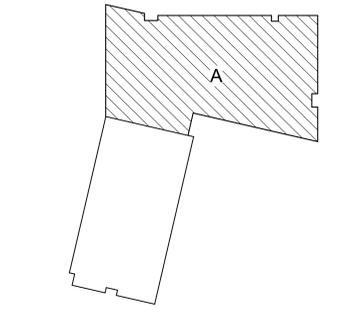


1 02 FLOOR ARCHITECTURAL PLAN - AREA A
 A-112A 1/8" = 1'-0"

ARCHITECTURAL KEYS LEGEND

- NEW CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- EXISTING CONSTRUCTION
- DENOTES FRAME ELEVATION. SEE FRAME ELEVATIONS.
- DENOTES DOOR NUMBER. SEE DOOR SCHEDULE.
- DENOTES ITEM FROM LEGEND. PLAN ELEVATION SECTION NOTES.
- WALL TYPES. SEE WALL TYPE LEGEND SHEET A-003.
- WALL FINISH. SEE ROOM FINISH SCHEDULE SHEET F-101.
- DEMOLITION NOTES
- FLOOR PLAN NOTES
- EXTERIOR ELEVATION NOTES

- GENERAL PLAN NOTES**
- A. ALL DIMENSIONS SHOWN ARE TO FACE OF STUD OR MASONRY, UNLESS NOTED OTHERWISE. DIMENSIONS DESIGNATED AS "CLR OR CLEAR" INDICATE A CLEAR DIMENSION FROM FACE OF FINISH TO FACE OF FINISH. DIMENSIONS OF EXTERIOR WALLS ARE TO OUTSIDE EDGE OF FOUNDATION. DIMENSIONS AT MASONRY WALLS ARE NOMINAL, UNLESS OTHERWISE NOTED.
 - B. PROVIDE BRACING AND BLOCKING AS REQUIRED IN WALLS SUPPORTING CASEWORK, TACKBOARDS, MARKERBOARDS, AND RESTROOM ACCESSORIES.
 - C. ALL DOOR FRAMES ARE LOCATED 6" FROM ADJACENT WALL TO DOOR HINGE SIDE OF FRAME, UNLESS NOTED OTHERWISE.
 - D. CMU TO BE BULLNOSED AT WALL ENDS AND WALL OPENINGS.
 - E. SEAL ALL JOINTS BETWEEN DISSIMILAR MATERIALS.
 - F. ALL GYPSUM WALLBOARD IS 5/8" TYPE "X", UNLESS NOTED OTHERWISE.
 - G. BASE ELEVATION IS 0'-0" = 746.72' (UNITED STATES GEOLOGICAL SURVEY DATA).

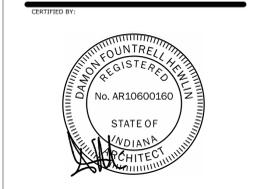


CONSTRUCTION DOCUMENT SET

IPS 69 - JOYCE KILMER
 3421 N KEYSTONE AVE.
 INDIANAPOLIS, INDIANA

REVISIONS

No.	Description	Date
95%	CD SET	12-18-24
100%	CD SET	01-17-25
C	ADD #3	02-24-25
F	ADD #6	03-12-25



ISSUE DATE: 01/17/2025

DRAWN: Author **CHECKED:** Checker

PROJECT NO.: P23-0116

REVISION NO.: F

**02 FLOOR PLAN -
 AREA A**

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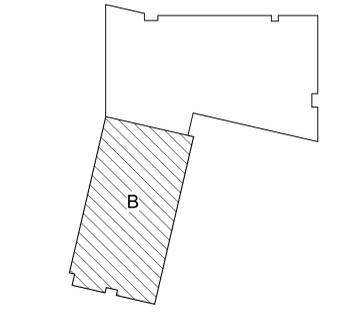


1 02 FLOOR ARCHITECTURAL PLAN - AREA B
A-112B 1/8" = 1'-0"

ARCHITECTURAL KEYS LEGEND

- NEW CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- EXISTING CONSTRUCTION
- DENOTES FRAME ELEVATION. SEE FRAME ELEVATIONS.
- ⊕ DENOTES DOOR NUMBER. SEE DOOR SCHEDULE.
- DENOTES ITEM FROM LEGEND. PLAN ELEVATION SECTION NOTES.
- WALL TYPES. SEE WALL TYPE LEGEND SHEET A-003.
- P-1 WALL FINISH. SEE ROOM FINISH SCHEDULE SHEET F-101.
- ⊗ DEMOLITION NOTES
- ⊗ FLOOR PLAN NOTES
- ⊗ EXTERIOR ELEVATION NOTES

- GENERAL PLAN NOTES**
- ALL DIMENSIONS SHOWN ARE TO FACE OF STUD OR MASONRY, UNLESS NOTED OTHERWISE. DIMENSIONS DESIGNATED AS "CLR OR CLEAR" INDICATE A CLEAR DIMENSION FROM FACE OF FINISH TO FACE OF FINISH. DIMENSIONS OF EXTERIOR WALLS ARE TO OUTSIDE EDGE OF FOUNDATION. DIMENSIONS AT MASONRY WALLS ARE NOMINAL, UNLESS OTHERWISE NOTED.
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 - SEAL ALL JOINTS BETWEEN DISSIMILAR MATERIALS.
 - ALL GYPSUM WALLBOARD IS 5/8" TYPE "X", UNLESS NOTED OTHERWISE.
 - BASE ELEVATION IS 0'-0" = 746.72' (UNITED STATES GEOLOGICAL SURVEY DATA).



KEY PLAN - NOT TO SCALE

CONSTRUCTION DOCUMENT SET

IPS 69 - JOYCE KILMER
3421 N KEYSTONE AVE.
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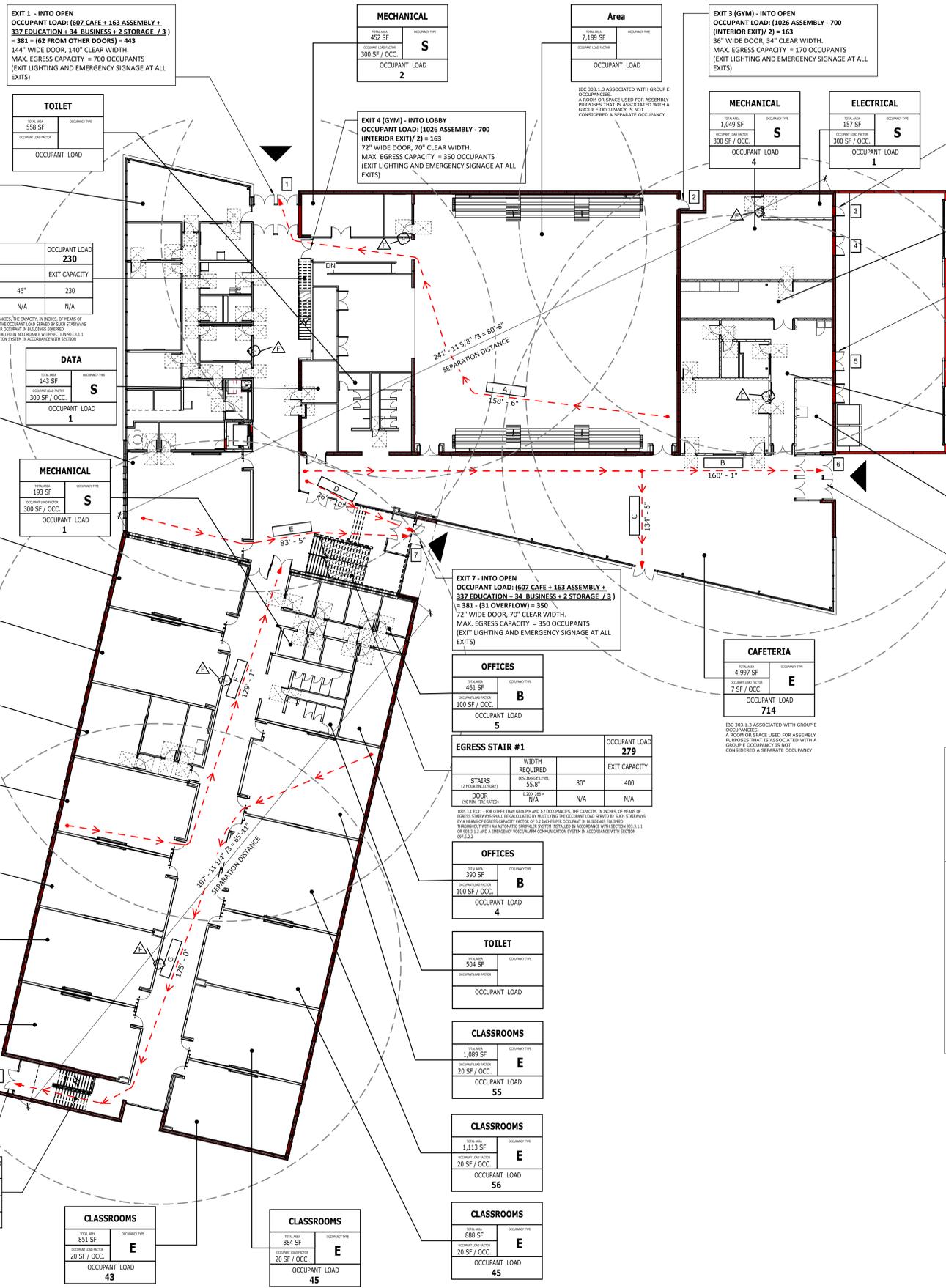
ISSUE DATE: 01/17/2025

DRAWN: Author CHECKED: Checker

PROJECT NO.: P23-0116

REVISION NO.: F

02 FLOOR PLAN - AREA B



01 FLOOR PLAN - LIFE SAFETY

G-100 1/16" = 1'-0"

CODE SUMMARY

APPLICABLE CODES: 2014 INDIANA BUILDING CODES*, 2ND EDITION
 GENERAL ADMINISTRATIVE RULES, 2ND EDITION
 2014 INDIANA FIRE CODE
 2009 INDIANA ELECTRICAL CODE
 2014 INDIANA MECHANICAL CODE
 2012 INDIANA PLUMBING CODE
 2010 INDIANA ENERGY CONSERVATION CODE
 *CODE REFERENCED UNLESS NOTED OTHERWISE

FEDERAL: 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

CODE REFERENCES ARE FROM THE 2014 IBC UNLESS OTHERWISE NOTED

SCOPE OF WORK: THE PROJECT INVOLVES CONSTRUCTION OF A 85,862 SQFT NEW SCHOOL BUILDING AFTER THE DEMOLITION OF THE EXISTING IPS 69 STRUCTURE.

APPLICABILITY OF CODES TO THE PROJECT: ALL STATE CODES APPLY TO THIS NEW CONSTRUCTION PROJECT. THE PROJECT DOES NOT INCLUDE A CHANGE OF OCCUPANCY. THE REQUIREMENTS IN THIS CODE SUMMARY APPLY ONLY TO NEW CONSTRUCTION.

OCCUPANCY CLASSIFICATION: EDUCATIONAL USE FOR ELEMENTARY STUDENTS AND ASSEMBLY AREAS ASSOCIATED WITH THE E OCCUPANCY
 E OCCUPANCY [305.1, 303.1.3] OFFICES AND ADMINISTRATIVE B OCCUPANCY [304.1]

CONSTRUCTION TYPE: TYPE IIB CONSTRUCTION

ALLOWABLE AREA: TABULAR AREA: IBC 507.4 TWO STORY THE AREA OF A GROUP B, E, F, H OR S BUILDING NO MORE THAN TWO STORIES ABOVE GRADE. PLANE SHALL NOT BE LIMITED WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM. SUBMITTED AND ADJUSTED BY PUBLIC WORKS OR VARIATION NOT LESS THAN 60 FEET IN WIDTH.

ALLOWABLE HEIGHT: 2 STORES AND 55 FEET (TABLE 503)
 2 STORY ACTUAL

BUILDING ELEMENTS - FIRE RESISTIVE REQUIREMENTS: STRUCTURAL FRAME, WALLS, FLOORS, AND ROOF ARE REQUIRED TO BE A MINIMUM OF NON-COMBUSTIBLE, NON-RATED CONSTRUCTION (TABLE 601)

EXTERIOR WALLS - FIRE RESISTIVE REQUIREMENTS: EXTERIOR WALLS NOT REQUIRED TO BE RATED WHERE HAVING AT LEAST 10 FEET OF FIRE SEPARATION DISTANCE. (TABLE 602)

MAXIMUM AREA OF EXTERIOR WALL OPENINGS: UNPROTECTED OPENINGS, SPRINKLERED - FIRE SEPARATION:
 < 3 FEET - NONE PERMITTED
 3 - 5 FEET - 15%
 5 - 10 FEET - 25%
 ≥ 10 FEET - UNLIMITED (TABLE 705.8)

OCCUPANCY SEPARATIONS: OCCUPANCY SEPARATIONS NOT REQUIRED, BUILDING COMPLIES AS NON-SEPARATED MIXED USES. [508.3]

INCIDENTAL USE SEPARATIONS: NONE APPLICABLE TO THE PROJECT.

OCCUPANT LOAD FACTORS: OFFICE/ADMINISTRATIVE: 100 SQ. FT./OCC.
 CLASSROOMS: 20 SQ. FT./OCC.
 GYMNASIUMS FOR EXCLUSIVELY FOR SPORTS: 50 SQ. FT./OCC.
 UNCONCENTRATED ASSEMBLY USE: 15 SQ. FT./OCC.
 CONCENTRATED ASSEMBLY USE: 7 SQ. FT./OCC.
 STORAGE: 300 SQ. FT./OCC. (TABLE 1004.1.2)

VESTIBULES: VESTIBULES ARE REQUIRED AT PRIMARY ENTRANCES THAT LEAD TO AND FROM OPEN/UNPROTECTED SPACES GREATER OR EQUAL TO 3000 SQFT (IECC)

CORRIDORS: NEW CORRIDORS HAVING A CAPACITY OF 100 OR MORE MUST BE A MINIMUM 72 INCHES IN CLEAR AND UNOBSTRUCTED WIDTH. A MINIMUM OF 44 INCHES IS PERMITTED WHERE SERVING AN OCCUPANT LOAD LESS THAN 100 AND A MINIMUM OF 36 INCHES IS PERMITTED WHERE SERVING AN OCCUPANT LOAD LESS THAN 50. (TABLE 1018.2)
 CORRIDORS PERMITTED TO BE NON-RATED CONSTRUCTION. [1018.1]
 DEAD END CORRIDORS MUST NOT EXCEED 50 FEET. [1018.4]

DOORS: DOOR WIDTH MUST BE A MINIMUM OF 32 INCHES CLEAR AND 48 INCHES MAXIMUM. [1008.1.1]
 EGRESS DOORS MUST SWING IN THE DIRECTION OF EGRESS WHEN SERVING 50 OR MORE OCCUPANTS. EGRESS DOORS ARE REQUIRED TO BE SIDE-HINGED SWINGING TYPE, EXCEPT FOR OFFICE AND STORAGE AREAS WITH AN OCCUPANT LOAD OF LESS THAN 10. MANUALLY OPERATED HORIZONTAL SLIDING DOORS PERMITTED FROM ROOMS WITH AN OCCUPANT LOAD THAT DOES NOT EXCEED 10. [1008.1.2]

PANIC HARDWARE: PANIC HARDWARE IS REQUIRED FOR DOORS THAT LATCH IN E OCCUPANCIES WHERE THE ROOM OR AREA HAS AN OCCUPANT LOAD OF 50 OR MORE. [1008.1.10]

NUMBER OF EXITS: 2 EXITS REQUIRED PER FLOOR FOR AN OCCUPANT LOAD OF 1-500
 3 EXITS REQUIRED PER FLOOR FOR AN OCCUPANT LOAD OF 501-1,000
 4 EXITS REQUIRED PER FLOOR FOR AN OCCUPANT LOAD GREATER THAN 1,000 (TABLE 1021.2)
 AN EXIT CAPACITY OF 0.15 IN/OCCUPANT MUST BE PROVIDED FOR HORIZONTAL TRAVEL SUCH AS DOORS, RAMPS, ETC. [1008.3]

ARRANGEMENT OF EXITS: WHEN TWO EXITS OR EXIT ACCESS DOORWAYS ARE REQUIRED, THEY MUST BE SEPARATED BY AT LEAST ONE-THIRD OF THE OVERALL DIAGONAL DIMENSION OF THE AREA SERVED. [1015.2.1]

EXIT TRAVEL DISTANCE: EXIT ACCESS TRAVEL DISTANCE IS PERMITTED TO BE A MAXIMUM OF 250 FEET FOR E OCCUPANCIES AND 300 FEET FOR B OCCUPANCIES. (TABLE 1016.1)

MEANS OF EGRESS: TWO MEANS OF EGRESS MUST BE PROVIDED FROM ANY SPACE WHERE THE OCCUPANT LOAD EXCEEDS 49 OR WHERE THE COMMON PATH OF TRAVEL EXCEEDS 75 FEET FOR E OCCUPANCIES AND 100 FEET FOR B OCCUPANCIES. (TABLE 1015.1, TABLE 1014.3)

EMERGENCY AND EGRESS LIGHTING: EXIT SIGNS REQUIRED TO INDICATE THE DIRECTION OF EGRESS TRAVEL FOR CORRIDORS, ROOMS AND AREAS THAT REQUIRE MORE THAN ONE EXIT ACCESS. [1011.1]
 EMERGENCY LIGHTING IS REQUIRED IN ALL CORRIDORS, ROOMS, SPACES THAT REQUIRE MORE THAN ONE MEANS OF EGRESS OR EXIT AND AT NEW EXTERIOR LANDINGS IN BUILDINGS THAT REQUIRE MORE THAN ONE EXIT. [1009.5]

AUTOMATIC SPRINKLERS: THE STRUCTURE WILL BE SPRINKLERED IN ACCORDANCE WITH NFPA 13.

FIRE ALARM SYSTEM: A FIRE ALARM SYSTEM IS REQUIRED THROUGHOUT THE BUILDING [907.2.3]

SMOKE DETECTION: SMOKE DETECTORS ARE REQUIRED FOR HVAC SHUTDOWN FOR NEW SYSTEMS DELIVERING IN EXCESS OF 2,000 CFM [606 IMC]

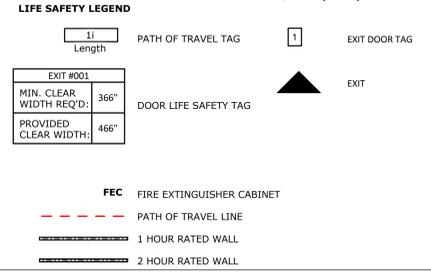
TABLE 2902.1

OCCUPANCY TYPE	WC MEN	WC WOMEN	LAV.	DF	SERV. SINK
BUSINESS (B)	1 PER 25*	1 PER 25*	1 PER 40**	1 PER 100	1 REQUIRED
STORAGE (S-1)	1 PER 100	1 PER 100	1 PER 100	1 PER 1,000	1 REQUIRED
EDUCATION (E)	1 PER 50	1 PER 50	1 PER 100	1 PER 100	1 REQUIRED

*1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50
 **1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80

FIXTURE CALCULATION

OCCUPANCY	TOTAL OCCUPANTS	OCCUPANT BREAKDOWN		LAV	DRINKING FOUNTAINS	SERV. SINK
		M	W			
BUSINESS (B)	82	41	41	2	2	-
STORAGE (S-1)	17	9	9	1	1	-
EDUCATION (E)	1,157	579	579	12	12	12
TOTALS	1,256	629	629	15	15	12
PROVIDED						



METICULOUS

ARCHITECTURE, LANDSCAPE, INTERIOR DESIGN, URBAN PLANNING

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CONSTRUCTION DOCUMENT SET

IPS 69 - JOYCE KILMER
 3421 N KEYSTONE AVE.
 INDIANAPOLIS, INDIANA

REVISIONS

No.	Description	Date
1	95% CD SET	12-18-24
2	100% CD SET	01-17-25
F	ADD #6	03-12-25

CERTIFIED BY:

ISSUE DATE: 01/17/2025

DRAWN: Author CHECKED: Checker

PROJECT NO.: P23-0116

REVISION NO.: F

LIFE SAFETY PLAN

EGRESS STAIR #3				OCCUPANT LOAD 213	
STAIRS (2 HOOR ENCL. SEALS)	WIDTH REQUIRED	DISCHARGE LEVEL	EXIT CAPACITY		
	46"	46"	230		
DOOR (96 MIN. FIRE RATED)	0.25 x 2.28 = N/A	N/A	N/A		

MEDIA CENTER		OCCUPANT LOAD 63	
TOTAL AREA	3,107 SF	OCCUPANCY TYPE	E
ROOM AREA PER OCC.	50 SF / OCC.		

STORAGE		OCCUPANT LOAD 1	
TOTAL AREA	199 SF	OCCUPANCY TYPE	S
ROOM AREA PER OCC.	300 SF / OCC.		

CLASSROOMS		OCCUPANT LOAD 54	
TOTAL AREA	1,074 SF	OCCUPANCY TYPE	E
ROOM AREA PER OCC.	20 SF / OCC.		

OFFICES		OCCUPANT LOAD 6	
TOTAL AREA	521 SF	OCCUPANCY TYPE	B
ROOM AREA PER OCC.	100 SF / OCC.		

TOILET		OCCUPANT LOAD	
TOTAL AREA	504 SF	OCCUPANCY TYPE	
ROOM AREA PER OCC.			

CLASSROOMS		OCCUPANT LOAD 45	
TOTAL AREA	890 SF	OCCUPANCY TYPE	E
ROOM AREA PER OCC.	20 SF / OCC.		

CLASSROOMS		OCCUPANT LOAD 45	
TOTAL AREA	889 SF	OCCUPANCY TYPE	E
ROOM AREA PER OCC.	20 SF / OCC.		

CLASSROOMS		OCCUPANT LOAD 45	
TOTAL AREA	889 SF	OCCUPANCY TYPE	E
ROOM AREA PER OCC.	20 SF / OCC.		

CLASSROOMS		OCCUPANT LOAD 45	
TOTAL AREA	889 SF	OCCUPANCY TYPE	E
ROOM AREA PER OCC.	20 SF / OCC.		

CLASSROOMS		OCCUPANT LOAD 43	
TOTAL AREA	856 SF	OCCUPANCY TYPE	E
ROOM AREA PER OCC.	20 SF / OCC.		

EGRESS STAIR #2				OCCUPANT LOAD 213	
STAIRS (2 HOOR ENCL. SEALS)	WIDTH REQUIRED	DISCHARGE LEVEL	EXIT CAPACITY		
	78"	78"	390		
DOOR (96 MIN. FIRE RATED)	0.25 x 2.28 = N/A	N/A	N/A		

CLASSROOMS		OCCUPANT LOAD 45	
TOTAL AREA	887 SF	OCCUPANCY TYPE	E
ROOM AREA PER OCC.	20 SF / OCC.		

MECHANICAL		OCCUPANT LOAD 9	
TOTAL AREA	2,542 SF	OCCUPANCY TYPE	S
ROOM AREA PER OCC.	300 SF / OCC.		

EGRESS STAIR #1				OCCUPANT LOAD 213	
STAIRS (2 HOOR ENCL. SEALS)	WIDTH REQUIRED	DISCHARGE LEVEL	EXIT CAPACITY		
	60.8"	N/A	450		
DOOR (96 MIN. FIRE RATED)	0.25 x 2.28 = N/A	N/A	N/A		

OFFICES		OCCUPANT LOAD 5	
TOTAL AREA	461 SF	OCCUPANCY TYPE	B
ROOM AREA PER OCC.	100 SF / OCC.		

MECHANICAL		OCCUPANT LOAD 1	
TOTAL AREA	198 SF	OCCUPANCY TYPE	S
ROOM AREA PER OCC.	300 SF / OCC.		

OFFICES		OCCUPANT LOAD 4	
TOTAL AREA	342 SF	OCCUPANCY TYPE	B
ROOM AREA PER OCC.	100 SF / OCC.		

CLASSROOMS		OCCUPANT LOAD 55	
TOTAL AREA	1,083 SF	OCCUPANCY TYPE	E
ROOM AREA PER OCC.	20 SF / OCC.		

CLASSROOMS		OCCUPANT LOAD 55	
TOTAL AREA	1,086 SF	OCCUPANCY TYPE	E
ROOM AREA PER OCC.	20 SF / OCC.		

CLASSROOMS		OCCUPANT LOAD 45	
TOTAL AREA	889 SF	OCCUPANCY TYPE	E
ROOM AREA PER OCC.	20 SF / OCC.		

CLASSROOMS		OCCUPANT LOAD 45	
TOTAL AREA	889 SF	OCCUPANCY TYPE	E
ROOM AREA PER OCC.	20 SF / OCC.		

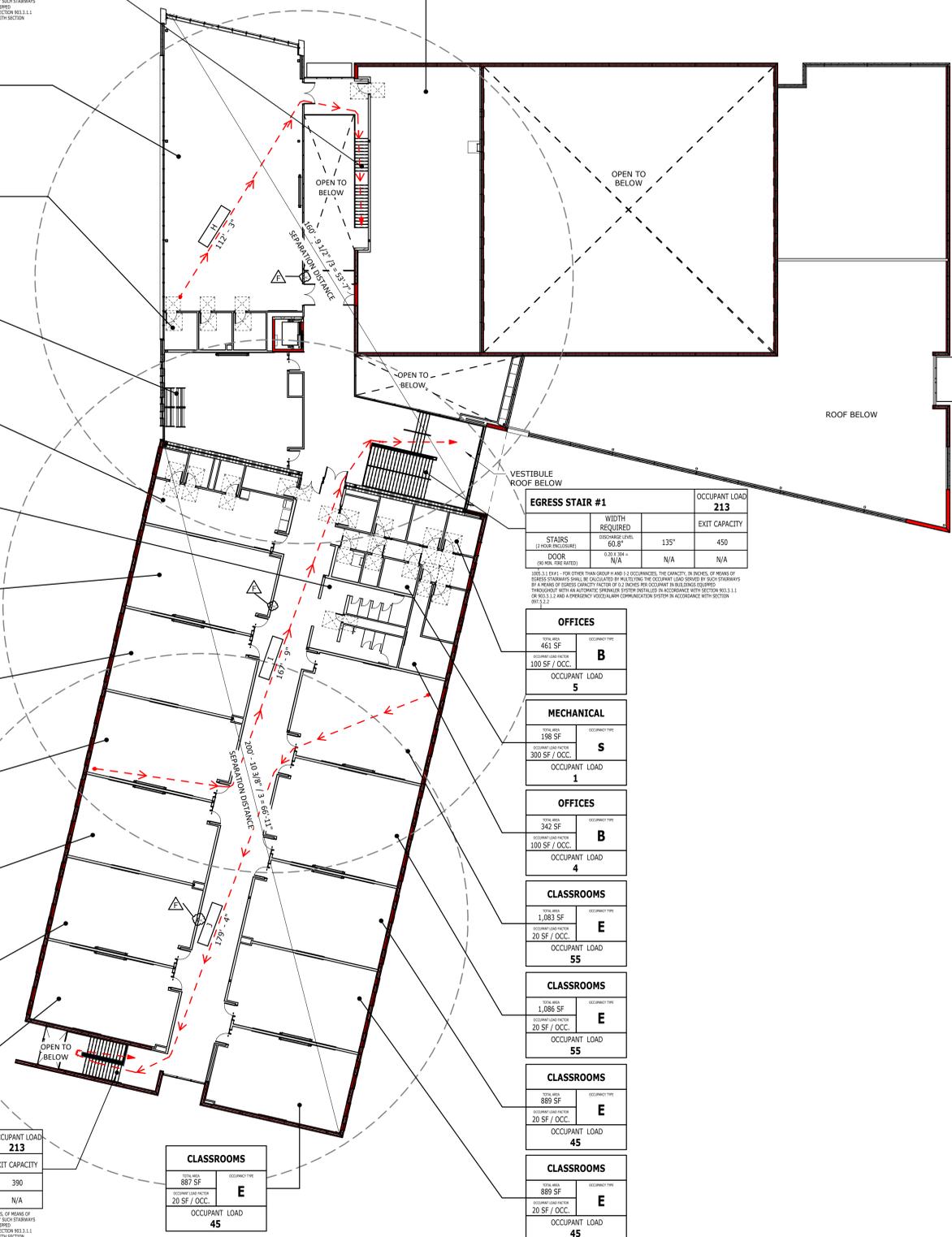


TABLE 2902.1

OCCUPANCY TYPE	WC MEN	WC WOMEN	LAV.	DF	SERV. SINK
BUSINESS (B)	1 PER 25*	1 PER 25*	1 PER 40**	1 PER 100	1 REQUIRED
STORAGE (S-1)	1 PER 100	1 PER 100	1 PER 100	1 PER 1,000	1 REQUIRED
EDUCATION (E)	1 PER 50	1 PER 50	1 PER 100	1 PER 100	1 REQUIRED

*1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50
 **1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80

FIXTURE CALCULATION

OCCUPANCY	TOTAL OCCUPANTS	OCCUPANT BREAKDOWN		WC	LAV	DRINKING FOUNTAINS	SERV. SINK
		M	W				
BUSINESS (B)	82	41	41	2	2	2	-
STORAGE (S-1)	17	9	9	1	1	-	-
EDUCATION (E)	1,157	579	579	12	12	12	-
TOTALS	1,256	629	629	15	15	15	1
PROVIDED							

CODE SUMMARY

APPLICABLE CODES: 2014 INDIANA BUILDING CODES* GENERAL ADMINISTRATIVE RULES, 2ND EDITION
 2014 INDIANA FIRE CODE
 2009 INDIANA ELECTRICAL CODE
 2014 INDIANA MECHANICAL CODE
 2012 INDIANA PLUMBING CODE
 2010 INDIANA ENERGY CONSERVATION CODE
 *CODE REFERENCED UNLESS NOTED OTHERWISE

FEDERAL
 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

CODE REFERENCES ARE FROM THE 2014 IBC UNLESS OTHERWISE NOTED

SCOPE OF WORK: THE PROJECT INVOLVES CONSTRUCTION OF A 85,862 SQFT NEW SCHOOL BUILDING AFTER THE DEMOLITION OF THE EXISTING IPS 69 STRUCTURE.

APPLICABILITY OF CODES TO THE PROJECT: ALL STATE CODES APPLY TO THIS NEW CONSTRUCTION PROJECT. THE PROJECT DOES NOT INCLUDE A CHANGE OF OCCUPANCY. THE REQUIREMENTS IN THIS CODE SUMMARY APPLY ONLY TO NEW CONSTRUCTION.

OCCUPANCY CLASSIFICATION: EDUCATIONAL USE FOR ELEMENTARY STUDENTS AND ASSEMBLY AREAS ASSOCIATED WITH THE E OCCUPANCY
 E OCCUPANCY [805.1, 303.1.3] OFFICES AND ADMINISTRATIVE
 B OCCUPANCY [304.1]

CONSTRUCTION TYPE: TYPE IIB CONSTRUCTION

ALLOWABLE AREA: TABULAR AREA: IBC 507.4 TWO STORY THE AREA OF A GROUP R, E, F, M OR S BUILDING NO MORE THAN TWO STORIES ABOVE GRADE, INCLUDING SHALL NOT BE LIMITED WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM. ALLOWABLE AREA: SHOWN AND ADJUSTED BY PUBLIC WAYS OR YARDS NOT LESS THAN 60 FEET IN WIDTH.

ALLOWABLE HEIGHT: 2 STORIES AND 55 FEET [TABLE 503]
 2 STORY ACTUAL

BUILDING ELEMENTS - FIRE-RESISTIVE REQUIREMENTS: STRUCTURAL FRAME, WALLS, FLOORS, AND ROOF ARE REQUIRED TO BE A MINIMUM OF NON-COMBUSTIBLE, NON-RATED CONSTRUCTION [TABLE 601]

EXTERIOR WALLS - FIRE RESISTIVE REQUIREMENTS: EXTERIOR WALLS NOT REQUIRED TO BE RATED WHERE HAVING AT LEAST 10 FEET OF FIRE SEPARATION DISTANCE. [TABLE 602]

MAXIMUM AREA OF EXTERIOR WALL OPENINGS: UNPROTECTED OPENINGS, SPRINKLERED - FIRE SEPARATION:
 < 3 FEET - NONE PERMITTED
 ≥ 3 < 5 FEET - 15%
 ≥ 5 < 10 FEET - 25%
 ≥ 10 FEET - UNLIMITED [TABLE 705.8]

OCCUPANCY SEPARATIONS: OCCUPANCY SEPARATIONS NOT REQUIRED, BUILDING COMPLIES AS NON-SEPARATED MIXED USES. [508.3]

INCIDENTAL USE SEPARATIONS: NONE APPLICABLE TO THE PROJECT.

OCCUPANT LOAD FACTORS: OFFICE/ADMINISTRATIVE: 100 SQ. FT./OCC.
 CLASSROOMS: 20 SQ. FT./OCC.
 GYMNASIUMS FOR EXCLUSIVELY FOR SPORTS: 50 SQ. FT./OCC.
 UNCONCENTRATED ASSEMBLY USE: 15 SQ. FT./OCC.
 CONCENTRATED ASSEMBLY USE: 7 SQ. FT./OCC.
 STORAGE: 300 SQ. FT./OCC. [TABLE 1004.1.2]

VESTIBULES: VESTIBULES ARE REQUIRED AT PRIMARY ENTRANCES THAT LEAD TO AND FROM OPEN UNPROTECTED SPACES GREATER OR EQUAL TO 3000 SQFT (IECC)

CORRIDORS: NEW CORRIDORS HAVING A CAPACITY OF 100 OR MORE MUST BE A MINIMUM 72 INCHES IN CLEAR AND UNOBSTRUCTED WIDTH. A MINIMUM OF 44 INCHES IS PERMITTED WHERE SERVING AN OCCUPANT LOAD LESS THAN 100 AND A MINIMUM OF 36 INCHES IS PERMITTED WHERE SERVING AN OCCUPANT LOAD LESS THAN 50. [TABLE 1018.2]
 CORRIDORS PERMITTED TO BE NON-RATED CONSTRUCTION. [1018.1]
 DEAD END CORRIDORS MUST NOT EXCEED 50 FEET. [1018.4]

DOORS: DOOR WIDTH MUST BE A MINIMUM OF 32 INCHES CLEAR AND 48 INCHES MAXIMUM. [1008.1.1]
 EGRESS DOORS MUST SWING IN THE DIRECTION OF EGRESS WHEN SERVING 50 OR MORE OCCUPANTS. EGRESS DOORS ARE REQUIRED TO BE SIDE-HINGED SWINGING TYPE, EXCEPT FOR OFFICE AND STORAGE AREAS WITH AN OCCUPANT LOAD OF LESS THAN 10. MANUALLY OPERATED HORIZONTAL SLIDING DOORS PERMITTED FROM ROOMS WITH AN OCCUPANT LOAD THAT DOES NOT EXCEED 10. [1008.1.2]

PANIC HARDWARE: PANIC HARDWARE IS REQUIRED FOR DOORS THAT LATCH IN E OCCUPANCIES WHERE THE ROOM OR AREA HAS AN OCCUPANT LOAD OF 50 OR MORE. [1008.1.10]

NUMBER OF EXITS: 2 EXITS REQUIRED PER FLOOR FOR AN OCCUPANT LOAD OF 1-500
 3 EXITS REQUIRED PER FLOOR FOR AN OCCUPANT LOAD OF 501-1,000
 4 EXITS REQUIRED PER FLOOR FOR AN OCCUPANT LOAD GREATER THAN 1,000 [TABLE 1021.2]
 AN EXIT CAPACITY OF 0.15 IN/OCCUPANT MUST BE PROVIDED FOR HORIZONTAL TRAVEL SUCH AS DOORS, RAMPS, ETC. [1005.3]

ARRANGEMENT OF EXITS: WHEN TWO EXITS OR EXIT ACCESS DOORWAYS ARE REQUIRED, THEY MUST BE SEPARATED BY AT LEAST ONE-THIRD OF THE OVERALL DIAGONAL DIMENSION OF THE AREA SERVED. [1015.2.1]

EXIT TRAVEL DISTANCE: EXIT ACCESS TRAVEL DISTANCE IS PERMITTED TO BE A MAXIMUM OF 250 FEET FOR E OCCUPANCIES AND 300 FEET FOR B OCCUPANCIES. [TABLE 1016.1]

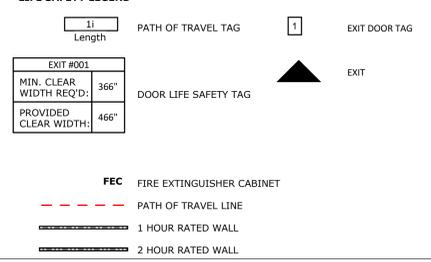
MEANS OF EGRESS: TWO MEANS OF EGRESS MUST BE PROVIDED FROM ANY SPACE WHERE THE OCCUPANT LOAD EXCEEDS 49 OR WHERE THE COMMON PATH OF TRAVEL EXCEEDS 75 FEET FOR E OCCUPANCIES AND 100 FEET FOR B OCCUPANCIES. [TABLE 1015.1, TABLE 1014.3]

EMERGENCY AND EGRESS LIGHTING: EXIT SIGNS REQUIRED TO INDICATE THE DIRECTION OF EGRESS TRAVEL FOR CORRIDORS, ROOMS AND AREAS THAT REQUIRE MORE THAN ONE EXIT ACCESS. [1011.1]
 EMERGENCY LIGHTING IS REQUIRED IN ALL CORRIDORS, ROOMS, SPACES THAT REQUIRE MORE THAN ONE MEANS OF EGRESS OR EXIT AND AT NEW EXTERIOR LANDINGS IN BUILDINGS THAT REQUIRE MORE THAN ONE EXIT. [1005.3]

AUTOMATIC SPRINKLERS: THE STRUCTURE WILL BE SPRINKLERED IN ACCORDANCE WITH NFPA 13.

FIRE ALARM SYSTEM: A FIRE ALARM SYSTEM IS REQUIRED THROUGHOUT THE BUILDING [807.2.3]

SMOKE DETECTION: SMOKE DETECTORS ARE REQUIRED FOR HVAC SHUTDOWN FOR NEW SYSTEMS DELIVERING IN EXCESS OF 2,000 CFM [606 IBC]



1 02 FLOOR PLAN - LIFE SAFETY

G-101 1/16" = 1'-0"



ARCHITECTURAL PARTNER
PERKINS & WILL
 410 N. MICHIGAN AVE
 SUITE 1600
 CHICAGO, IL 60611
 v. (312) 755-0770

CIVIL & STRUCTURAL ENGINEER:
JOEL
 8840 ALLISON BLVD
 SUITE 425
 INDIANAPOLIS, IN 46250
 v. (317) 661-1964

MECH. / ELECT. / PLUMB. / FIRE PROT. ENGINEER:
KBSO CONSULTING
 275 VETERANS WAY
 SUITE 300
 CARMEL, IN 46032
 v. (317) 344-8044

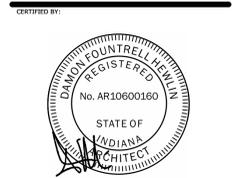
INTERIOR DESIGNER:
RELO DESIGN
 7222 N. Shadeland Ave.
 Suite 170
 Indianapolis, IN 46250
 P: (317) 202-0000

CONSTRUCTION DOCUMENT SET

IPS 69 - JOYCE KILMER
 3421 N KEYSTONE AVE.
 INDIANAPOLIS, INDIANA

REVISIONS

No.	Description	Date
	95% CD SET	12-18-24
	100% CD SET	01-17-25
F	ADD #6	03-12-25

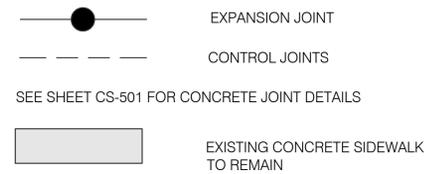


ISSUE DATE: 01/17/2025
 DRAWN: Author CHECKED: Checker
 PROJECT NO.: P23-0116
 REVISION NO.: F

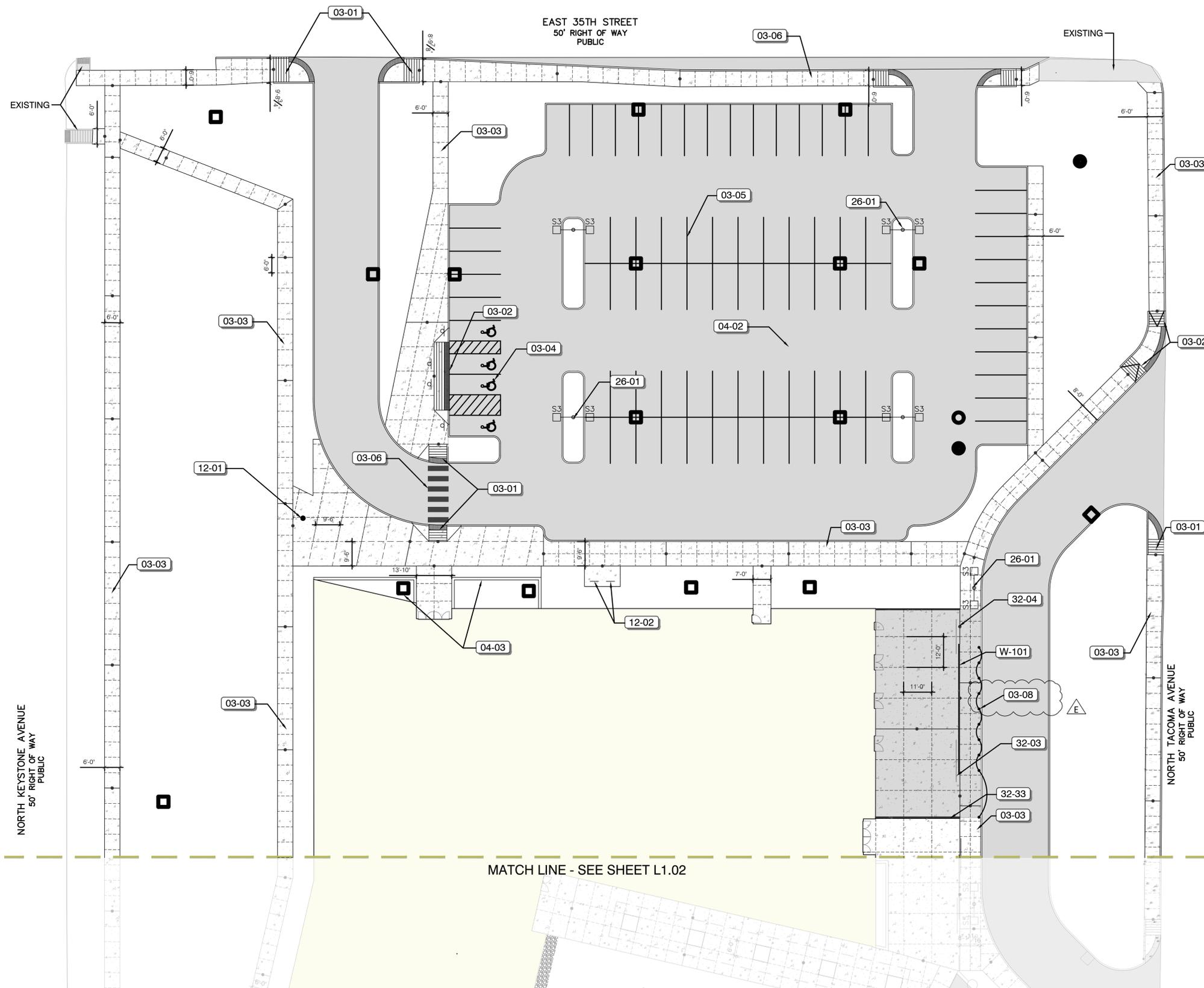
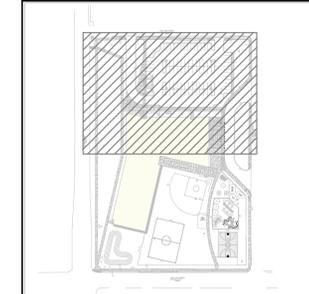
LIFE SAFETY PLAN

REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION	DETAIL
03 Concrete		
03-01	Single Ramp, Refer to Civil	
03-02	Double Ramp, Refer to Civil	
03-03	Concrete Walk, Refer to Civil	
03-04	ADA Parking Striping, Refer to Civil	
03-05	Park Striping, Refer to Civil	
03-06	Crosswalk Striping, Refer to Civil	
03-07	Reclaimed Bollards	2/L3.06
03-08	Painted Steel Bollard	8/L3.05
04 Masonry		
04-02	Asphalt	
04-03	Entrance Planters	1/L3.02
04-04	Cafeteria Planter	2/L3.02
12 Furnishings		
12-01	Flag Pole, Flagpole Warehouse, 208125	7/L3.05
12-02	Bike Rack, Anova, LBRSPVCING	2/L3.05
26 Electrical		
26-01	Pole Light, Refer to MEP	
32 Exterior Improvements		
32-01	Tree Grates, Iron Age Designs, Rain 6' x 6' Heel Proof	3/L3.04
32-02	Rock Mulch	
32-03	South Utility Yard Sliding Gate	4/L3.05
32-04	North Utility Yard Sliding Gate	6/L3.05
32-05	Pedestrian Sliding Gate	5/L3.05
32-06	Pedestrian Single Gate	1/L3.05
32-07	Maintenance Double Gate	3/L3.05
Fences and Gates		
32-32	Perimeter Fence	11/L3.03
Site Furnishings		
32-33	OPTIONAL: Assa Abloy, Push to Exit Station	1/L3.06
Planting Accessories		
32-94	Steel Edging	12/L3.03
Wall		
W-101	Concrete Walls, By Others	



KEY MAP



100% CONSTRUCTION
DOCUMENTS
IPS Joyce Kilmer 69 Renovation

3421 North Keystone Avenue
Indianapolis, IN 46218

REVISIONS

#	Revision	Date
	100% CD SET	01-17-25
C	ADDENDUM 03	02-17-25
E	ADDENDUM 05	03-10-25
F	ADDENDUM 06	03-12-25

CERTIFIED BY:



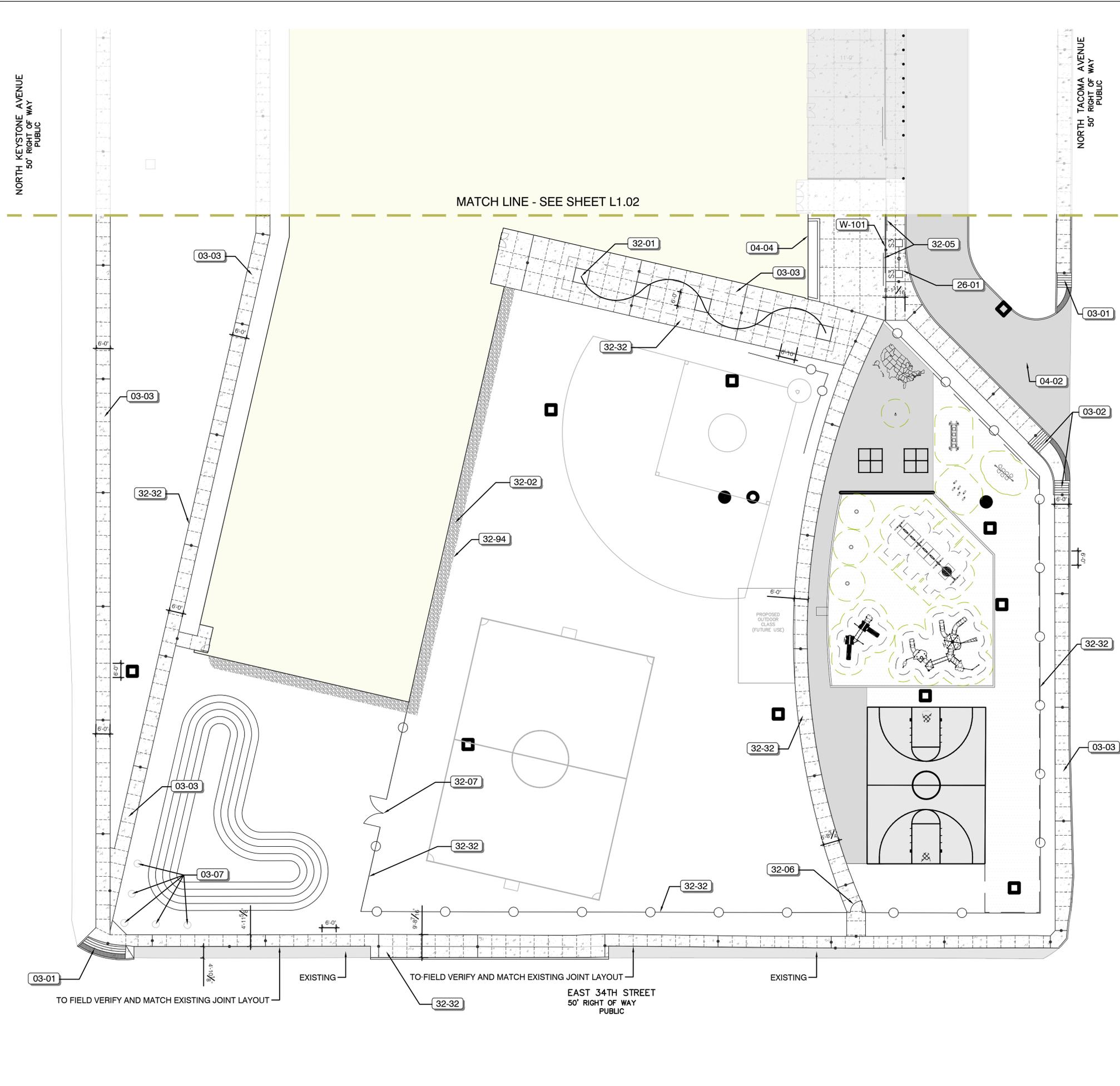
Daniel J. O'Toole

ISSUE DATE: DECEMBER 18, 2024

DRAWN: LP CHECKED: AL

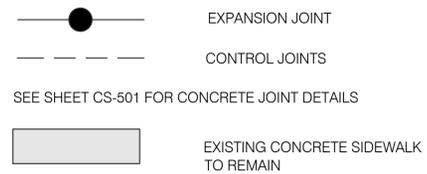
PROJECT NO.:

REVISION NO.:

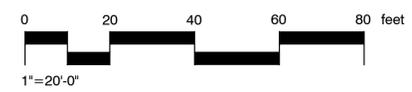
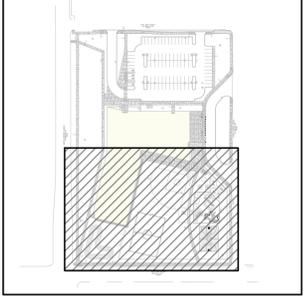


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Wall		
W-101	Concrete Walls, By Others	



KEY MAP



ARCHITECTURE

INTERIORS

PROJECT MANAGEMENT

PLANNING

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IPS Joyce Kilmer 69 Renovation

3421 North Keystone Avenue
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ISSUE DATE: **DECEMBER 18, 2024**

DRAWN: LP CHECKED: AL

MATERIAL LAYOUT
L2.02